

Promenade East Condominium Exterior Masonry Repairs And Window Replacement 340 Eastern Promenade Portland, Maine

WJE No.: 2004.3899

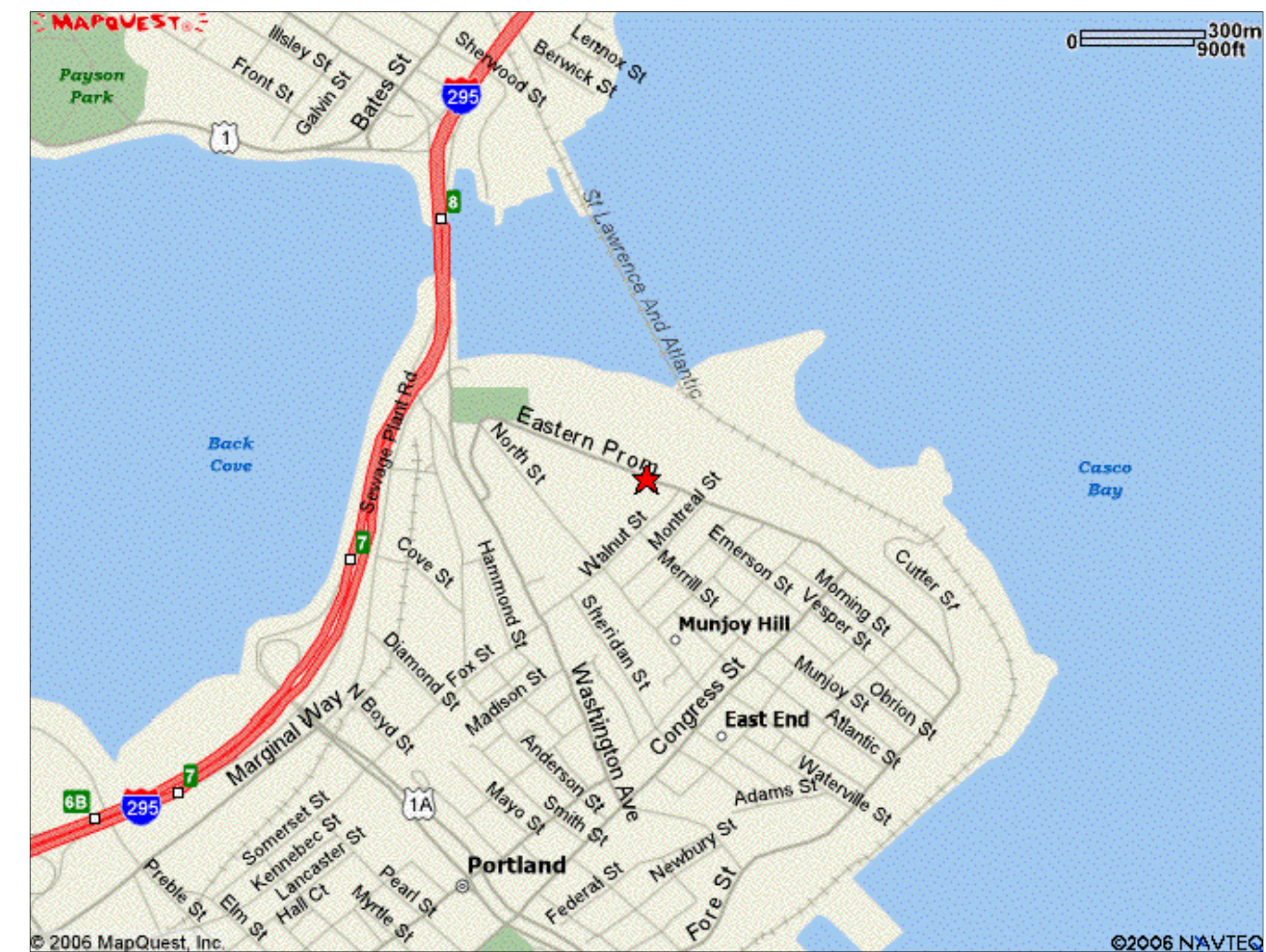
Client: Promenade East Condominium Association
340 Eastern Promenade
Portland, Maine



Wiss, Janney, Elstner Associates, Inc.
245 First St, Suite 1200
Cambridge, Massachusetts 02142
617-225-9080

ISSUED FOR PERMIT
7 JULY 2006

A1	TITLE SHEET	R100	SOUTH ELEVATION EXTERIOR REPAIRS
E200	GENERAL NOTES	R101	EAST ELEVATION EXTERIOR REPAIRS
E201	EXISTING LEVEL 1 AND LEVEL 2 FLOOR PLANS	R102	NORTH ELEVATION EXTERIOR REPAIRS
E202	EXISTING LEVEL 3 AND LEVEL 4 FLOOR PLANS	R103	WEST ELEVATION EXTERIOR REPAIRS
E203	EXISTING LEVEL 5 AND LEVEL 6 FLOOR PLANS	R104	MASONRY REPAIR DETAILS
E204	EXISTING LEVEL 7 AND LEVEL 8 FLOOR PLANS	R105	EIFS REPAIR DETAILS
E205	EXISTING LEVEL 9 AND LEVEL 10 FLOOR PLANS	S100	STRUCTURAL REPAIR DETAILS
E206	EXISTING LEVEL 11 AND LEVEL 12 FLOOR PLANS	S101	NSM CFRP REINFORCEMENT LAYOUT
E207	EXISTING LEVEL 13 AND LEVEL 14 FLOOR PLANS		
A300	EXISTING ROOF PLAN		
A301	SOUTH ELEVATION WINDOWS		
A302	EAST ELEVATION WINDOWS		
A303	NORTH ELEVATION WINDOWS		
A304	WEST ELEVATION WINDOWS		
	WINDOW LAYOUTS AND DETAILS		



GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS APPLICABLE IN THE CITY OF PORTLAND, THE STATE OF MAINE, AND ALL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO STARTING THE WORK, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS, OR OTHER CONDITIONS WHICH MAY AFFECT THE SCOPE OF WORK PRIOR TO BEGINNING REPAIRS RELATED TO THE NOTED CONDITIONS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO STARTING THE WORK.
- THE CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE ADJACENT PROPERTIES AND TENANT'S PROPERTY AS JOB CONDITIONS REQUIRE.
- CONSTRUCTION AND CONSTRUCTION RELATED ACTIVITIES SHALL BE THOROUGHLY COORDINATED WITH THE BUILDING MANAGEMENT AND SHALL NOT BLOCK EXISTING MEANS OF EGRESS. WORK SHALL BE PHASED SO THAT SAFE ACCESS TO AND EGRESS FROM THE BUILDING IS MAINTAINED AT ALL TIMES.
- REPAIR AREAS ARE SHOWN GRAPHICALLY FOR LOCATION PURPOSES ONLY AND DO NOT NECESSARILY INDICATE ACTUAL REPAIR BOUNDARIES OR FINAL QUANTITIES.
- THE EXTENT OF ALL REPAIR AREAS IS SUBJECT TO FINAL APPROVAL AND QUANTITY VERIFICATION BY THE ARCHITECT / ENGINEER.
- UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE COURSE OF THE WORK WHICH REQUIRE ADDITIONAL REPAIRS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER. NO ADDITIONAL REPAIR WORK SHALL BE PERFORMED UNLESS APPROVED IN ADVANCE BY THE ARCHITECT / ENGINEER.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE TAKEN IN THEIR ENTIRETY AND AS A WHOLE. IF A DISCREPANCY IS FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE ARCHITECT/ENGINEER SHALL HAVE THE OPTION AS TO WHICH GOVERNS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS. PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL MAKE ANY INSPECTIONS OR ANALYSIS NECESSARY TO VERIFY THAT EXISTING BUILDING ELEMENTS HAVE ADEQUATE LOAD CAPACITY TO SUPPORT ANY REQUIRED RIGGING OR STORAGE FORCES HE/SHE CHOOSES TO IMPOSE ON THEM.
- ALL SIDEWALK PROTECTION AND BRIDGING SHALL BE PROVIDED BY THE CONTRACTOR.
- THE OWNER WILL PROVIDE ELECTRICITY. THE CONTRACTOR WILL PROVIDE A WEATHERPROOF, GROUNDED POWER DISTRIBUTION SYSTEM SUFFICIENT TO ACCOMMODATE CONSTRUCTION OPERATIONS REQUIRING POWER, USE OF POWER TOOLS, AND OVERLOAD PROTECTION. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY INCORRECT ELECTRICAL USAGE.
- WATER CONNECTION TO BUILDING'S EXISTING SYSTEM WITH EQUIPMENT SUPPLIED BY THE CONTRACTOR WILL BE PERMITTED.
- USE OF DESIGNATED TOILET FACILITIES WILL BE PERMITTED BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN SAID FACILITIES IN A CLEAN AND ORDERLY MANNER. USE OF ROOF AS A TOILET WILL NOT BE TOLERATED OR PERMITTED.
- CONTRACTOR SHALL KNOW AND FOLLOW ALL PRECAUTIONS AND SAFETY PROCEDURES AS NORMALLY USED IN THE INDUSTRY AND THOSE PROCEDURES AS INSTRUCTED BY THE MATERIAL MANUFACTURER, AND ALL LOCAL, STATE AND FEDERAL REGULATIONS, SAFETY STANDARDS AND CODES. WHEN A CONFLICT EXISTS, COMPLY WITH THE STRICTER REQUIREMENT. THE APPLICABLE REQUIREMENTS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), CONSTRUCTION INDUSTRY STANDARDS (29 CFR 1926/1910, CURRENT EDITION), WASHINGTON, D.C. SHALL BE USED AS A STANDARD GUIDELINE.
- THE CONTRACTOR WILL NOT BE ALLOWED TO UTILIZE PASSENGER ELEVATORS FOR MATERIAL HOISTING OR DEBRIS REMOVAL. ONLY PERSONNEL WILL BE ALLOWED USE OF ELEVATORS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS REGARDING DUST AND DEBRIS CONTAINMENT. VACUUM SYSTEMS, WATER MISTING SYSTEMS, OR WORK ENCLOSURES SHALL BE USED AS REQUIRED TO MINIMIZE AND CONTAIN DUST GENERATED FROM DEMOLITION, REPOINTING WORK AND OTHER GRINDING OPERATIONS.

TENANT SAFETY PLAN

CONSTRUCTION WITHIN AN OCCUPIED MULTIPLE DWELLING REQUIRES THAT THE CONTRACTOR PERFORM ALL WORK IN ACCORDANCE WITH THE FOLLOWING:

- CONSTRUCTION WORK SHALL BE TO THE EXTERIOR AND SHALL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE APARTMENT UNITS WITHIN THE BUILDING.
- CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FROM THE BUILDING.
- CONSTRUCTION OPERATIONS SHALL NOT INVOLVE THE INTERRUPTION OF HEATING, WATER OR ELECTRICAL SERVICES TO THE TENANTS OF THE BUILDING.
- CONSTRUCTION OPERATIONS AND ACTIVITIES SHALL BE CONFINED TO NORMAL WORKING HOURS: 8:00am - 5:00pm MONDAY - FRIDAY AND LEGAL HOLIDAYS (AS APPROVED BY THE OWNER).
- TENANT ACCESS AND EGRESS SHALL BE MAINTAINED AT ALL TIMES. PROVIDE OVERHEAD PROTECTION AS REQUIRED AT ALL GRADE LEVEL EGRESS
- CONTRACTOR SHALL PROTECT EXISTING CELL PHONE ANTENNA'S, CABLEWAYS AND GRADE LEVEL EQUIPMENT TO ENSURE UNINTERRUPTED SERVICE. COORDINATE PROTECTION WITH UTILITY.

SCHEDULE

IN SO MUCH AS THE PROMENADE EAST CONDOMINIUMS ARE OWNER OCCUPIED RESIDENCES, THE OWNER PLACES A PREMIUM ON THE PROPOSED CONSTRUCTION TIME SCHEDULE. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION TIME SCHEDULE INDICATING THE ANTICIPATED START AND FINISH TIME FOR EACH AREA OF WORK AND SHALL INDICATE THE ANTICIPATED TIME PERIOD FOR INTERIOR WORK IN EACH UNIT. ADDITIONALLY, THE CONTRACTOR SHALL PROVIDE A NARRATIVE ON HOW THEY PROPOSE TO STAGE THE WORK AND TO GAIN ACCESS TO THE BUILDING FACADES AT EACH AREA.

