

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

## BUILDING PERMIT

This is to certify that SHELDON J ASHBY

Located At 288 EASTERN PROMENADE

Job ID: 2011-10-2509-ALTR

CBL: 015- C-003-001

has permission for Single Family Interior Renovations (add balcony over existing porch/ Change of Use).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

\_\_\_\_\_  
11/16/2011  
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
  2. Foundation Wall
  3. Close In Elec/Plmb/Frame prior to insulate or gypsum
  4. Insulation prior to Close-In
  5. Final Inspection/ Certificate of Occupancy.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City. Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-10-2509-ALTR

Located At: 288 EASTERN  
PROMENADE

CBL: 015- C-003-001

## Conditions of Approval:

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. With the issuance of this permit and the certificate of occupancy, this property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
3. A code compliant emergency escape shall be provided in each bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
4. **A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.**
5. **R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.**
6. Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.
7. A photoelectric Carbon Monoxide (CO) detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
8. Hardwired photoelectric interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
9. Mechanical or natural ventilation is required in the bathroom.



10. See attached documentation for bathroom fixtures clearance and headroom requirements.
11. All Hazard Area Safety Glazing must comply with MUBEC.
12. Fireblocking is required to provide a cut off of all concealed draft openings (both vertical and horizontal) in combustible construction, see Sec. R302.11.
13. R502.2.2 Decks. Where supported by attachment to an exterior wall, decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads as applicable. Such attachment shall not be accomplished by the use of toenails or nails subject to withdrawal. Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self- supporting.
14. Foundation Drainage, Fabric, Damp proofing shall comply with Section R405 & R406 of MUBEC.

## **Fire**

1. All construction shall comply with City Code Chapter 10.
2. A sprinkler system shall be installed.
3. A separate no fee One- or Two-family Fire Sprinkler Permit is required.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
- 6. Sprinkler requirements**
7. The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.
8. All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.
9. install an NFPA 13D automatic sprinkler system



located within 10 feet (3048 mm) of an intake opening, such opening shall be located a minimum of 2 feet (610 mm) below the contaminant source.

For the purpose of this section, the exhaust from *dwelling* unit toilet rooms, bathrooms and kitchens shall not be considered as hazardous or noxious.

**R303.4.2 Exhaust openings.** Exhaust air shall not be directed onto walkways.

**R303.5 Outside opening protection.** Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screens, louvers or grilles having a minimum opening size of  $\frac{1}{4}$  inch (6 mm) and a maximum opening size of  $\frac{1}{2}$  inch (13 mm), in any dimension. Openings shall be protected against local weather conditions. Outdoor air exhaust and intake openings shall meet the provisions for *exterior wall* opening protectives in accordance with this code.

**R303.6 Stairway illumination.** All interior and exterior stairways shall be provided with a means to illuminate the stairs, including the landings and treads. Interior stairways shall be provided with an artificial light source located in the immediate vicinity of each landing of the stairway. For interior stairs the artificial light sources shall be capable of illuminating treads and landings to levels not less than 1 foot-candle (11 lux) measured at the center of treads and landings. Exterior stairways shall be provided with an artificial light source located in the immediate vicinity of the top landing of the stairway. Exterior stairways providing access to a *basement* from the outside *grade* level shall be provided with an artificial light source located in the immediate vicinity of the bottom landing of the stairway.

**Exception:** An artificial light source is not required at the top and bottom landing, provided an artificial light source is located directly over each stairway section.

**R303.6.1 Light activation.** Where lighting outlets are installed in interior stairways, there shall be a wall switch at each floor level to control the lighting outlet where the stairway has six or more risers. The illumination of exterior stairways shall be controlled from inside the *dwelling* unit.

**Exception:** Lights that are continuously illuminated or automatically controlled.

**R303.7 Required glazed openings.** Required glazed openings shall open directly onto a street or public alley, or a *yard* or court located on the same *lot* as the building.

**Exceptions:**

1. Required glazed openings may face into a roofed porch where the porch abuts a street, *yard* or court and the longer side of the porch is at least 65 percent unobstructed and the ceiling height is not less than 7 feet (2134 mm).
2. Eave projections shall not be considered as obstructing the clear open space of a *yard* or court.
3. Required glazed openings may face into the area under a deck, balcony, bay or floor cantilever provided a clear vertical space at least 36 inches (914 mm) in height is provided.

**R303.7.1 Sunroom additions.** Required glazed openings shall be permitted to open into sunroom *additions* or patio covers that abut a street, *yard* or court if in excess of 40 percent of the exterior sunroom walls are open, or are enclosed only by insect screening, and the ceiling height of the sunroom is not less than 7 feet (2134 mm).

**R303.8 Required heating.** When the winter design temperature in Table R301.2(1) is below 60°F (16°C), every *dwelling unit* shall be provided with heating facilities capable of maintaining a minimum room temperature of 68°F (20°C) at a point 3 feet (914 mm) above the floor and 2 feet (610 mm) from exterior walls in all habitable rooms at the design temperature. The installation of one or more portable space heaters shall not be used to achieve compliance with this section.

## SECTION R304 MINIMUM ROOM AREAS

**R304.1 Minimum area.** Every *dwelling* unit shall have at least one habitable room that shall have not less than 120 square feet (11 m<sup>2</sup>) of gross floor area.

**R304.2 Other rooms.** Other habitable rooms shall have a floor area of not less than 70 square feet (6.5 m<sup>2</sup>).

**Exception:** Kitchens.

**R304.3 Minimum dimensions.** Habitable rooms shall not be less than 7 feet (2134 mm) in any horizontal dimension.

**Exception:** Kitchens.

**R304.4 Height effect on room area.** Portions of a room with a sloping ceiling measuring less than 5 feet (1524 mm) or a furred ceiling measuring less than 7 feet (2134 mm) from the finished floor to the finished ceiling shall not be considered as contributing to the minimum required habitable area for that room.

## SECTION R305 CEILING HEIGHT

**R305.1 Minimum height.** *Habitable space*, hallways, bathrooms, toilet rooms, laundry rooms and portions of *basements* containing these spaces shall have a ceiling height of not less than 7 feet (2134 mm).

**Exceptions:**

1. For rooms with sloped ceilings, at least 50 percent of the required floor area of the room must have a ceiling height of at least 7 feet (2134 mm) and no portion of the required floor area may have a ceiling height of less than 5 feet (1524 mm).
2. Bathrooms shall have a minimum ceiling height of 6 feet 8 inches (2032 mm) at the center of the front clearance area for fixtures as shown in Figure R307.1. The ceiling height above fixtures shall be such that the fixture is capable of being used for its intended purpose. A shower or tub equipped with a showerhead shall have a minimum ceiling height of 6 feet 8 inches (2032 mm) above a minimum area 30 inches (762 mm) by 30 inches (762 mm) at the showerhead.

**R305.1.1 Basements.** Portions of *basements* that do not contain *habitable space*, hallways, bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 6 feet 8 inches (2032 mm).

**Exception:** Beams, girders, ducts or other obstructions may project to within 6 feet 4 inches (1931 mm) of the finished floor.

## SECTION R306 SANITATION

**R306.1 Toilet facilities.** Every *dwelling* unit shall be provided with a water closet, lavatory, and a bathtub or shower.

**R306.2 Kitchen.** Each *dwelling* unit shall be provided with a kitchen area and every kitchen area shall be provided with a sink.

**R306.3 Sewage disposal.** All plumbing fixtures shall be connected to a sanitary sewer or to an *approved* private sewage disposal system.

**R306.4 Water supply to fixtures.** All plumbing fixtures shall be connected to an *approved* water supply. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water.

## SECTION R307 TOILET, BATH AND SHOWER SPACES

**R307.1 Space required.** Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of Section P2705.1.

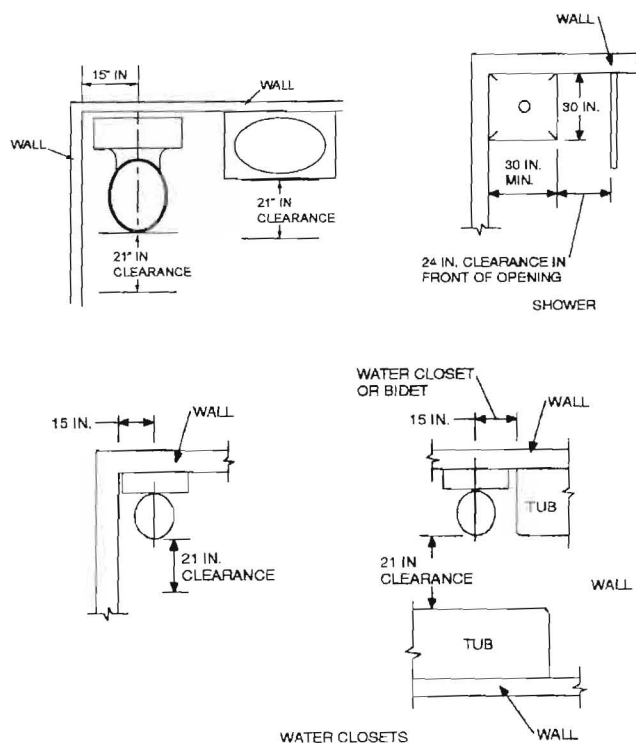
**R307.2 Bathtub and shower spaces.** Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

## SECTION R308 GLAZING

**R308.1 Identification.** Except as indicated in Section R308.1.1 each pane of glazing installed in hazardous locations as defined in Section R308.4 shall be provided with a manufacturer's designation specifying who applied the designation, designating the type of glass and the safety glazing standard with which it complies, which is visible in the final installation. The designation shall be acid etched, sandblasted, ceramic-fired, laser etched, embossed, or be of a type which once applied cannot be removed without being destroyed. A *label* shall be permitted in lieu of the manufacturer's designation.

### Exceptions:

1. For other than tempered glass, manufacturer's designations are not required provided the *building official*



For SI: 1 inch = 25.4 mm.