SCOPE OF WORK

IN GENERAL, THE WORK OF THE PROJECT INVOLVES ALL LABOR AND MATERIALS REQUIRED FOR THE COMPLETION OF THE WORK INDICATED ON THE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS. THE MASONRY FACADE REPAIRS AND WINDOW REPLACEMENT FOR 340 EASTERN PROMENADE INCLUDE, BUT ARE NOT LIMITED TO:

I. EXTERIOR WORK:

STRUCTURAL STABILIZATION OF SARABOND PANELS

REMOVE (1) COURSE OF EXISTING BRICK BETWEEN EXISTING DOUBLE SEALANT JOINTS AT EACH FLOOR SLAB ELEVATION.

INSTALL NEW SHOP PAINTED STEEL SUPPORT ANGLE FASTENED TO EXPOSED FACE OF CONCRETE SLAB WITH EPOXY ANCHORS. INSTALL FLASHING AND INSTALL NEW BRICK AT ANGLE.

MASONRY REPAIRS

REPAIR VERTICAL BRICK CRACKS BY ROUTING AND SEALING WITH NEW BACKER ROD AND SEALANT.

REPLACE BRICK AT SPALLED AREAS AROUND CORRODING PANEL ANCHORS.

GRIND AND REPOINT CRACKED MORTAR JOINTS. AT CRACKED BED JOINTS WITH EMBEDDED WIRE, GRIND JOINT TO DEPTH OF WIRE, REMOVE WIRE AND REPOINT.

REMOVE BRICK AT SELECT LOCATIONS OVER WIDOWS WITH PRIOR HEAD FLASHING RETROFIT. INSTALL NEW LOOSE LINTEL OVER WINDOW. INSTALL NEW BRICK.

INSTALL NEW BACKER ROD AND SEALANT AT ALL VERTICAL AND HORIZONTAL PANEL EXPANSION JOINTS.

COAT EXTERIOR BRICK SURFACES WITH WATER REPELLENT COATING. PRODUCT TO BE USED SHALL BE DOW ALLGUARD INCLUDING PRIMER.

STRUCTURAL STABILIZATION

MAKE HORIZONTAL AND VERTICAL SLOTS IN MASONRY TO ACCEPT CFRP BARS. COORDINATE WITH MASONRY REPAIRS.

ADHERE NEW #2 OR #3 ASLAN CFRP BARS AS SHOWN ON DRAWING S101 IN HORIZONTAL AND VERTICAL SLOTS USING SIKA SIKADUR 30 ADHESIVE.

TOOL ADHESIVE TO MATCH EXISTING MORTAR JOINTS.

EIFS REPAIRS

REPLACE FAILING STAIR TOWER SOFFITS INCLUDING REMOVAL OF EXISTING EIFS AND LGM SUPPORT STUDS. INSTALL NEW METAL LGM SUPPORT FRAMING, SHEATHING AND NEW EIFS.

REPAIR EXISTING CRACKS IN STAIRTOWER EIFS.

CLEAN AND RECOAT EIFS AT STAIR TOWERS.

EIFS AT PENTHOUSE LEVEL AND BALCONIES IS NOT INCLUDED IN THE BASE CONTRACT.

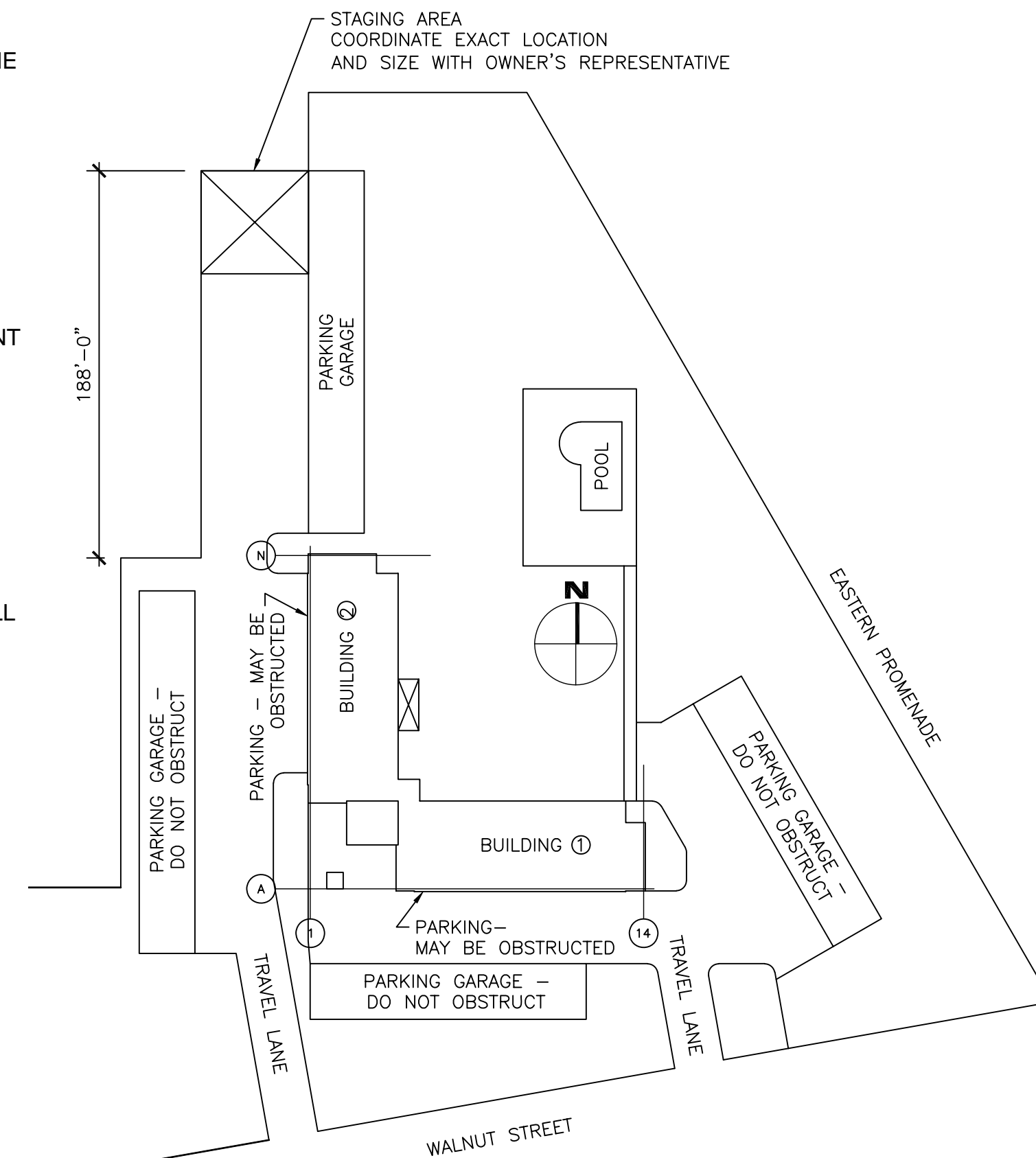
II. WINDOW REPLACEMENT AND LOUVERS

REPLACE EXTERIOR WINDOWS AND DOORS IN UNITS AND CORRIDORS AS INDICATED ON THE DRAWINGS.

EXISTING LOUVERS IN EXTERIOR WALLS SHALL BE REPLACED.

ABBREVIATIONS

CFRP	CARBON FIBER REINFORCED POLYMER
CONC.	CONCRETE
CONT.	CONTINUOUS
(E)	EXISTING
GWB	GYPSON WALLBOARD
MIN.	MINIMUM
N.I.C.	NOT IN CONTRACT
NSM	NEAR SURFACE MOUNT
NTS	NOT TO SCALE
O.C.	ON CENTER
PWD	PLYWOOD
R.O.	ROUGH OPENING
SAMF	SELF ADHERED MEMBRANE FLASHING
SIM.	SIMILAR
TYP.	TYPICAL
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD



STAGING PLAN
SCALE: 1/64" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.

EGRESS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION

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7 JULY 2006

WJE ENGINEERS
ARCHITECTS
MATERIAL SCIENTISTS

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Project

**PROMENADE
EAST
CONDOMINIUMS
FACADE REPAIRS**
340 EASTERN
PROMENADE
PORTLAND, MAINE 04101

Client

**Promenade East
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Project No. 2004.3899.2

Date 17 MARCH 2006

Drawn EKF

Checked LMG

Scale AS NOTED





GENERAL NOTES

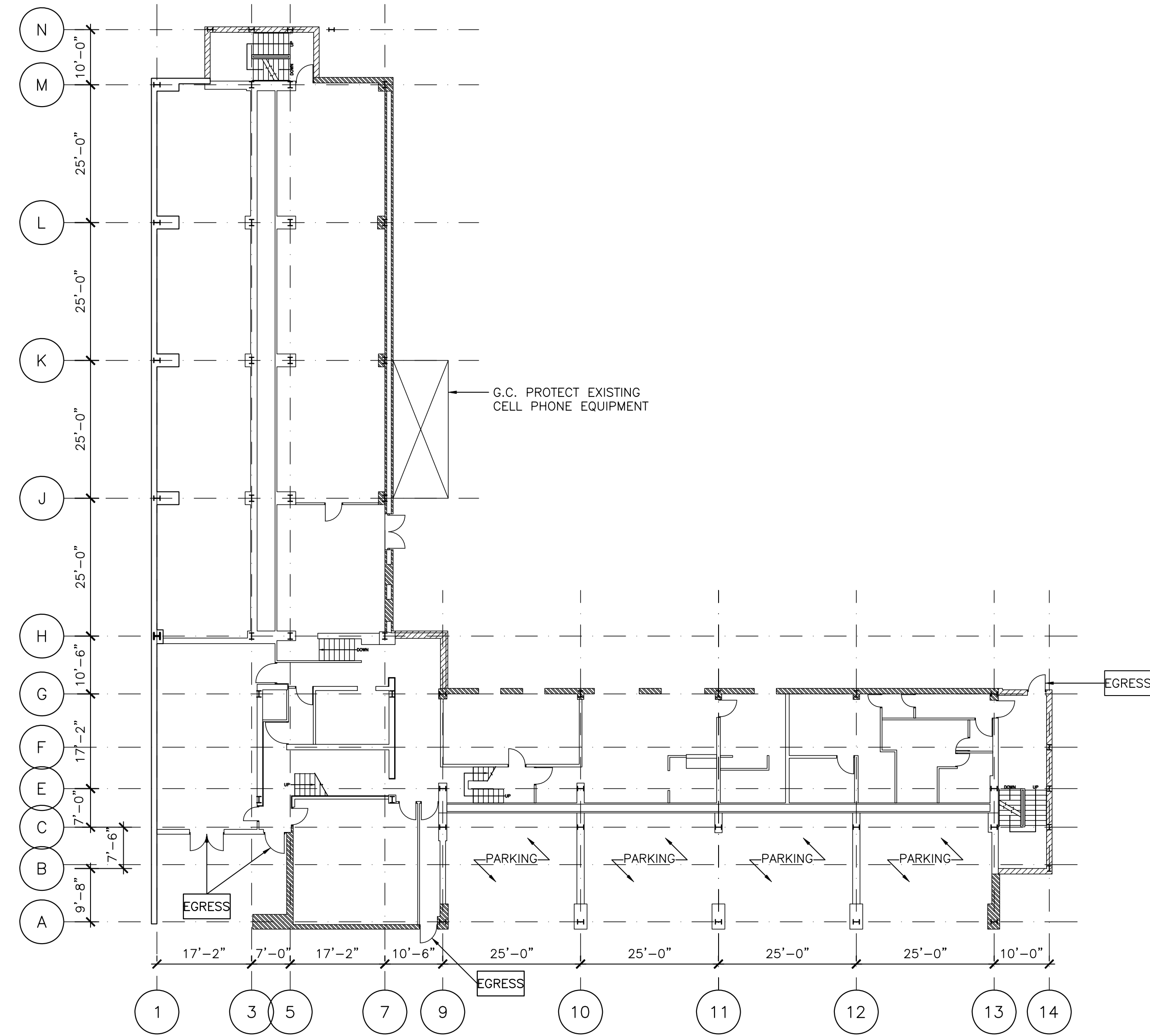
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A1