FIGURE R307.1  
MINIMUM FIXTURE CLEARANCES



# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

|  |  |   |  |
|--|--|---|--|
| Job No:<br><b>2011-10-2509-ALTR</b>  | Date Applied:<br><b>10/14/2011</b>   | CBL:<br><b>015- C-003-001</b>   |  |
| Location of Construction:<br><b>288 EASTERN PROMENADE</b>  | Owner Name:<br><b>SHELDON J ASHBY</b>  | Owner Address:<br><b>288 EASTERN PROMENADE</b><br><b>PORTLAND, ME 04101</b>   | Phone:<br><br><b>207-797-0000</b>                |
| Business Name:   | Contractor Name:<br>Owner  | Contractor Address:   | Phone:   |
| Lessee/Buyer's Name:   | Phone:   | Permit Type:<br><b>BLDG - Building</b>  | Zone:<br><br><b>R-6</b>                          |
| Past Use:<br><br>Group home – been used as single family but never had a certificate of occupancy                  | Proposed Use:<br><br>Single family- interior renovations & add balcony over existing one story, front porch & change of use to single family | Cost of Work:<br><b>50000.00</b>  | CEO District:                                    |
|  |  | Fire Dept:<br><br><input checked="" type="checkbox"/> Approved <i>w/conditions</i><br><input type="checkbox"/> Denied<br><input type="checkbox"/> N/A | Inspection:<br>Use Group:<br>Type:<br><i>MJB</i> |
|  |  | Signature: <i>Capt. L. Stone 11/4/11</i>  | Signature: <i>JP</i>                             |
| Proposed Project Description:<br><b>renovations of the interior 1st &amp; 2nd floors – change to single family</b> |  | Pedestrian Activities District (P.A.D.)   |  |
| Permit Taken By:   |  | <b>Zoning Approval</b>  |  |

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

| Special Zone or Reviews   | Zoning Appeal                            | Historic Preservation                                       |
|---|--|---|
| <input type="checkbox"/> Shoreland  | <input type="checkbox"/> Variance        | <input checked="" type="checkbox"/> Not in Dist or Landmark |
| <input type="checkbox"/> Wetlands   | <input type="checkbox"/> Miscellaneous   | <input type="checkbox"/> Does not Require Review            |
| <input type="checkbox"/> Flood Zone   | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Requires Review                    |
| <input type="checkbox"/> Subdivision  | <input type="checkbox"/> Interpretation  | <input type="checkbox"/> Approved                           |
| <input type="checkbox"/> Site Plan  | <input type="checkbox"/> Approved        | <input type="checkbox"/> Approved w/Conditions              |
| <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM | <input type="checkbox"/> Denied          | <input type="checkbox"/> Denied                             |
| Date: <i>OK w/ conditions</i><br><i>11/14/11</i> <i>ABU</i>                           | Date:                                    | Date: <i>ABU</i>  |

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|   |   |  |                                   |
|---|---|--|-----------------------------------|
| Location/Address of Construction: <u>288 Eastern Promenade</u>  |   |  |                                   |
| Total Square Footage of Proposed Structure/Area   |   | Square Footage of Lot  | Number of Stories<br><u>3</u>     |
| Tax Assessor's Chart, Block & Lot<br>Chart# <u>015</u> Block# <u>C003</u> Lot#  | Applicant: (must be owner, lessee or buyer)<br>Name <u>Sheldon Ashby</u><br>Address <u>288 Eastern Promenade</u><br>City, State & Zip <u>Portland, ME 04101</u> |  | Telephone:<br><u>207-797-0000</u> |
| Lessee/DBA<br><u>NA</u>   | Owner: (if different from applicant)<br>Name <u>Same</u><br>Address<br>City, State & Zip  | Cost of Work: \$ <u>50,000</u><br>C of O Fee: \$ <u>NA</u><br>Historic Review: \$ <u>NA</u><br>Planning Amin.: \$ <u>NA</u><br>Total Fee: \$ <u>520.00</u> |                                   |
| <p>RECEIVED<br/>OCT 14 2011<br/>Dept. of Building Inspections<br/>City of Portland Maine</p>  |   |  |                                   |
| Current legal use (i.e. <u>single family</u> ) _____ Number of Residential Units _____<br>If vacant, what was the previous use? _____<br>Proposed Specific use: <u>Single Family</u> <span style="float: right;"><u>needs lot</u></span><br>Is property part of a subdivision? <u>NO</u> If yes, please name _____<br>Project description: <u>renovations of the interior, 1st &amp; 2nd floors only.</u><br><u>adding balcony over front porch</u> |   |  |                                   |
| Contractor's name: <u>Sheldon Ashby</u>   |   | Email: <u>Sheldon-Ashby@yahoo.com</u>  |                                   |
| Address: <u>288 Eastern Promenade</u>   |   | Telephone: <u>797-0000</u>   |                                   |
| City, State & Zip: <u>Portland, ME 04101</u>  |   | Telephone: <u>797-0000</u>   |                                   |
| Who should we contact when the permit is ready: <u>Sheldon Ashby</u>  |   | Telephone: _____   |                                   |
| Mailing address: <u>Same</u>  |   |  |                                   |

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Sheldon Ashby Date: 10/14/11

This is not a permit; you may not commence ANY work until the permit is issued

## Lannie Dobson - Fwd: Fw: 288 E. Prom

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**From:** Tammy Munson  
**To:** support staff  
**Date:** 10/20/2011 12:11 PM  
**Subject:** Fwd: Fw: 288 E. Prom  
**Attachments:** 11114 Ashby Revised.pdf

>>> Sheldon Ashby <sheldon\_ashby@yahoo.com> 10/20/2011 10:41 AM >>>

Please add this to the building permit request for 288 Eastern Promenade. The structural engineer decided to span the entire front wall header with a steel beam instead of only half of the wall. Please let me know if there is anything more needed in issuing a permit for this renovation. Thank you very much.

Sincerely,

Sheldon Ashby  
"The Ashby Team"  
The Maine Real Estate Network  
75 John Roberts Rd.  
South Portland, ME 04106  
207-797-0000 Cell

Buying, selling or just have a real estate question, please call me any time. Thank you in advance for your business and all your referrals.

----- Forwarded Message -----

**From:** "Matthew J. Miller, P.E." <matt@m2structuraleng.com>  
**To:** sheldon\_ashby@yahoo.com  
**Sent:** Wednesday, October 19, 2011 9:07 PM  
**Subject:** FW: 288 E. Prom

Sheldon,

I received your voicemail from a bit ago. I had previously send the drawing with the change highlighted. It is attached to this message as well, as is a copy of my original message. There should not be very much cost differential with the modified moment frame dimensions.

If you have any other questions give me a call in the morning.

Matt

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**From:** Matthew J. Miller, P.E. [mailto:matt@m2structuraleng.com]  
**Sent:** Monday, October 17, 2011 8:01 AM  
**To:** sheldon\_ashby@yahoo.com  
**Subject:** 288 E. Prom

Sheldon,

I hope your meetings with the contractors went well for you last week. Let me know if they have any questions or suggestions to simplify things.

I was thinking more about the project this weekend, and there was something about the moment frame I proposed along the front wall that was bothering me. As I currently have it detailed the base plates for the steel columns are sitting on the wood plate, which in turn is supported by the 6X8 "rim" joist at the first floor. Based on the age of construction, I doubt there is much of a connection between the rim and the CMU wall. I would need a decent connection at this location to resist the potential upward load potentially on this connection. Also, based on the foundation configuration, there is no easy way to get this uplift load from the steel columns to the concrete foundation wall. For these reasons I would like to make the attached adjustment to this frame, which basically extends the frame across the width of the house. By spreading out the columns, there is significantly less uplift load on the columns.

Please let me know if you have any questions.

Regards,

Matt

**Matthew J. Miller, P.E.**

**M<sup>2</sup> Structural Engineering, P.C.**

23 Thornbury Way  
Windham, ME 04062  
207.892.0983

[www.m2structuraleng.com](http://www.m2structuraleng.com)



GENERAL NOTES

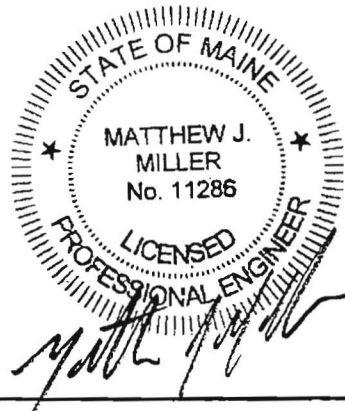
- 1. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY PROPOSED CHANGES, DEVIATIONS OR SUBSTITUTIONS FROM DIMENSIONS, MATERIALS OR EQUIPMENT SHOWN ON THESE DRAWINGS AND MAKE ONLY THOSE CHANGES ACCEPTED BY THE ENGINEER.
- 2. PROVIDE JOIST HANGERS AS REQUIRED, SIZED TO SUPPORT LOADS, MANUFACTURED BY SIMPSON STRONG TIE OR ACCEPTED EQUIVALENT.
- 3. PROVIDE BLOCKING AT INTERSTITIAL SPACES BETWEEN FLOORS AS REQUIRED TO TRANSFER LOADS.
- 4. THESE DRAWINGS ARE INTENDED TO INDICATE NEW WORK, THEREFORE NOT ALL EXISTING FRAMING IS SHOWN.

MATERIALS

- 1. DIMENSION LUMBER SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 OR BETTER.
- 2. VERSA-LAM (VL) BY BOISE CASCADE WITH THE FOLLOWING MINIMUM PROPERTIES:
  - A. BEAMS/JOISTS:
    - Fb = 3100 PSI
    - Fv = 285 PSI
    - Fc, PERP = 750 PSI
    - E = 2,000,000 PSI
  - B. POSTS/COLUMNS:
    - Fb = 2650 PSI
    - Fv = 285 PSI
    - Fc, PERP = 750 PSI
    - E = 1,700,000 PSI
- 3. STRUCTURAL STEEL:
  - A. WIDE FLANGE SHAPES: ASTM A992
  - B. RECTANGULAR HSS: ASTM A500, GRADE B, 46 KSI
  - C. PLATES, BARS, ETC. ASTM A 36
- 4. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH, f'c = 3000 PSI AT 28 DAYS.