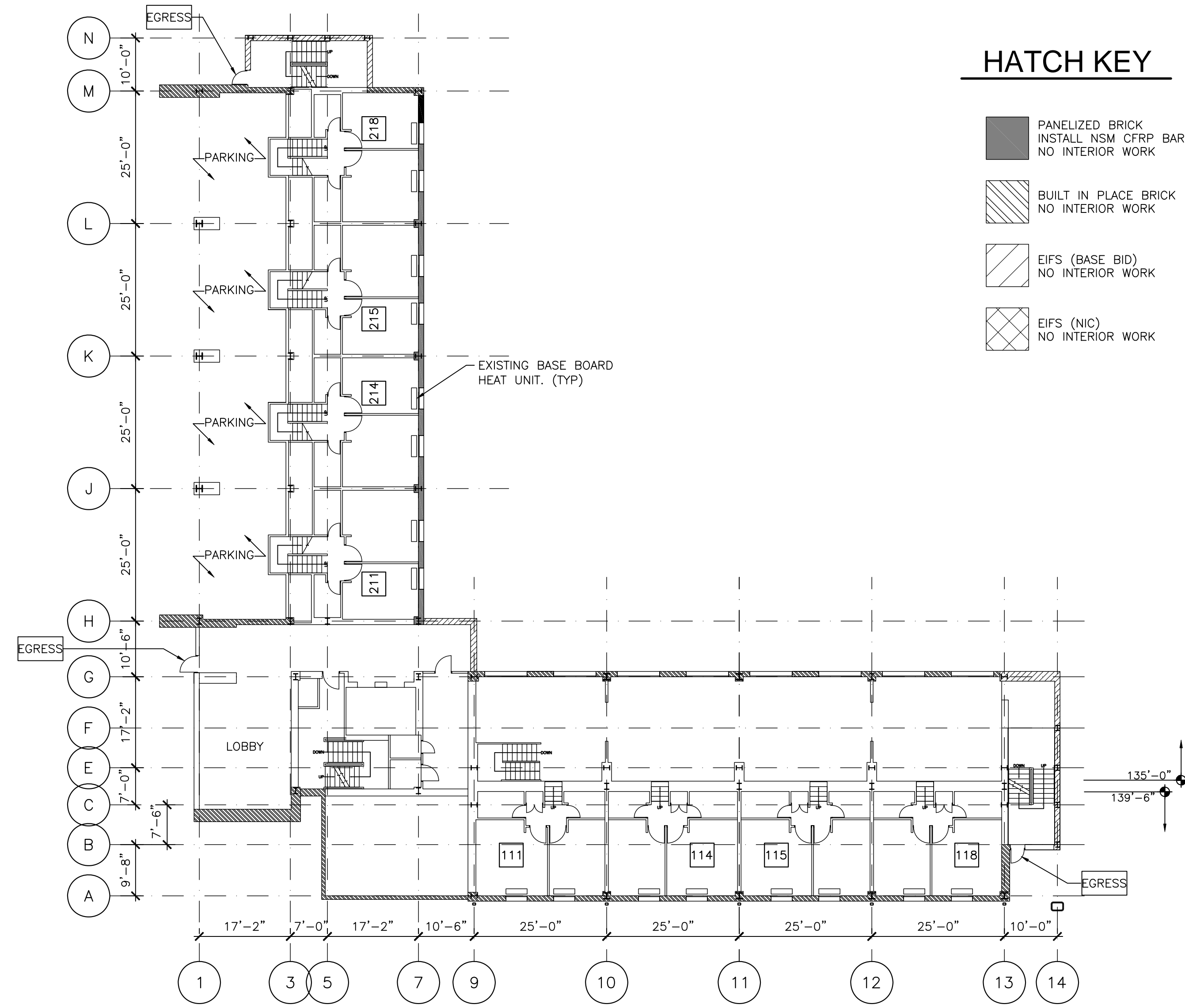
HATCH KEY

-  PANELIZED BRICK
INSTALL NSM CFRP BARS
NO INTERIOR WORK
-  BUILT IN PLACE BRICK
NO INTERIOR WORK
-  EIFS (BASE BID)
NO INTERIOR WORK
-  EIFS (NIC)
NO INTERIOR WORK



1 LEVEL 1 FLOOR PLAN (GROUND)
SCALE: 1/16" = 1'-0"

INDICATES UNIT NUMBER



2 LEVEL 2 FLOOR PLAN (FLOOR 1 LOWER)
SCALE: 1/16" = 1'-0"

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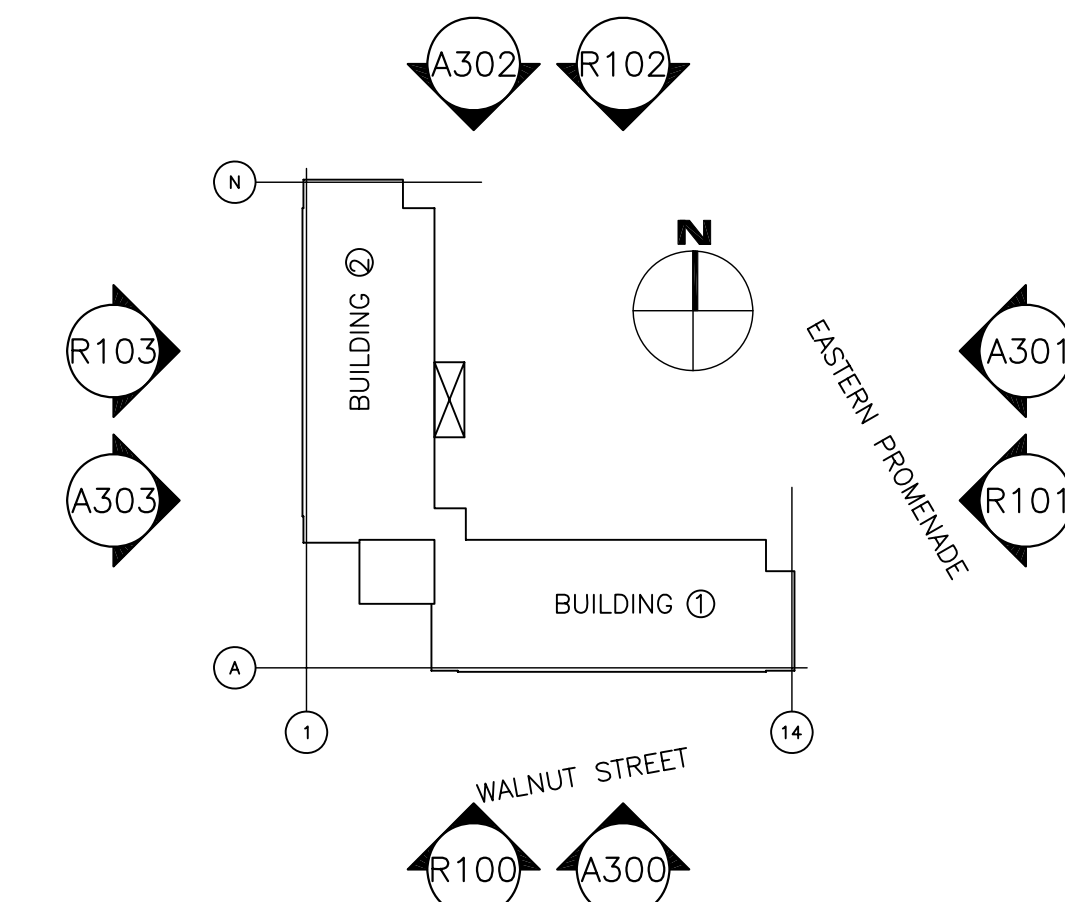
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**EXISTING LEVEL 1
AND LEVEL 2 FLOOR
PLANS**

Sheet No. **E200**

PLAN KEY



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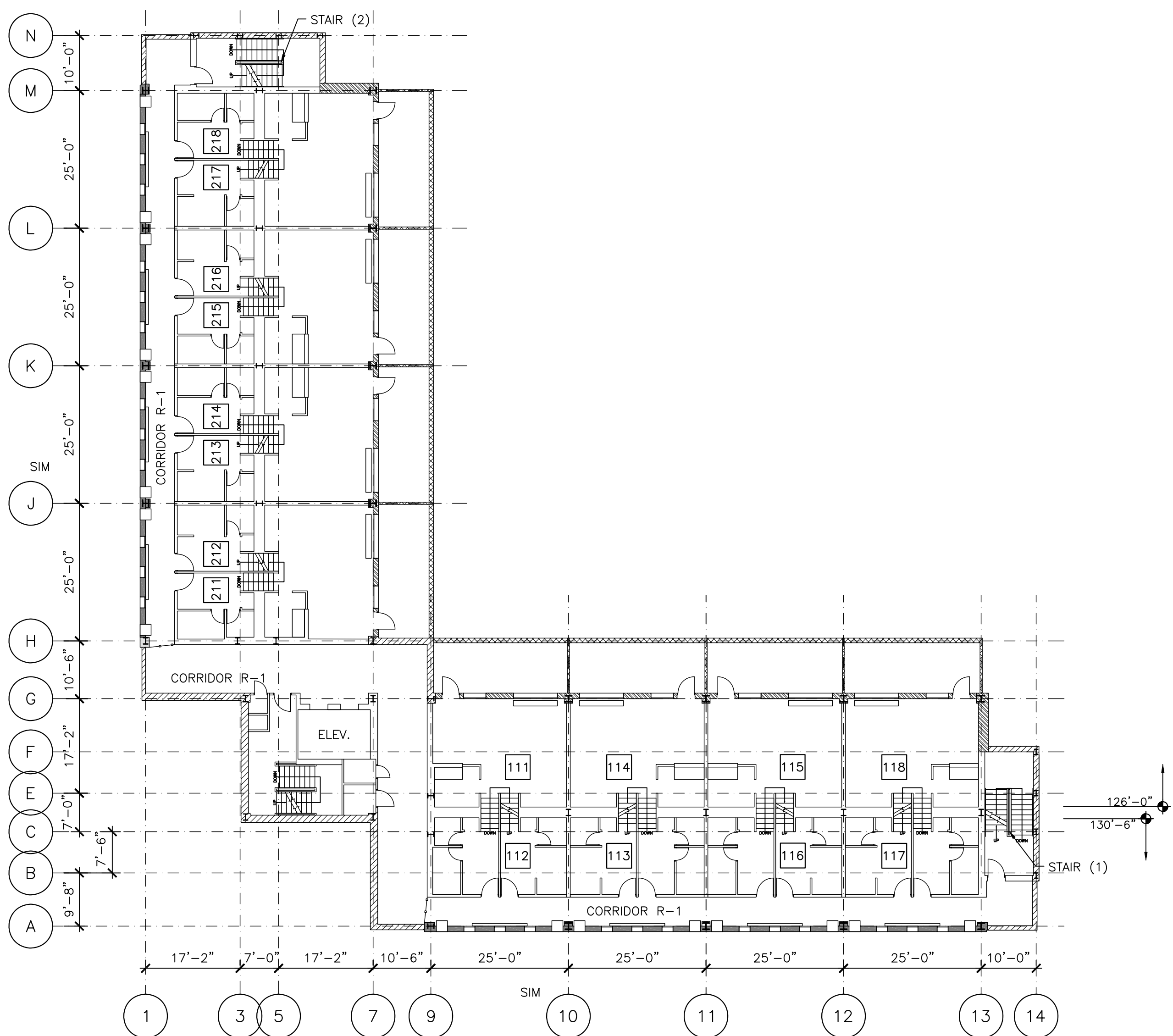
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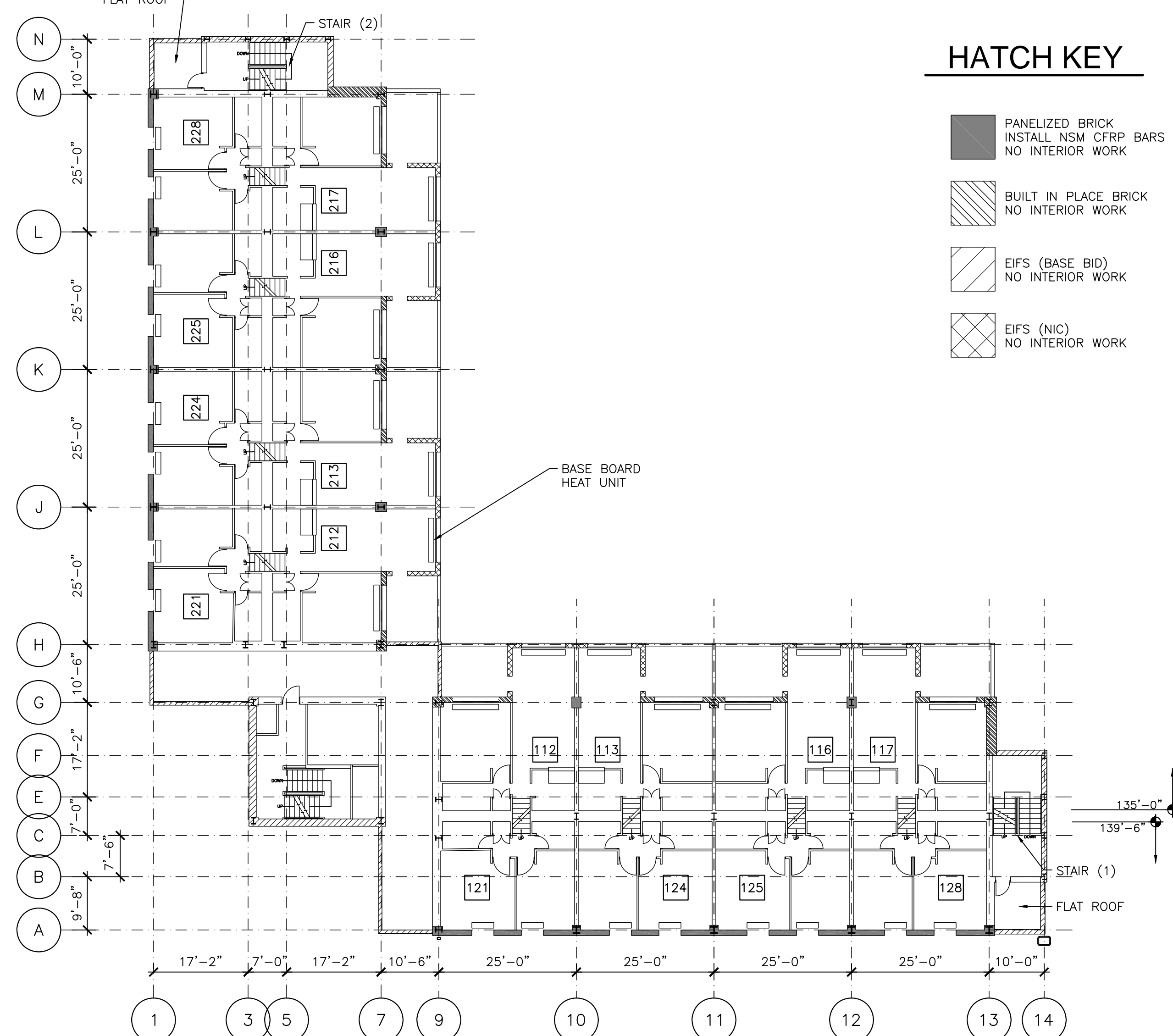
**EXISTING LEVEL 3
AND LEVEL 4 FLOOR
PLANS**