DESIGN LOADS

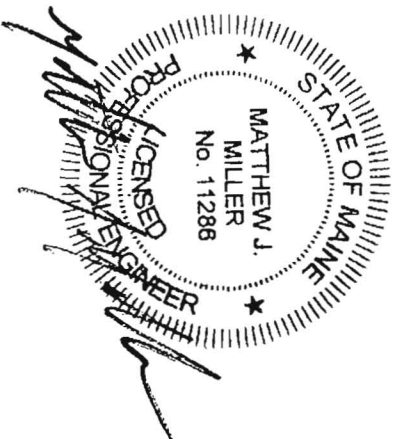
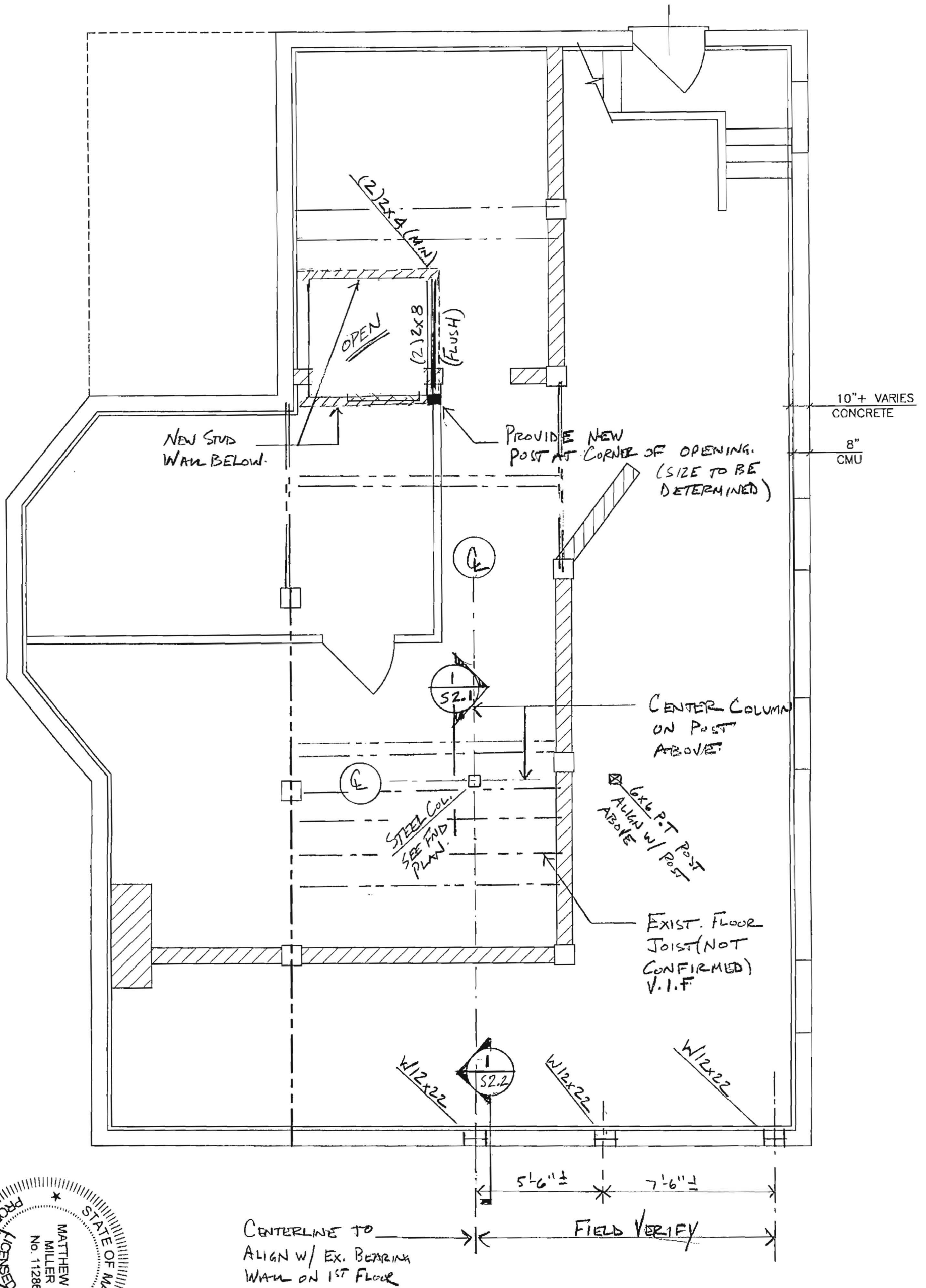
- 1. FLOOR LIVE LOADS:
  - A. ROOMS OTHER THAN SLEEPING ROOMS: 40 PSF
  - B. SLEEPING ROOMS: 30 PSF
- 2. WIND LOADS: 100 MPH EXPOSURE 'C' FOR WINDS FROM NORTH  
100 MPH EXPOSURE 'B' FOR WINDS FROM EAST, WEST AND SOUTH.



|   |     |   |     |        |     |   |            |
|---|-----|---|-----|--------|-----|---|------------|
| Drawn:  | MJM | Checked:  | MJM | Scale: | N/A | Date:   | 10/12/2011 |
| ASHBY RESIDENCE<br>PORTLAND, MAINE                      |     | GENERAL NOTES   |     |        |     | Sheet Title:  |            |
| Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101 |     | M <sup>2</sup> Structural Engineering P.C.<br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 |     |        |     | Sheet:<br>S0.1<br>Sheet 1 of 10<br>Project No.: 11114 |            |



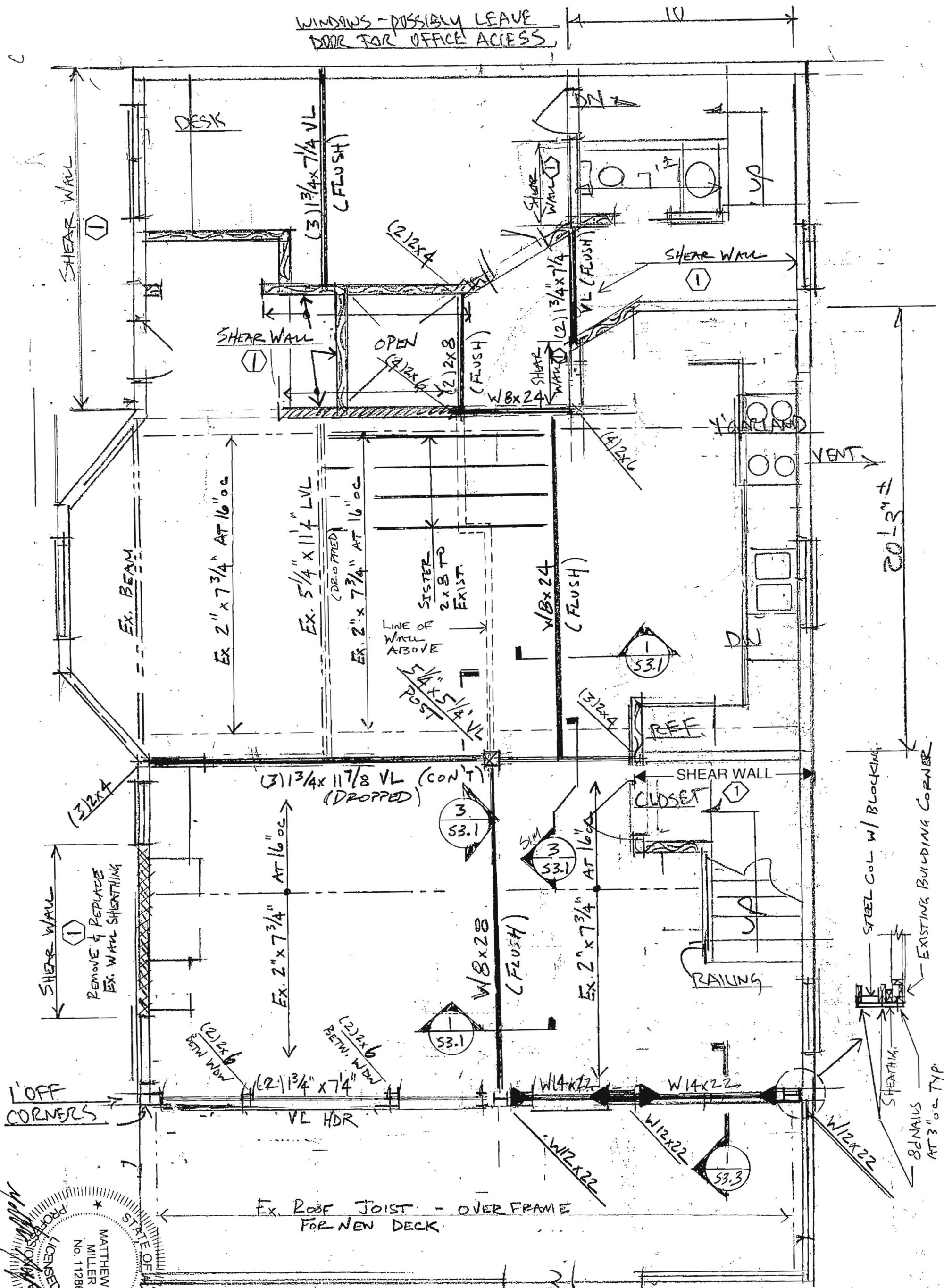




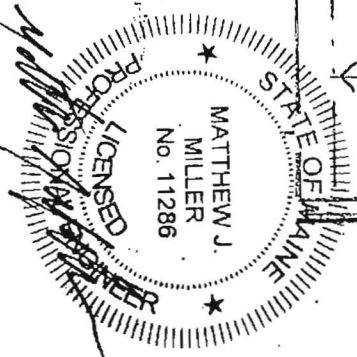
|  |  |   |   |   |
|--|--|---|---|---|
| Sheet: <b>S1.2</b><br>Sheet 3 of 10<br>Project No.: 1114 | <b>M<sup>2</sup> Structural Engineering</b><br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 | Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101 | ASHBY RESIDENCE<br>PORTLAND, MAINE<br>Sheet Title:<br><b>FIRST FLOOR FRAMING PLAN</b> | Drawn: MJM<br>Checked: MJM<br>Scale: 1/4" = 1'-0"<br>Date: 10/12/2011 |
|--|--|---|---|---|