Sheet No. **E201**



3 LEVEL 3 FLOOR PLAN (FLOOR 1 MAIN)
SCALE: 1/16" = 1'-0"

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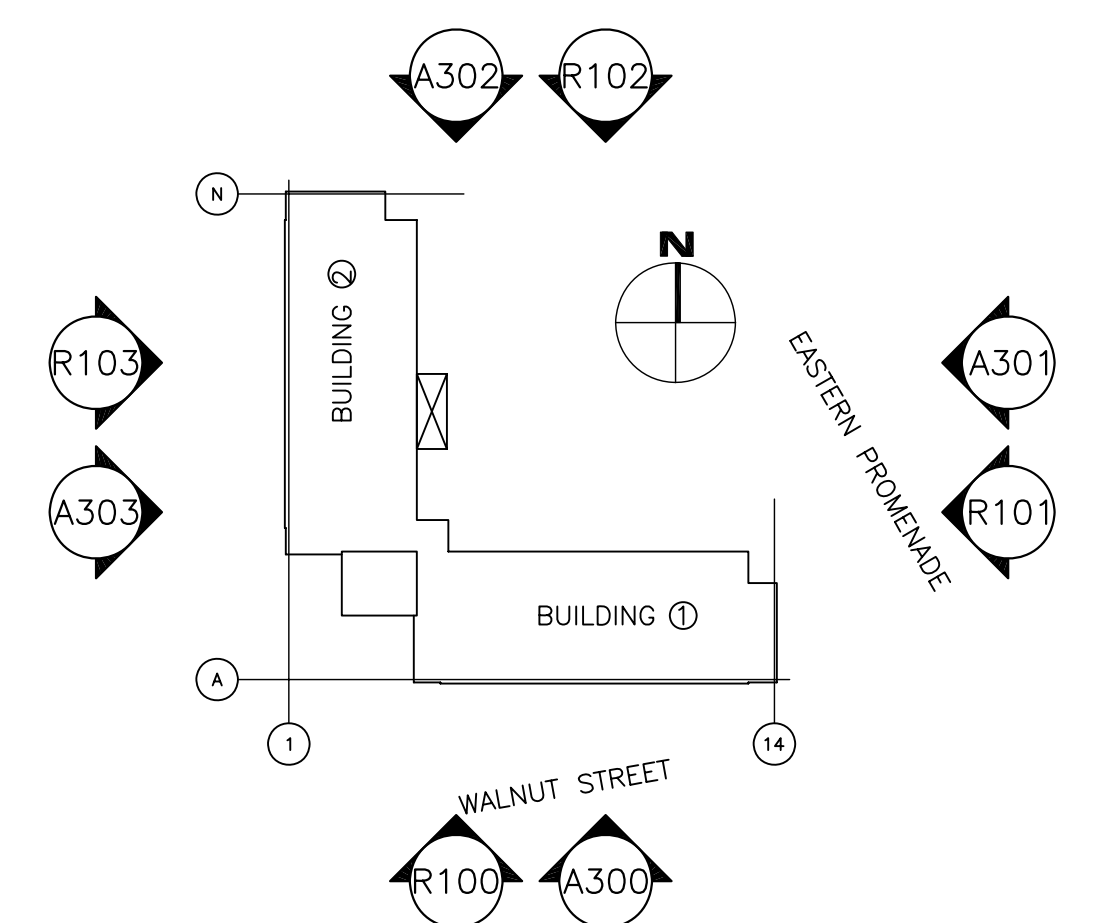


4 LEVEL 4 FLOOR PLAN (FLOOR 1 UPPER AND FLOOR 2 LOWER)
SCALE: 1/16" = 1'-0"

HATCH KEY

- PANELIZED BRICK
INSTALL NSM CFRP BARS
NO INTERIOR WORK
- BUILT IN PLACE BRICK
NO INTERIOR WORK
- EIFS (BASE BID)
NO INTERIOR WORK
- EIFS (NIC)
NO INTERIOR WORK

PLAN KEY



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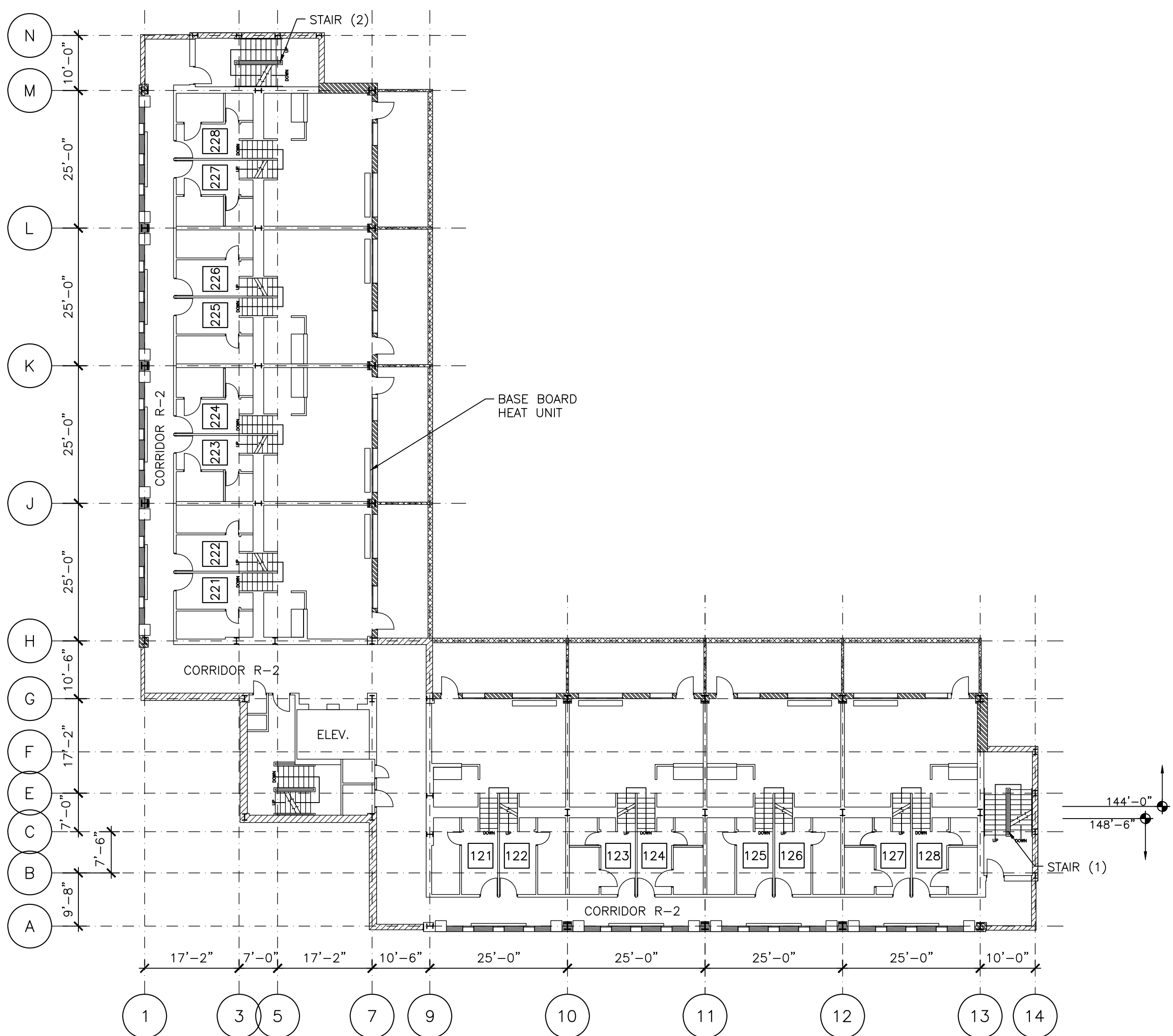
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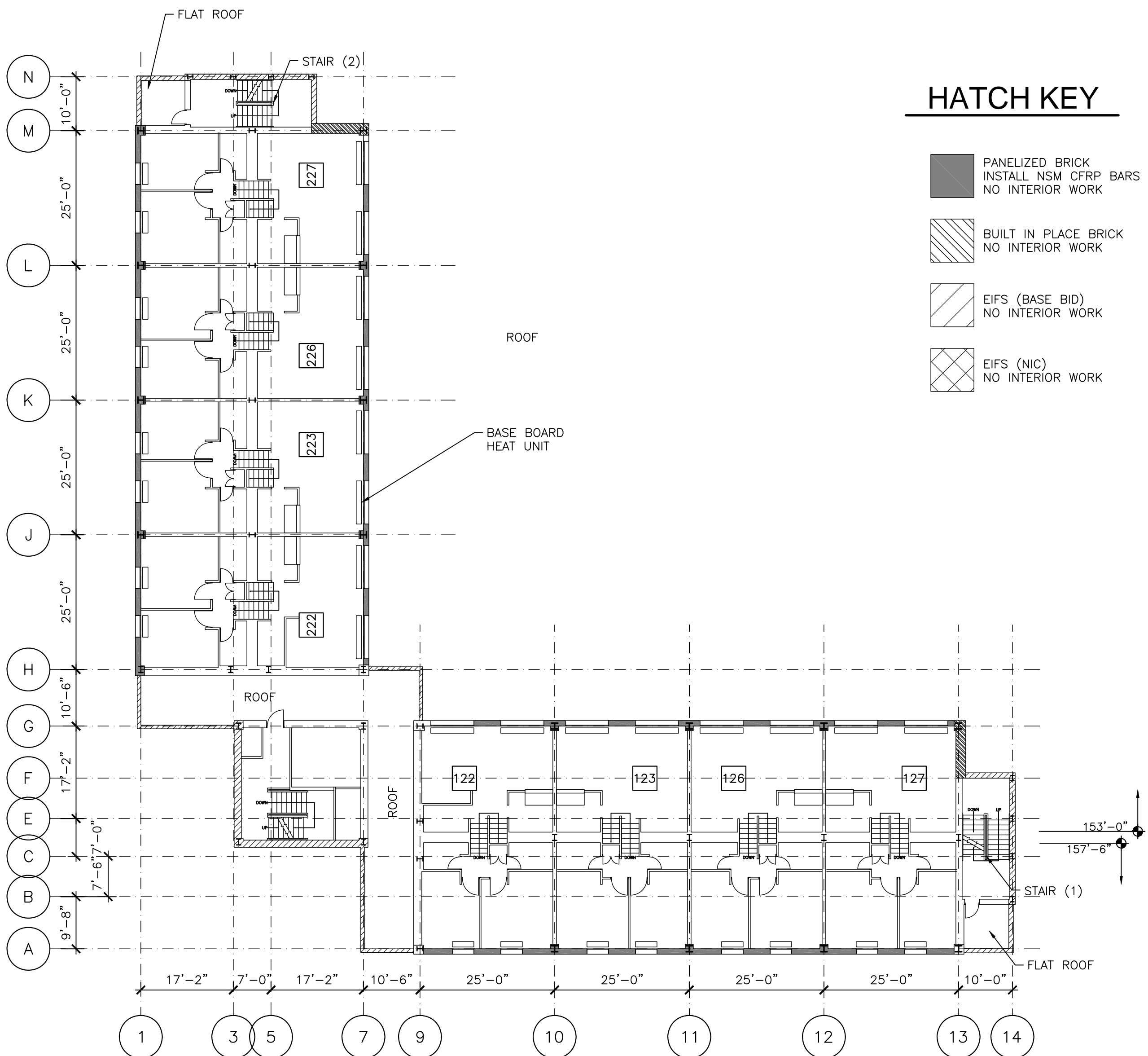
**EXISTING LEVEL 5
AND LEVEL 6 FLOOR
PLANS**