WINDOWS - POSSIBLY LEAVE  
DOOR FOR OFFICE ACCESS

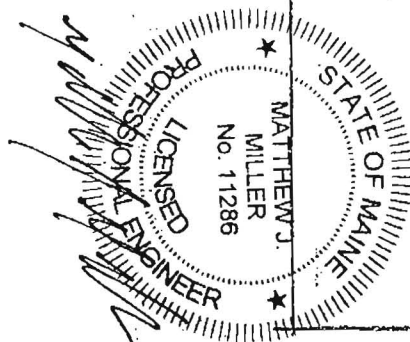
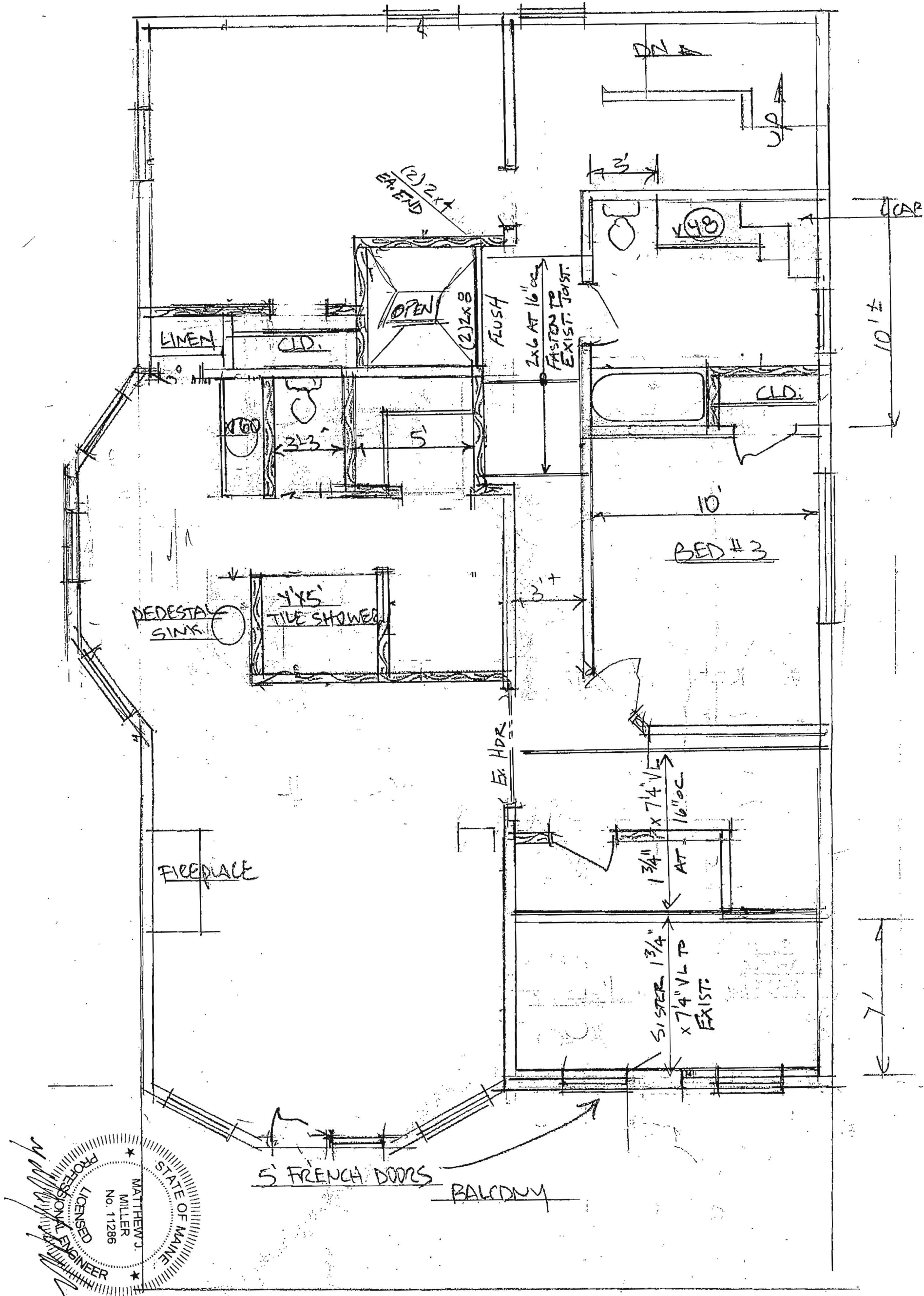


► INDICATES MOMENT CONNECTION SEE DETAIL 2/S3.3  
① INDICATES WOOD FRAMED SHEAR WALL SEE SHEET S3.2



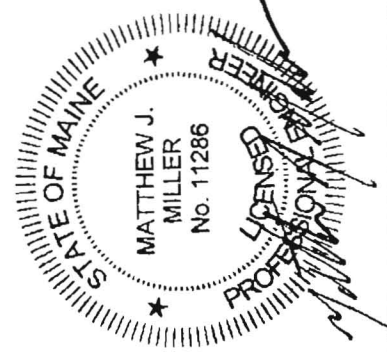
|   |  |   |  |   |
|---|--|---|--|---|
| Sheet: <b>S1.3</b><br>Project No.: 1114 | <b>M<sup>2</sup> Structural Engineering</b><br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 | Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101 | ASHBY RESIDENCE<br>PORTLAND, MAINE<br>Sheet Title:<br><b>SECOND FLOOR FRAMING PLAN</b> | Drawn: M.M.<br>Checked: M.M.<br>Scale: 1/4" = 1'-0"<br>Date: 10/12/2011 |
|---|--|---|--|---|



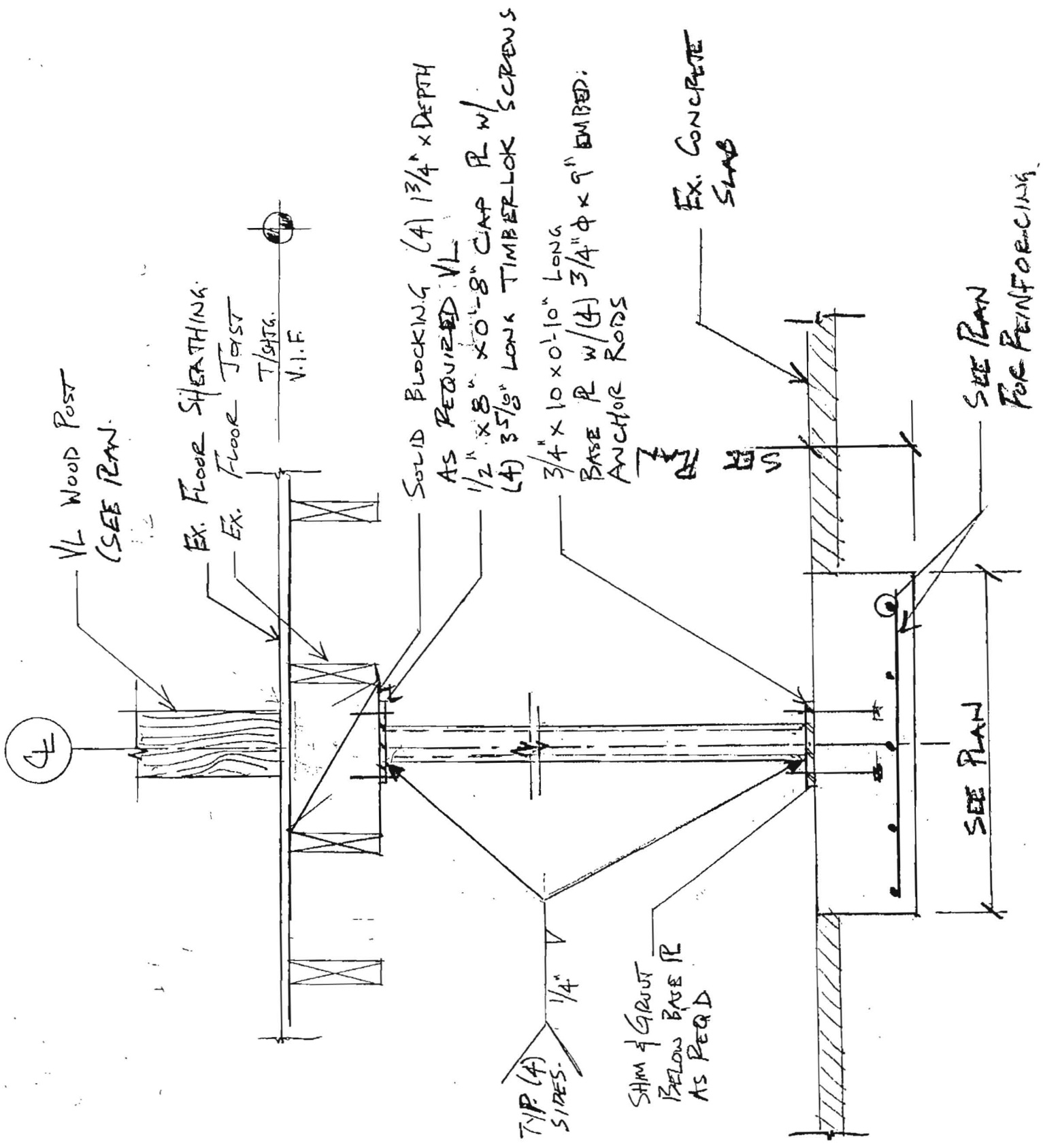
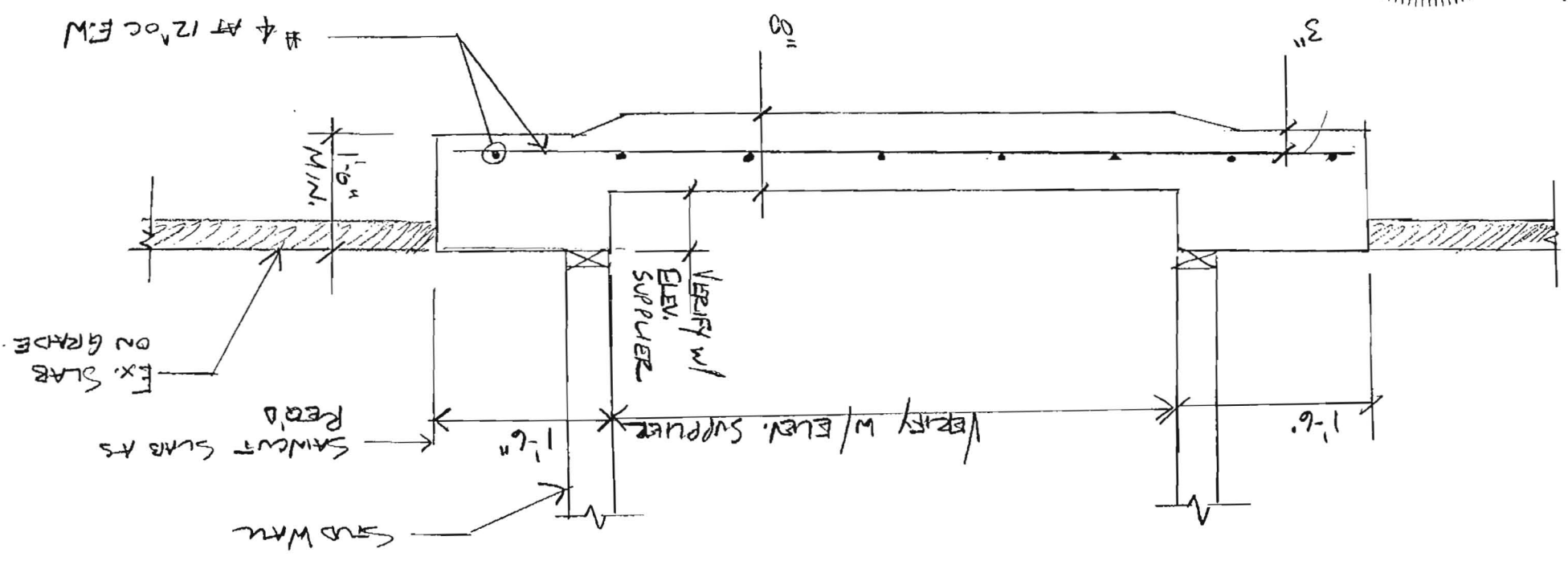