Sheet Title
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5 LEVEL 5 FLOOR PLAN (FLOOR 2 MAIN)
SCALE: 1/16" = 1'-0"

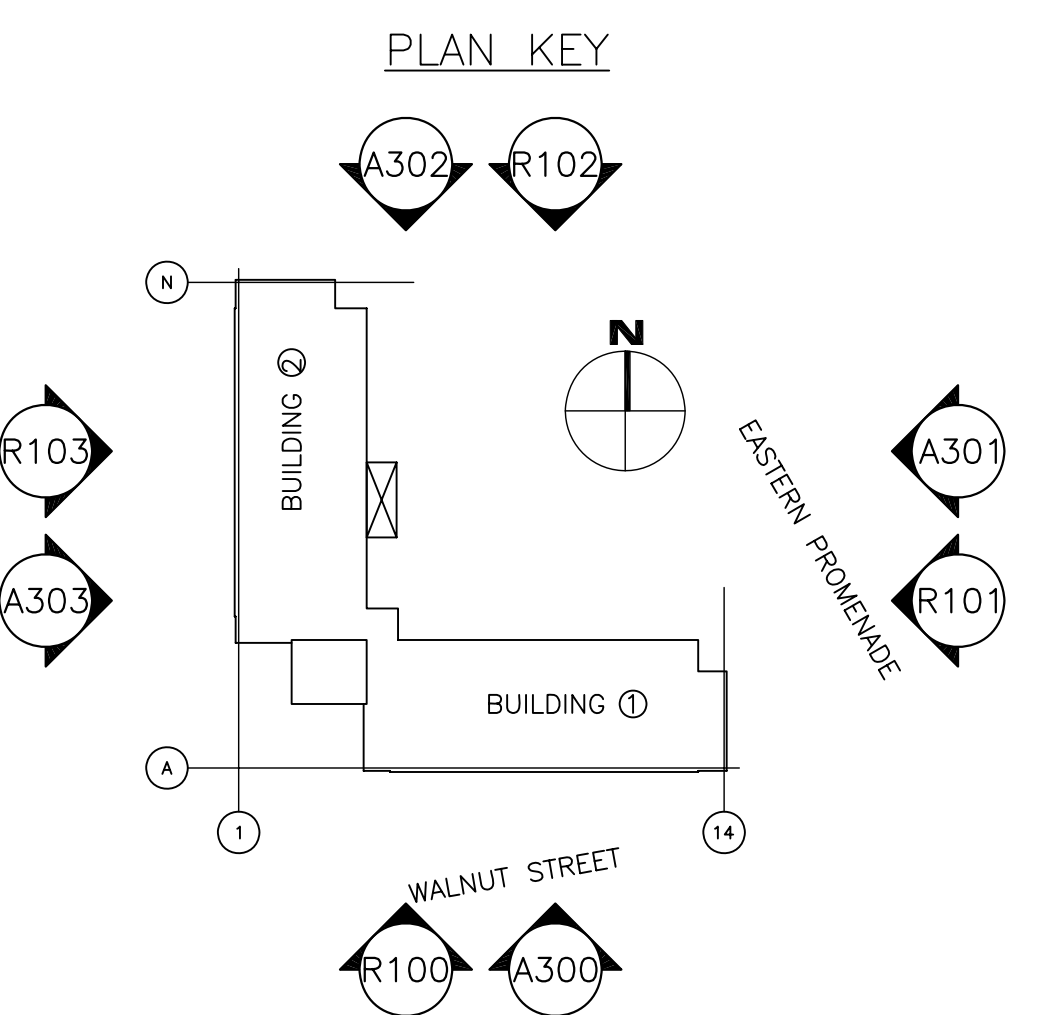
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6 LEVEL 6 FLOOR PLAN (FLOOR 2 UPPER)
SCALE: 1/16" = 1'-0"

HATCH KEY

- PANELIZED BRICK
INSTALL NSM CFRP BARS
NO INTERIOR WORK
- BUILT IN PLACE BRICK
NO INTERIOR WORK
- EIFS (BASE BID)
NO INTERIOR WORK
- EIFS (NIC)
NO INTERIOR WORK

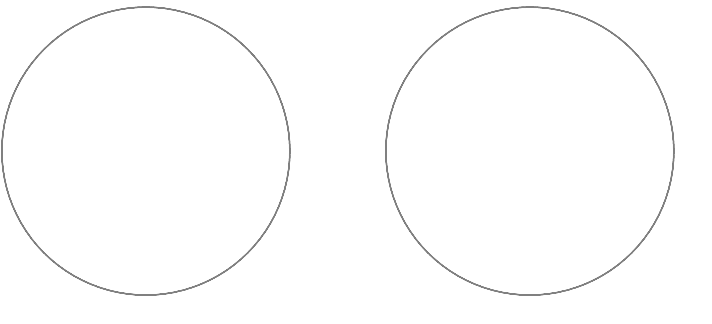


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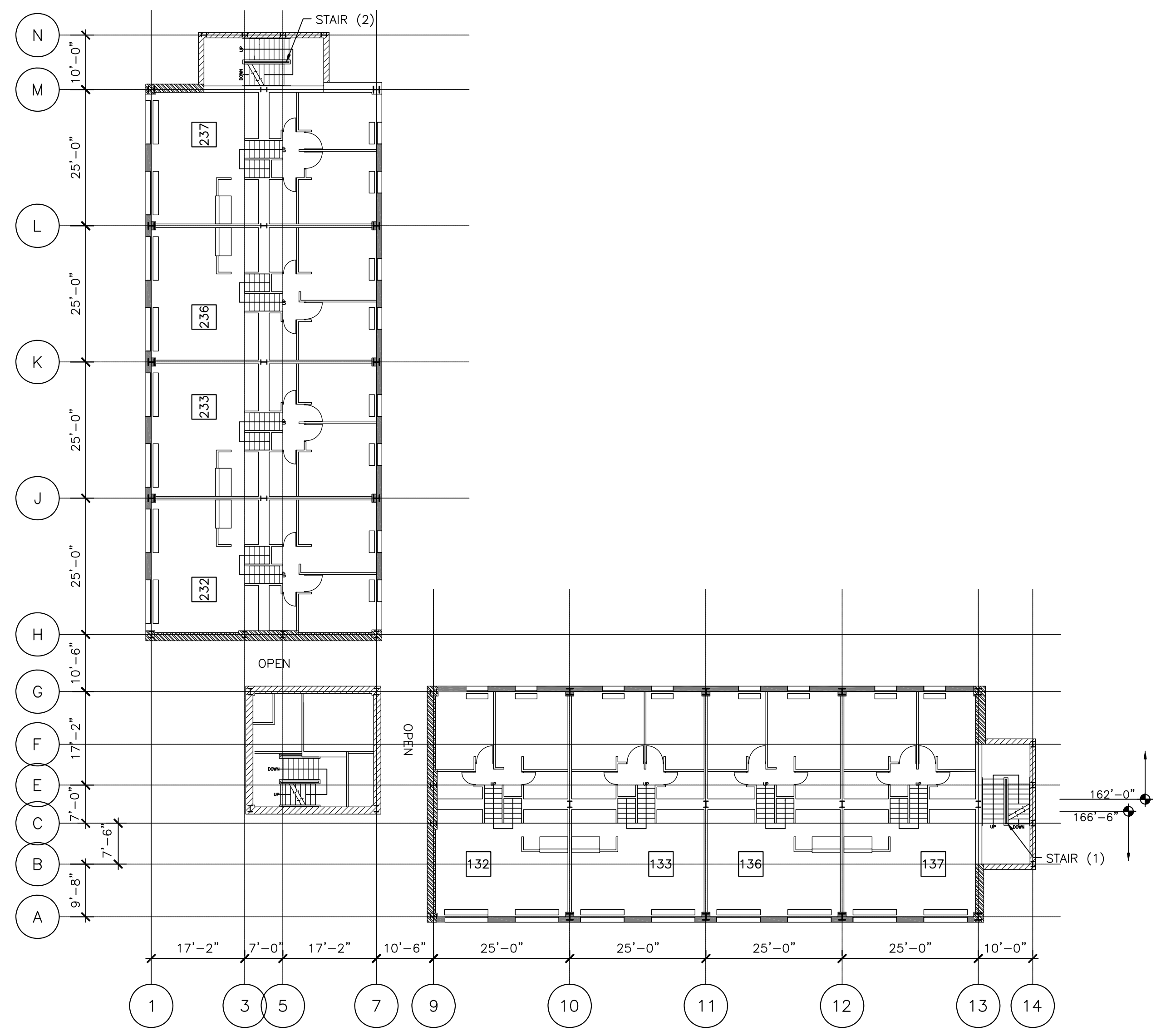
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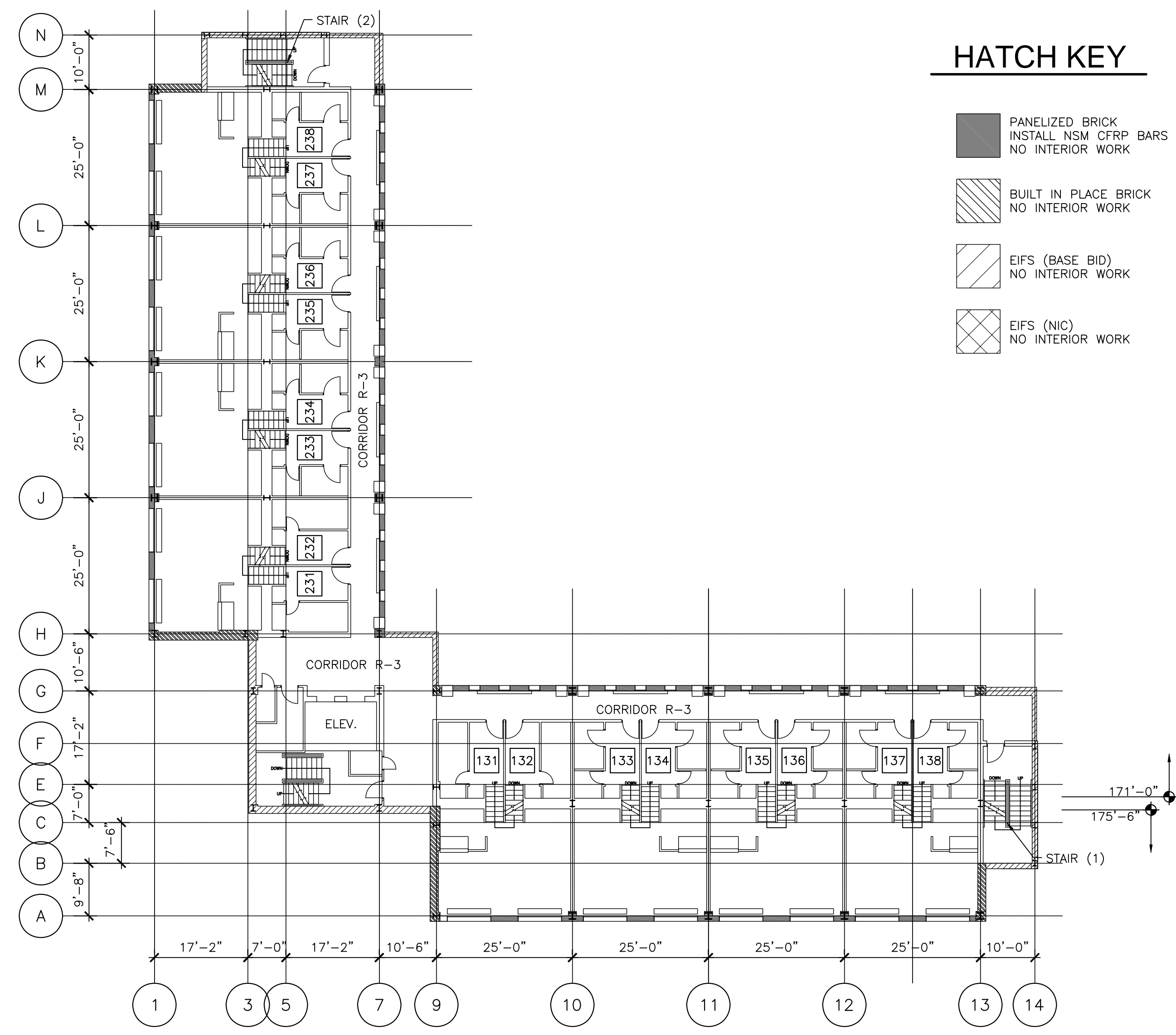
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AND LEVEL 8 FLOOR
PLANS**

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7 LEVEL 7 FLOOR PLAN (FLOOR 3 LOWER)
SCALE: 1/16" = 1'-0"

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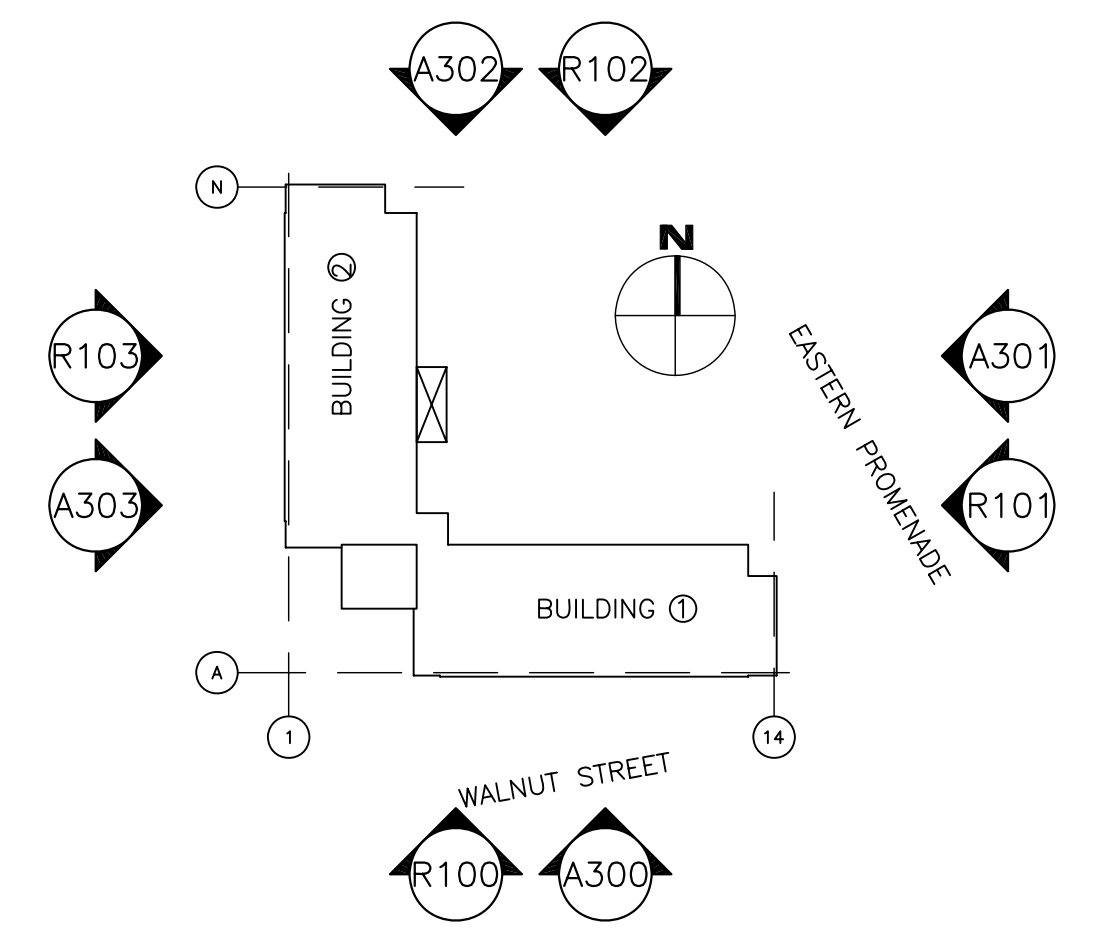


8 LEVEL 8 FLOOR PLAN (FLOOR 3 MAIN)
SCALE: 1/16" = 1'-0"

HATCH KEY

- PANELIZED BRICK
INSTALL NSM CFRP BARS
NO INTERIOR WORK
- BUILT IN PLACE BRICK
NO INTERIOR WORK
- EIFS (BASE BID)
NO INTERIOR WORK
- EIFS (NIC)
NO INTERIOR WORK

PLAN KEY

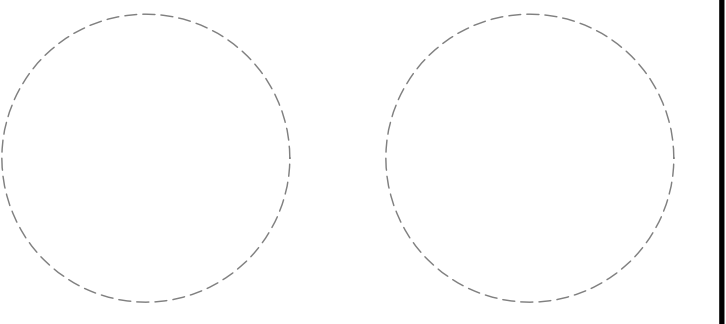


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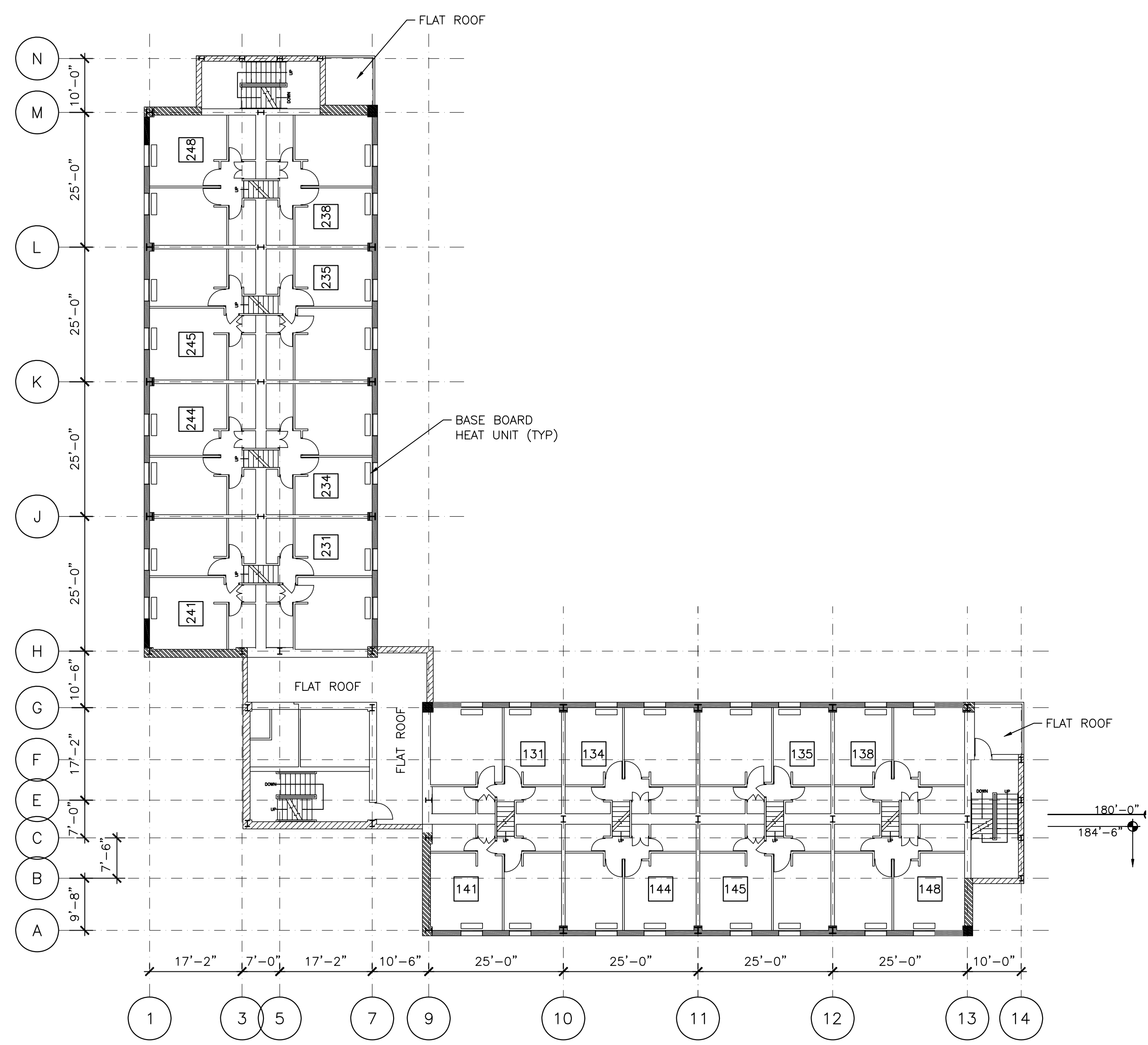
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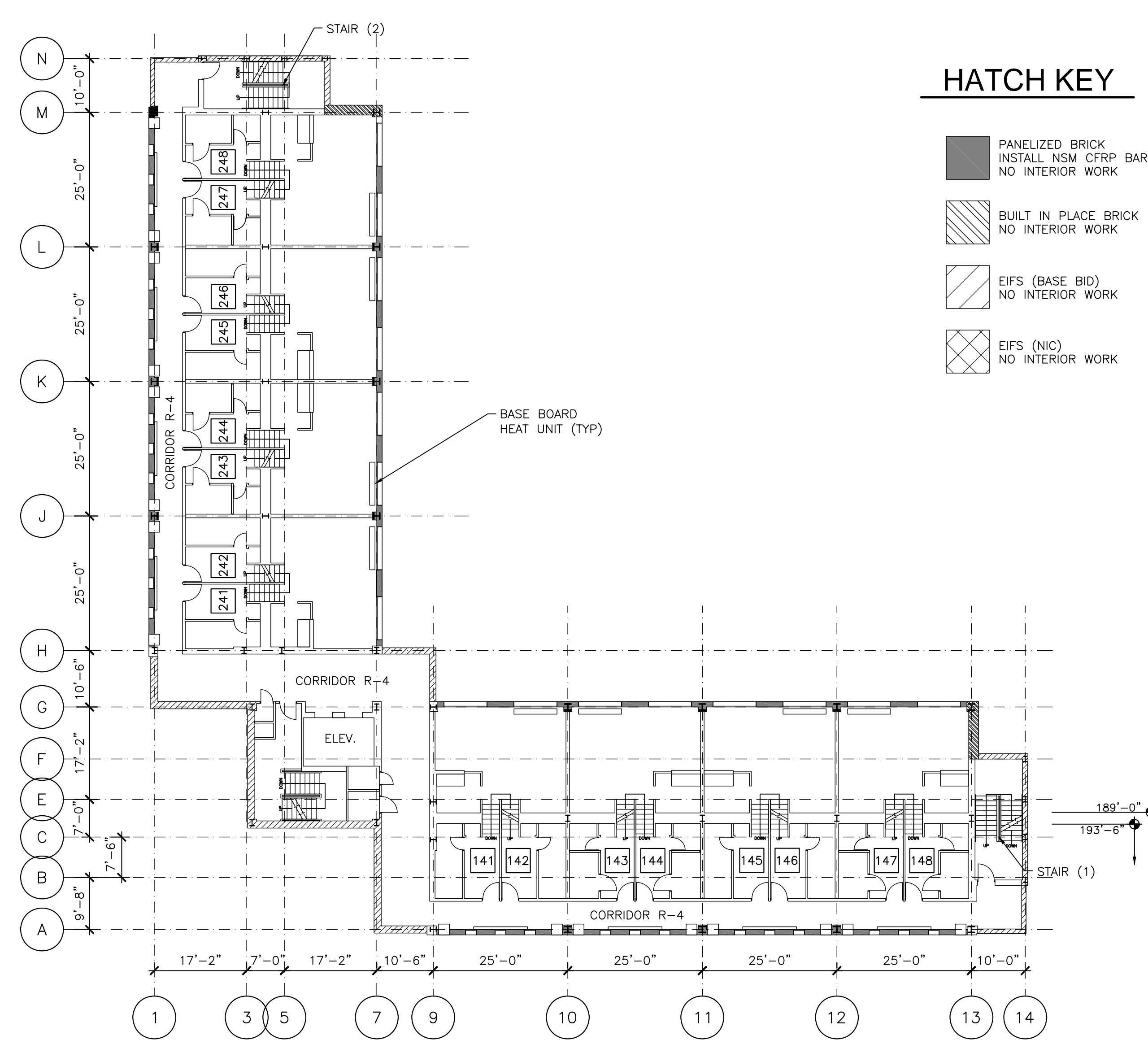
**EXISTING LEVEL 9
AND LEVEL 10 FLOOR
PLANS**