|   |  |   |  |  |
|---|--|---|--|--|
| <div>Sheet: <b>S1.4</b></div> <div>Sheet 5 of 10</div> <div>Project No.: 1114</div> | <div><b>M<sup>2</sup> Structural Engineering</b> P.C.</div> <div>23 Thornbury Way<br/>Windham, ME 04062<br/>(207) 892-0983</div> | <div>Sheldon Ashby</div> <div>288 E. Promenade<br/>Portland, ME 04101</div> | <div>ASHBY RESIDENCE<br/>PORTLAND, MAINE</div> <div>Sheet Title:<br/><b>THIRD FLOOR FRAMING PLAN</b></div> | <div>Drawn: MJM</div> <div>Checked: MJM</div> <div>Scale: 1/4" = 1'-0"</div> <div>Date: 10/12/2011</div> |
|---|--|---|--|--|

|  |  |  |   |                                    |  |
|--|--|--|---|------------------------------------|--|
| Drawn: M.M.<br>Checked: M.M.<br>Scale: As Noted<br>Date: 10/9/2011 |  | Ashby Residence<br>288 E. Promenade, Portland, Maine |   | Sheet Title:<br>FOUNDATION SECTION |  |
| Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101            |  |  | M <sup>2</sup> Structural Engineering P.C.<br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 |                                    |  |
| Project No.: 1114  |  |  | Sheet: 6 of 10<br>S2.1  |                                    |  |

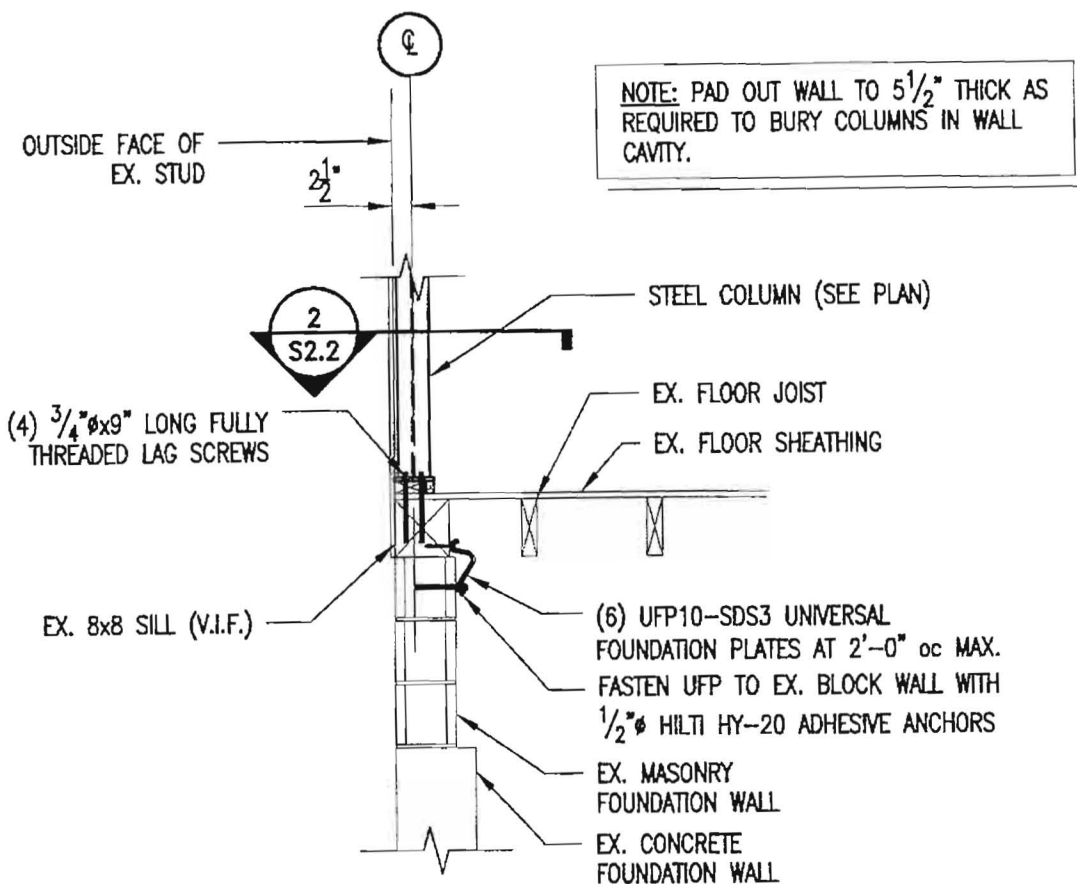


SECTION 2  
3/4" = 1'-0"

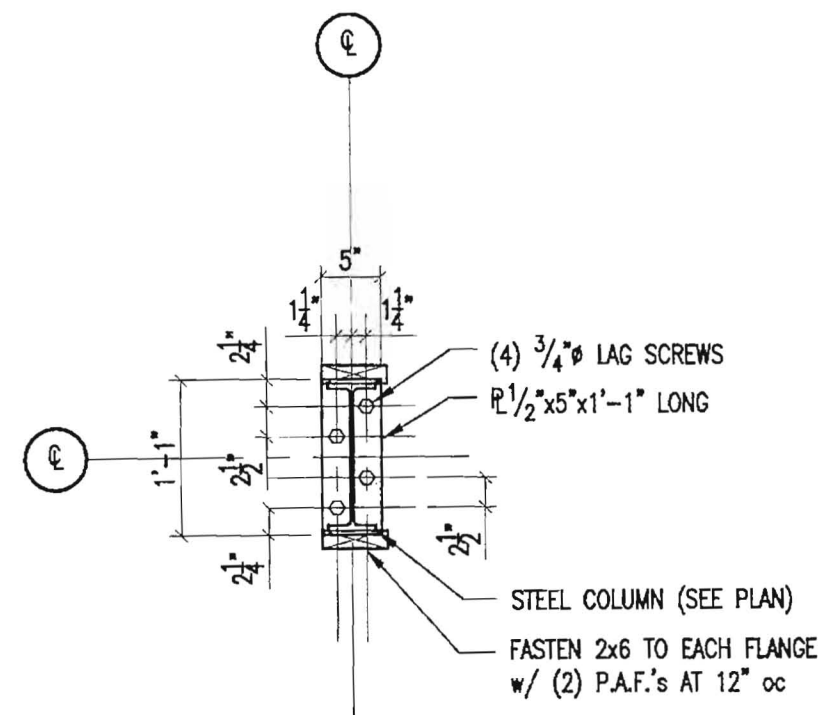


SECTION 1  
3/4" = 1'-0"