Sheet Title
E204
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9 LEVEL 9 FLOOR PLAN (FLOOR 3 UPPER AND FLOOR 4 LOWER)
SCALE: 1/16" = 1'-0"

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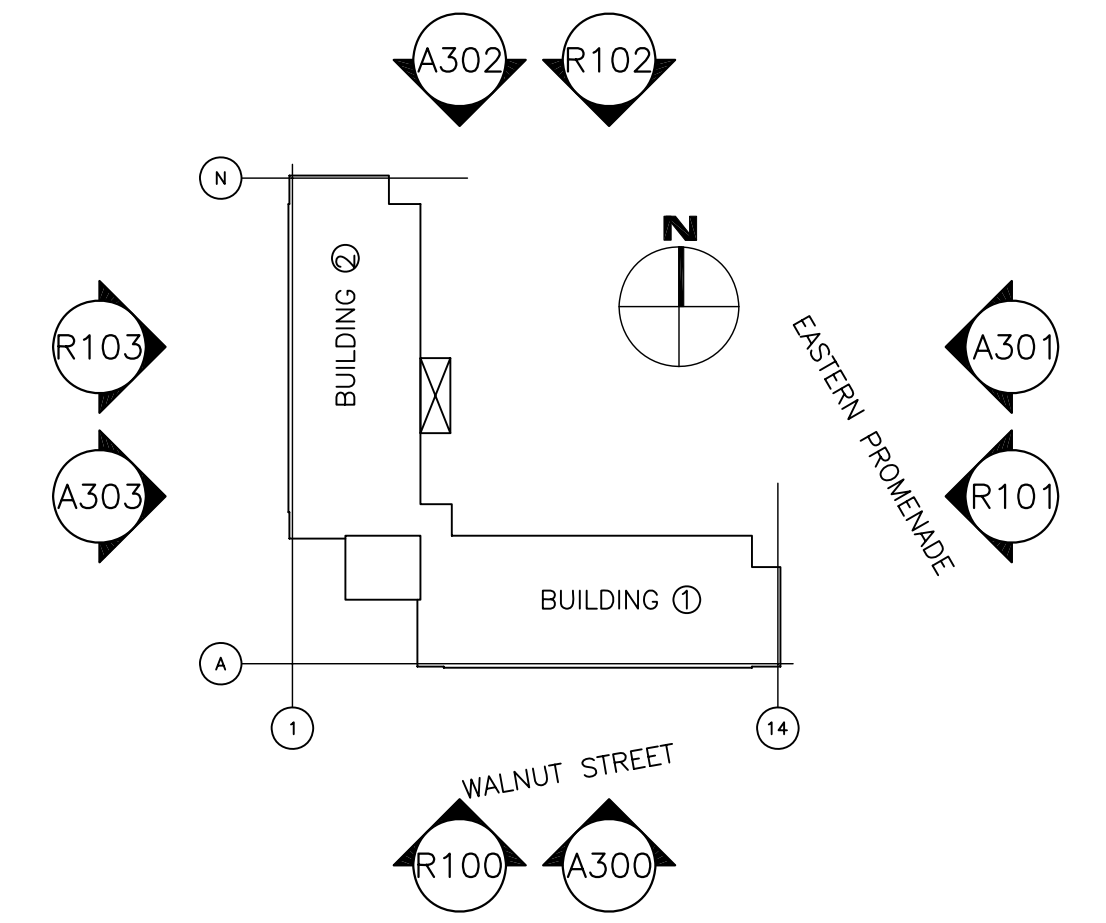


10 LEVEL 10 FLOOR PLAN (FLOOR 4 MAIN)
SCALE: 1/16" = 1'-0"

HATCH KEY

- PANELIZED BRICK
INSTALL NSM CFRP BARS
NO INTERIOR WORK
- BUILT IN PLACE BRICK
NO INTERIOR WORK
- EIFS (BASE BID)
NO INTERIOR WORK
- EIFS (NIC)
NO INTERIOR WORK

PLAN KEY

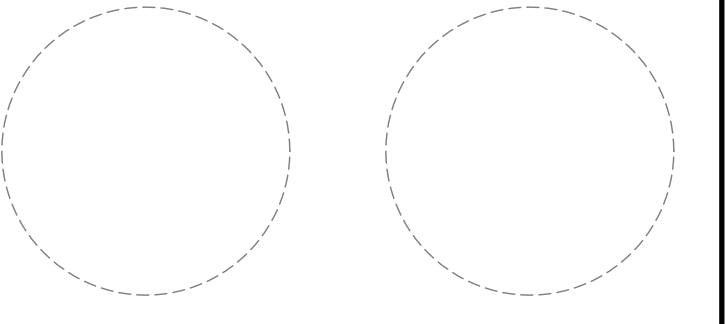


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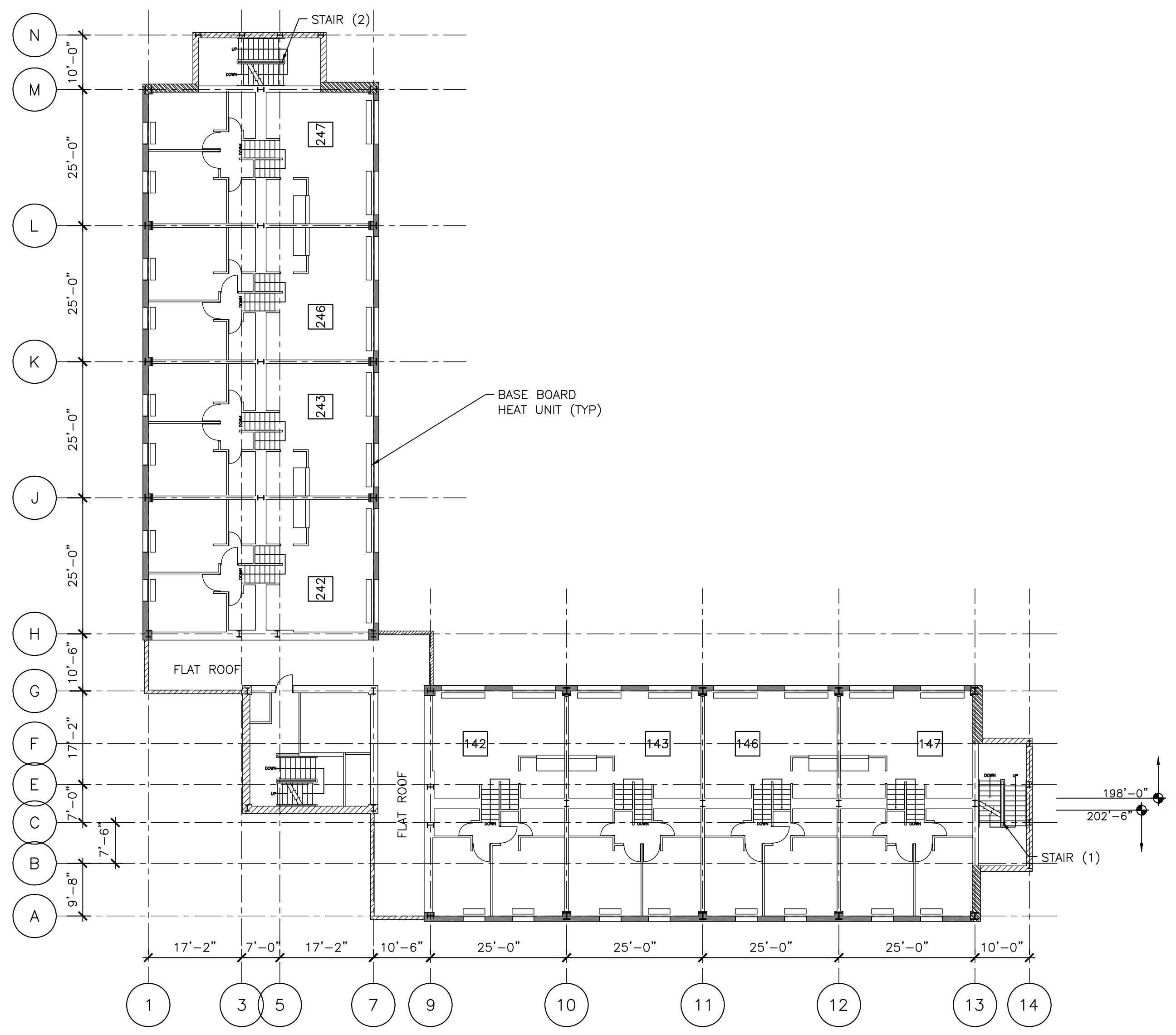
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**Promenade East
Condominium
Association**
340 EASTERN
PROMENADE
PORTLAND, MAINE 04101

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Checked	LMG
Scale	AS NOTED

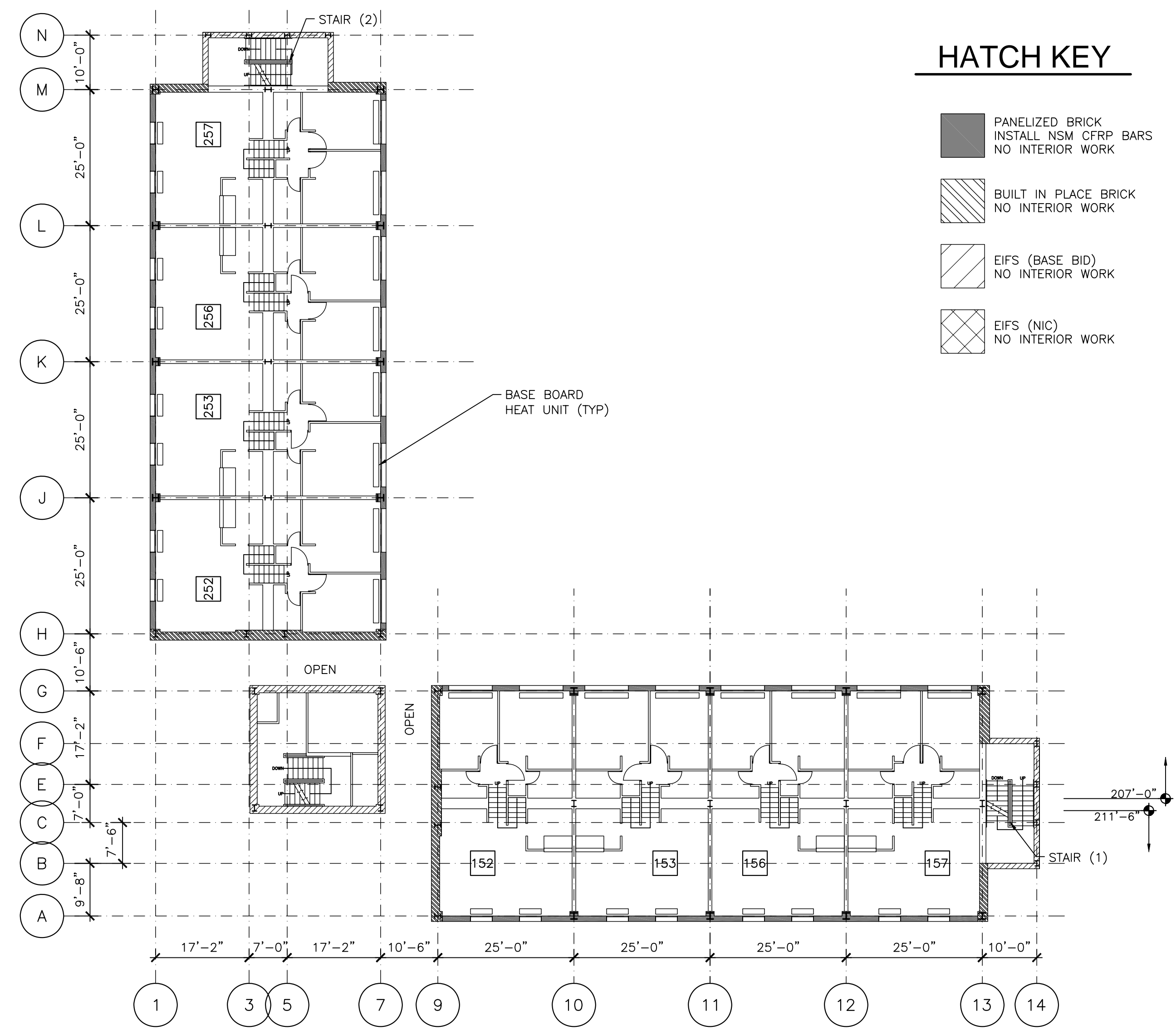
**EXISTING LEVEL 11
AND LEVEL 12 FLOOR
PLANS**