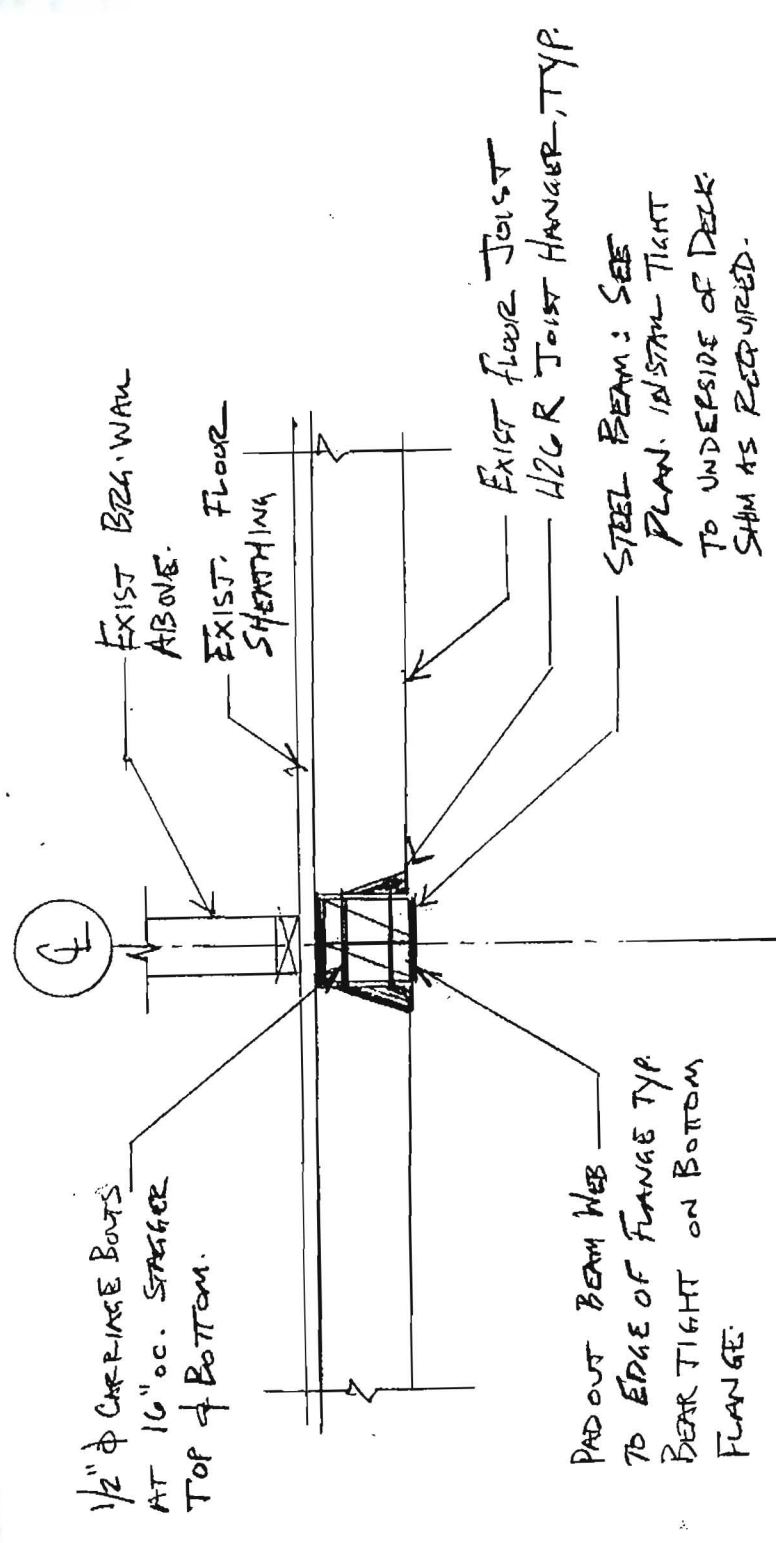
1 SECTION  
1/2" = 1'-0"



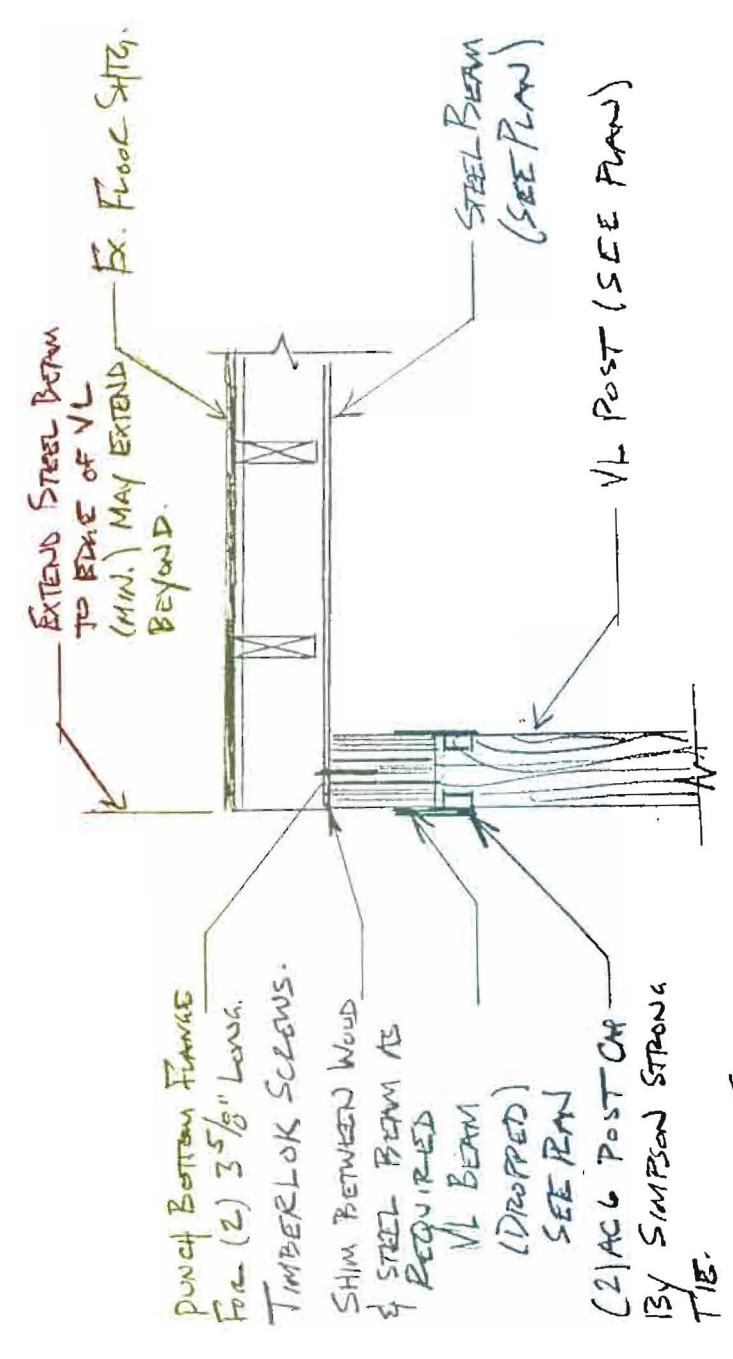
2 SECTION  
3/4" = 1'-0"



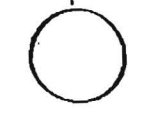
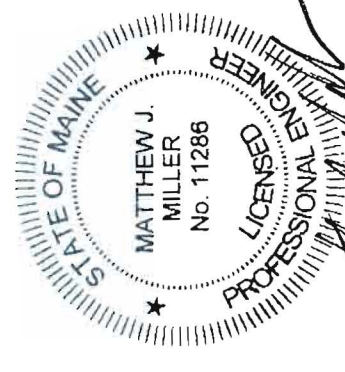
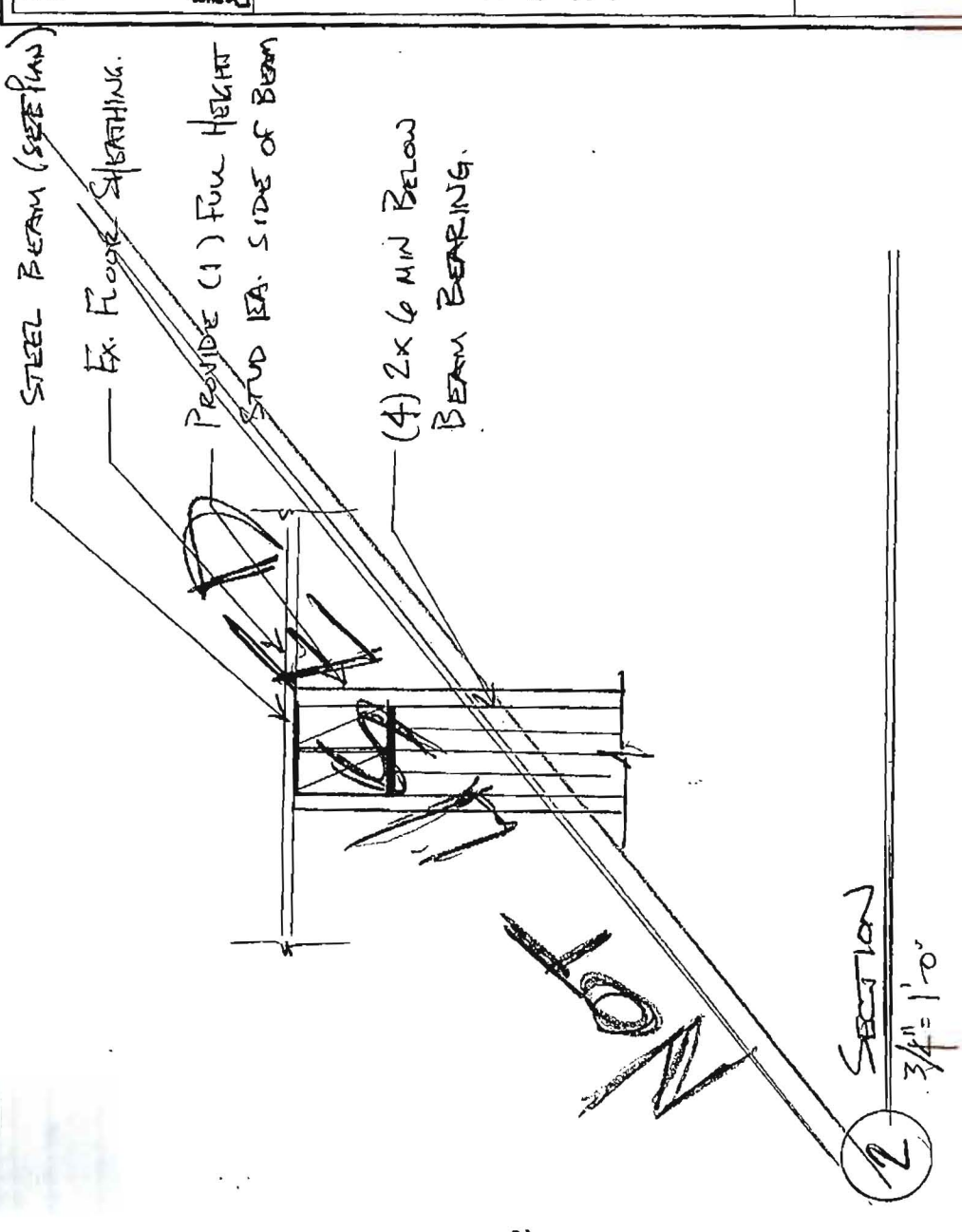
|   |              |   |                  |
|---|--------------|---|------------------|
| Drawn: MJM  | Checked: MJM | Scale: AS NOTED   | Date: 10/12/2011 |
| ASHBY RESIDENCE<br>PORTLAND, MAINE                      |              | SECTIONS AND DETAILS  |                  |
| Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101 |              | M <sup>2</sup> Structural Engineering P.C.<br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 |                  |
| Sheet: S2.2   |              | Sheet 7 of 10   |                  |
| Project No.: 11114                                      |              |   |                  |



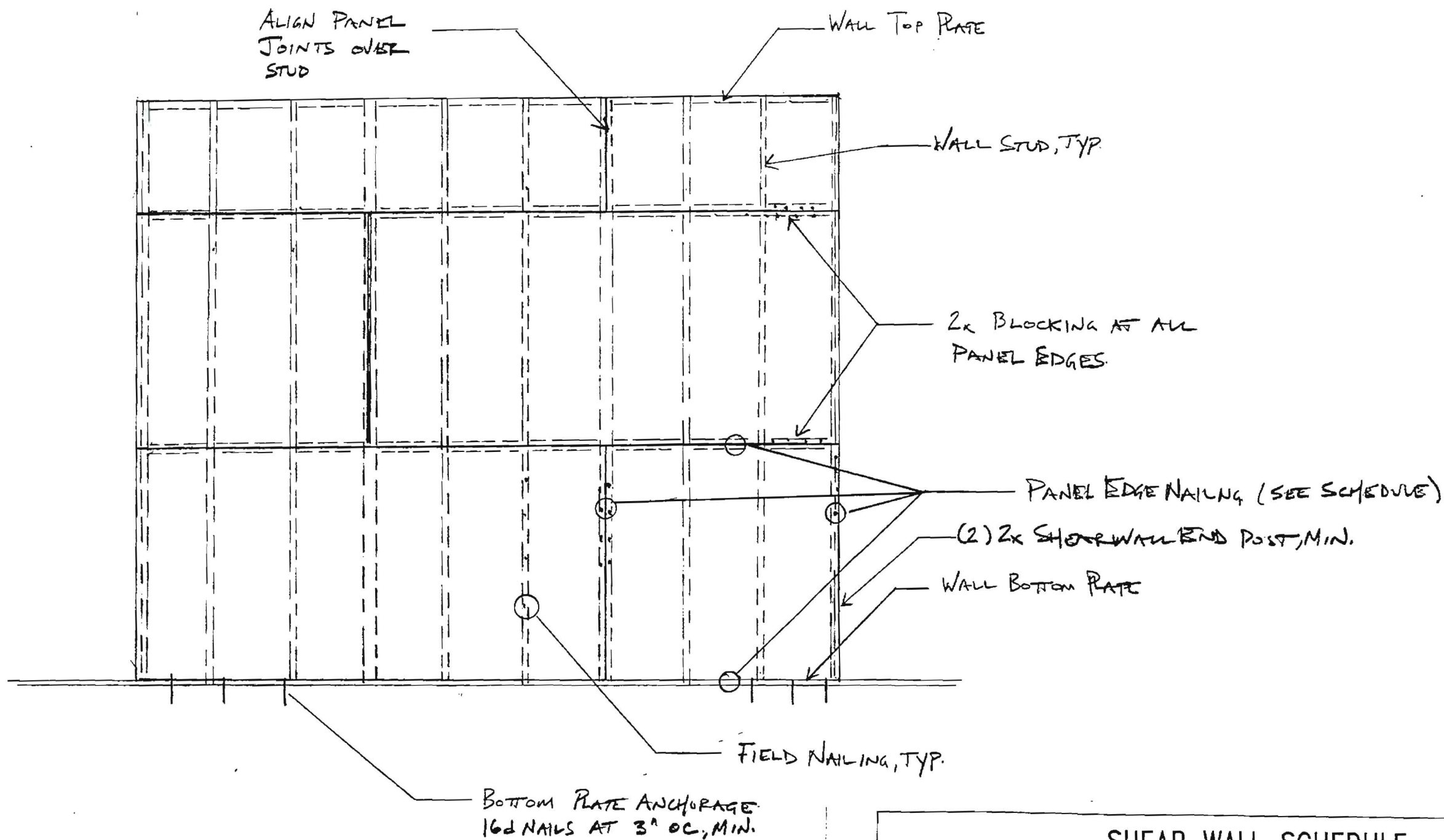
1 SECTION  
3/4" = 1'-0"



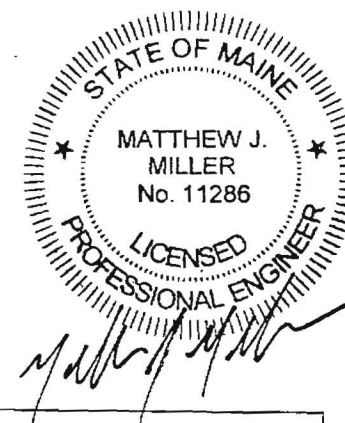
3 SECTION  
3/4" = 1'-0"







**SCHEMATIC SHEARWALL ELEVATION**  
N.T.S.

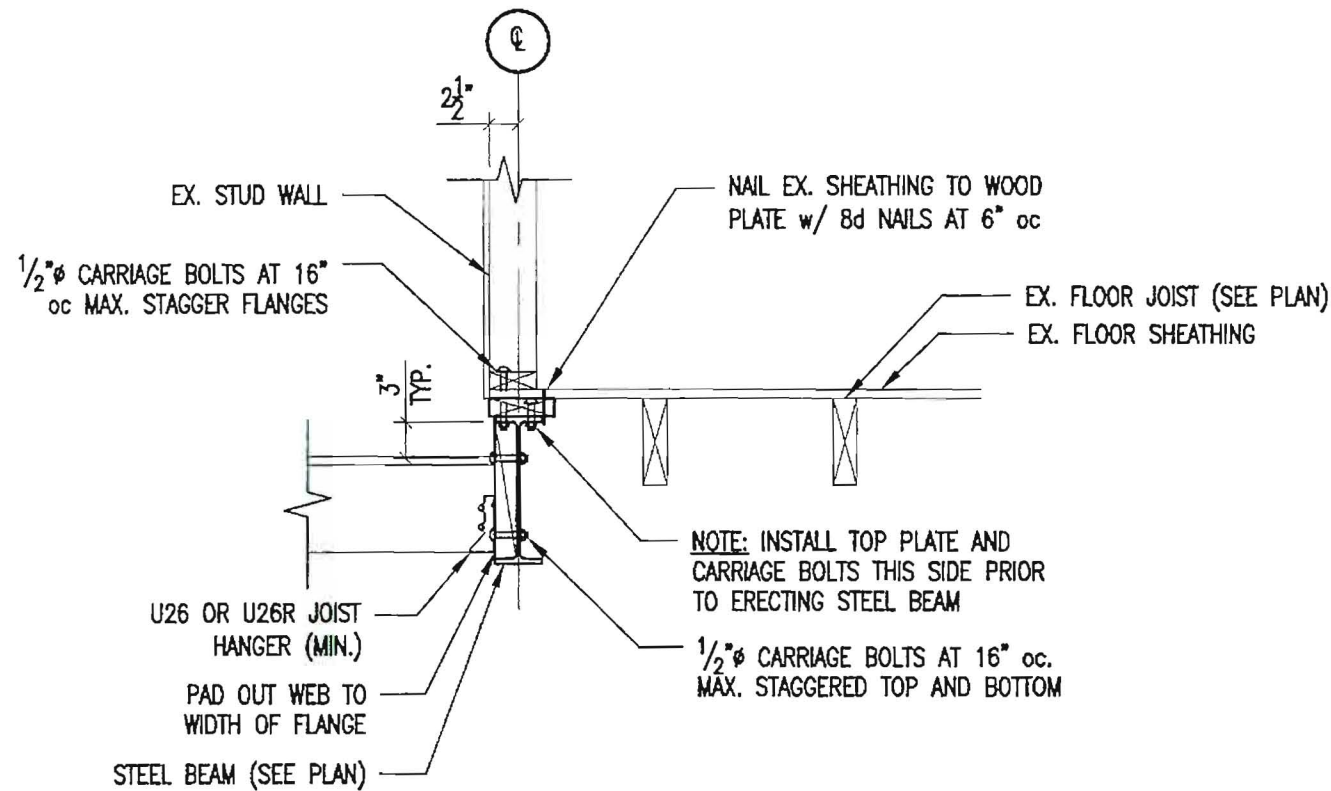


| SHEAR WALL SCHEDULE |   |                             |       |
|---------------------|---|-----------------------------|-------|
| PLAN MARK           | SHEATHING                                   | NAIL SPACING AT PANEL EDGES | NOTES |
| ①                   | 1/2" APA RATED SHEATHING                    | 8d NAILS AT 4" oc           |       |
| ②                   | 1/2" APA RATED SHEATHING<br>2 SIDES OF WALL | <del>8d NAILS AT 4"</del>   |       |