Sheet No. **E205**



11 LEVEL 11 FLOOR PLAN (FLOOR 4 UPPER)
SCALE: 1/16" = 1'-0"

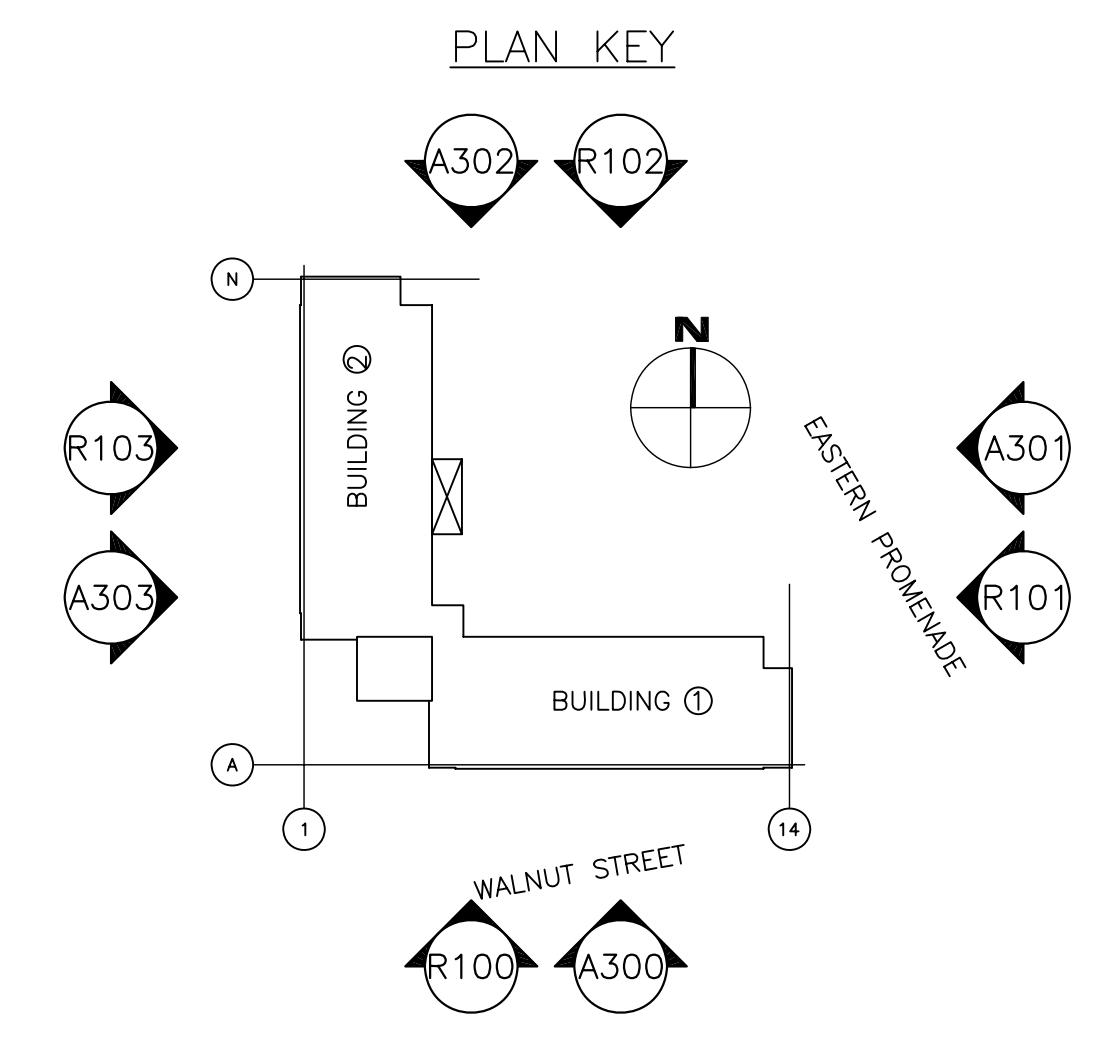
INDICATES UNIT NUMBER



12 LEVEL 12 FLOOR PLAN (FLOOR 5 LOWER)
SCALE: 1/16" = 1'-0"

HATCH KEY

- PANELIZED BRICK
INSTALL NSM CFRP BARS
NO INTERIOR WORK
- BUILT IN PLACE BRICK
NO INTERIOR WORK
- EIFS (BASE BID)
NO INTERIOR WORK
- EIFS (NIC)
NO INTERIOR WORK



CONTRACTOR SHALL VERIFY ALL
DIMENSIONS IN THE FIELD.
DO NOT SCALE DRAWINGS.

EGRESS SHALL BE MAINTAINED
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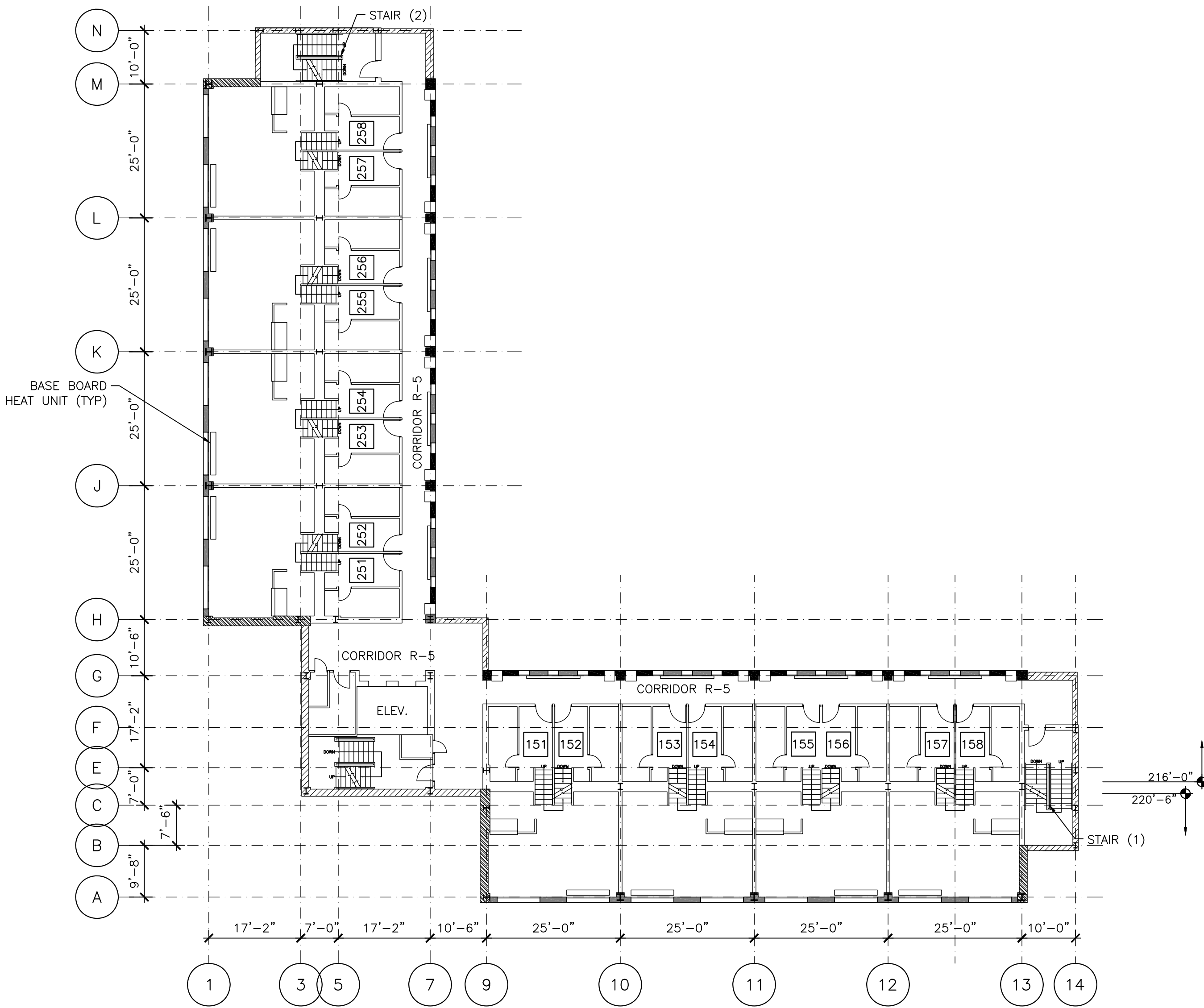
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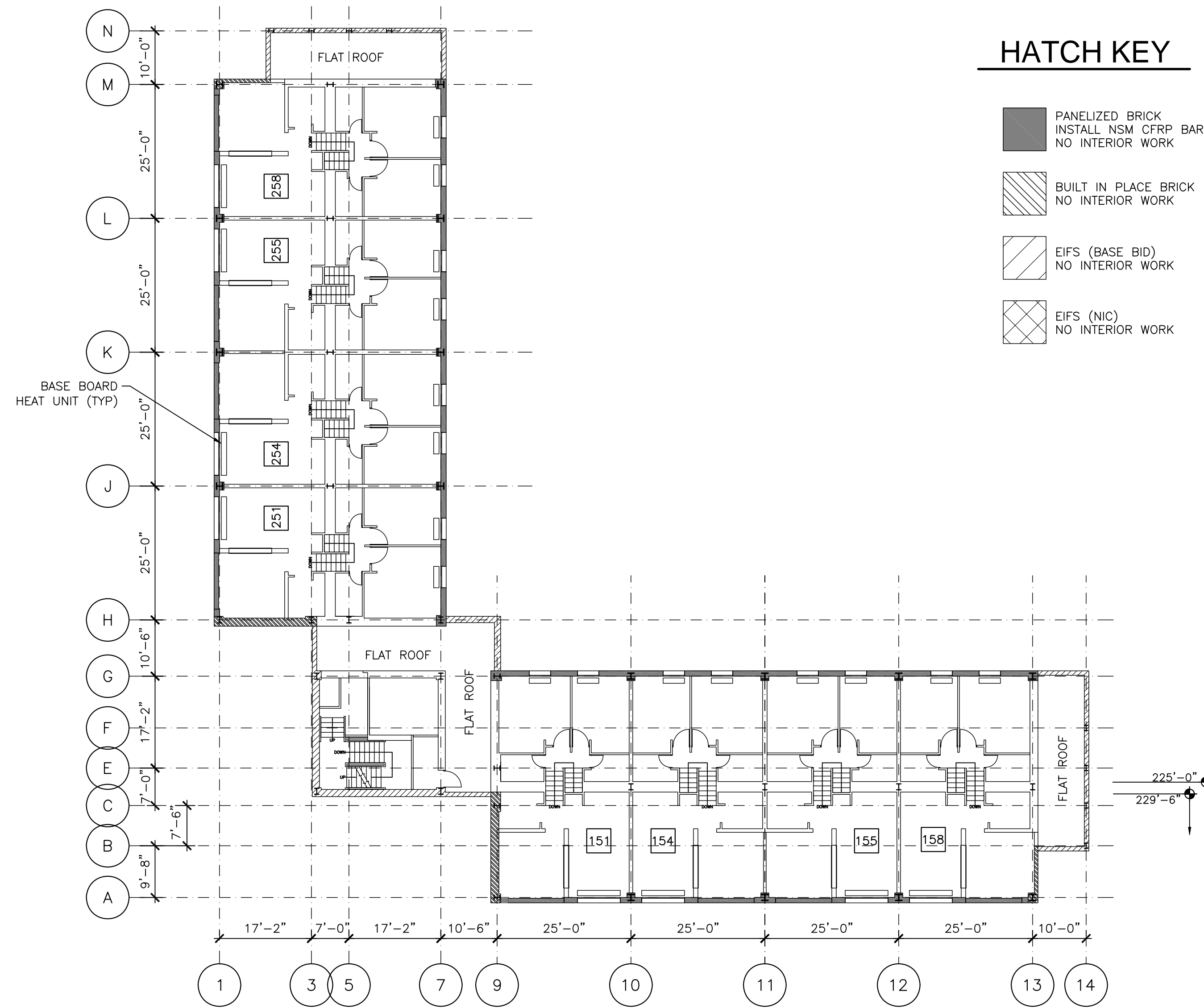
**EXISTING LEVEL 13
AND LEVEL 14 FLOOR
PLANS**

Sheet No. **E206**



13 LEVEL 13 FLOOR PLAN (FLOOR 5 MAIN)
SCALE: 1/16" = 1'-0"

INDICATES UNIT NUMBER