NOT USED

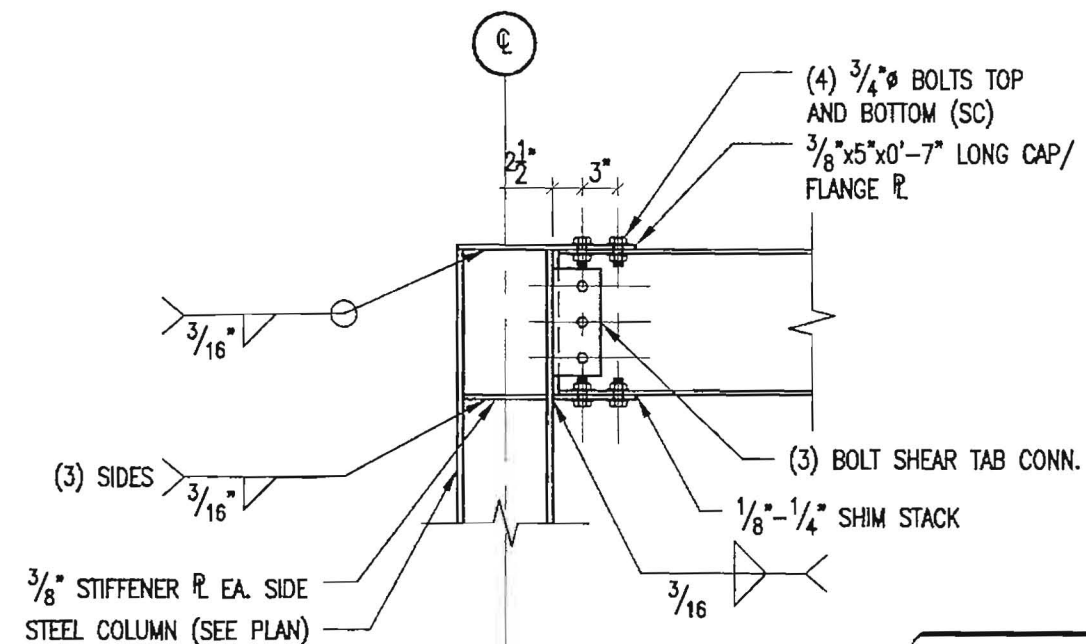
|   |              |             |
|---|--------------|-------------|
| Drawn: MJM  | Checked: MJM | Scale: NONE |
| Ashby Residence<br>288 E. Promenade, Portland, Maine<br>Sheet Title: <b>SHEAR WALL ELEVATION</b>            |              |             |
| Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101   |              |             |
| <b>M<sup>2</sup> Structural Engineering P.C.</b><br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 |              |             |
| Sheet: <b>S3.2</b><br>Sheet 9 of 10<br>Project No.: 1114  |              |             |





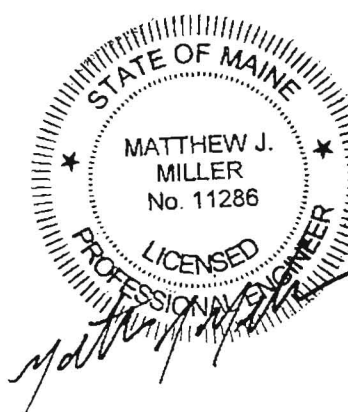
## SECTION

1  
3/4" = 1'-0"



## TYPICAL MOMENT CONNECTION DETAIL

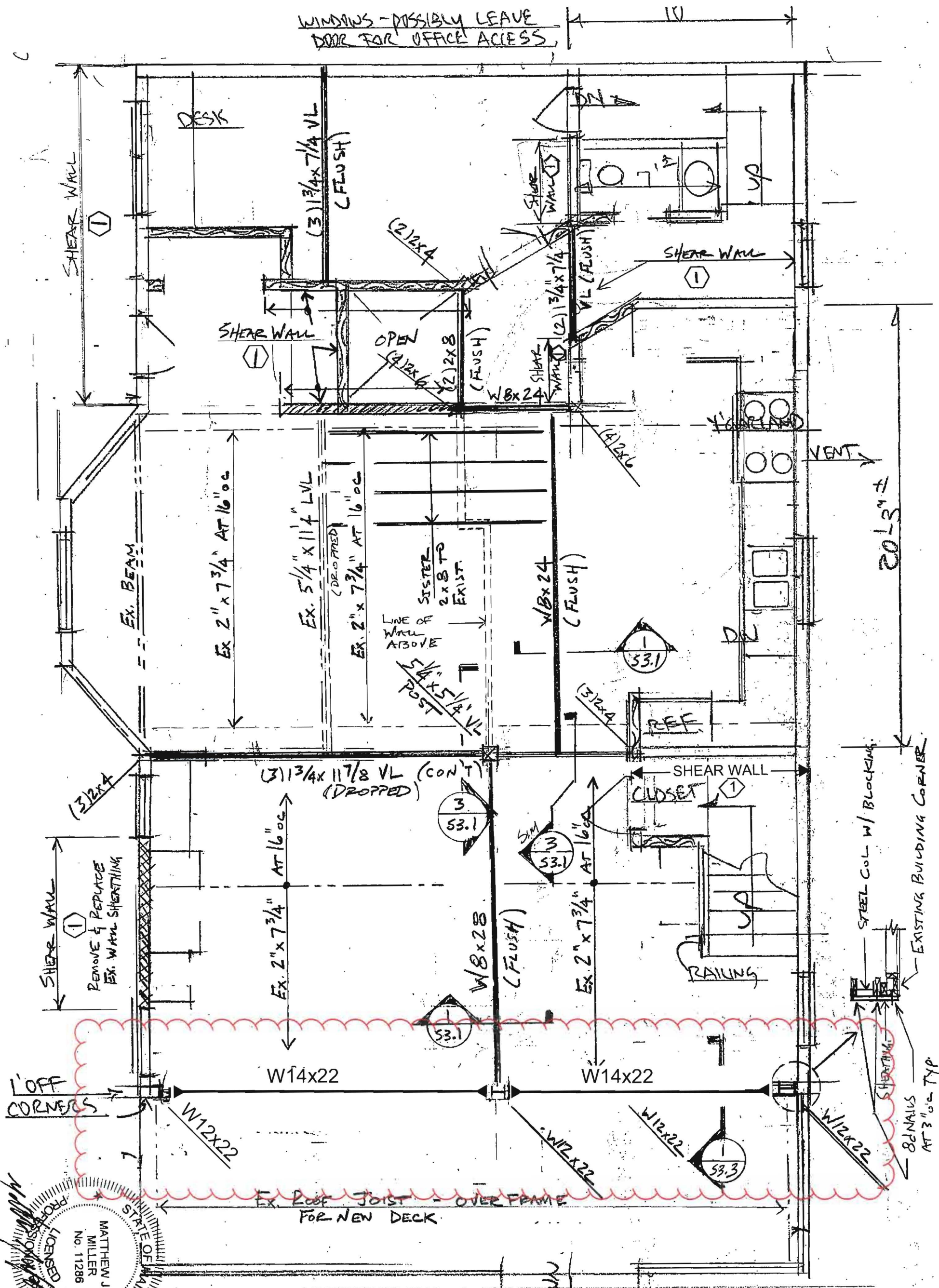
2  
3/4" = 1'-0"



|   |              |                 |       |
|---|--------------|-----------------|-------|
| Drawn: MJM  | Checked: MJM | Scale: AS NOTED | Date: |
| ASHBY RESIDENCE<br>PORTLAND, MAINE  |              |                 |       |
| SECTIONS AND DETAILS  |              |                 |       |
| Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101   |              |                 |       |
| M <sup>2</sup> Structural Engineering P.C.<br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 |              |                 |       |
| Sheet: S3.3   |              |                 |       |
| Sheet 10 of 10  |              |                 |       |
| Project No.: 1114   |              |                 |       |



WINDOWS - POSSIBLY LEAVE  
DOOR FOR OFFICE ACCESS



INDICATES MOMENT CONNECTION SEE DETAIL 2/S3.3  
 ① INDICATES WOOD FRAMED SHEAR WALL SEE SHEET S3.2



|   |  |   |  |   |
|---|--|---|--|---|
| Project No.: 1114<br>Sheet 4 of 10<br><b>S1.3</b> | <b>M<sup>2</sup> Structural Engineering</b><br>23 Thornbury Way<br>Windham, ME 04062<br>(207) 892-0983 | Sheldon Ashby<br>288 E. Promenade<br>Portland, ME 04101 | ASHBY RESIDENCE<br>PORTLAND, MAINE<br>Sheet Title:<br><b>SECOND FLOOR FRAMING PLAN</b> | Drawn: M.M.<br>Checked: M.M.<br>Scale: 1/4" = 1'-0"<br>Date: 10/12/2011 |
|---|--|---|--|---|





# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

Oct 10 2011

Received from John A. Kelly

Location of Work 276 Eastern Prom.

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \_\_\_\_\_

Building (IL) ☒ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 015 C008

Check #: 614427 Total Collected \$ 530.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: Kelly

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy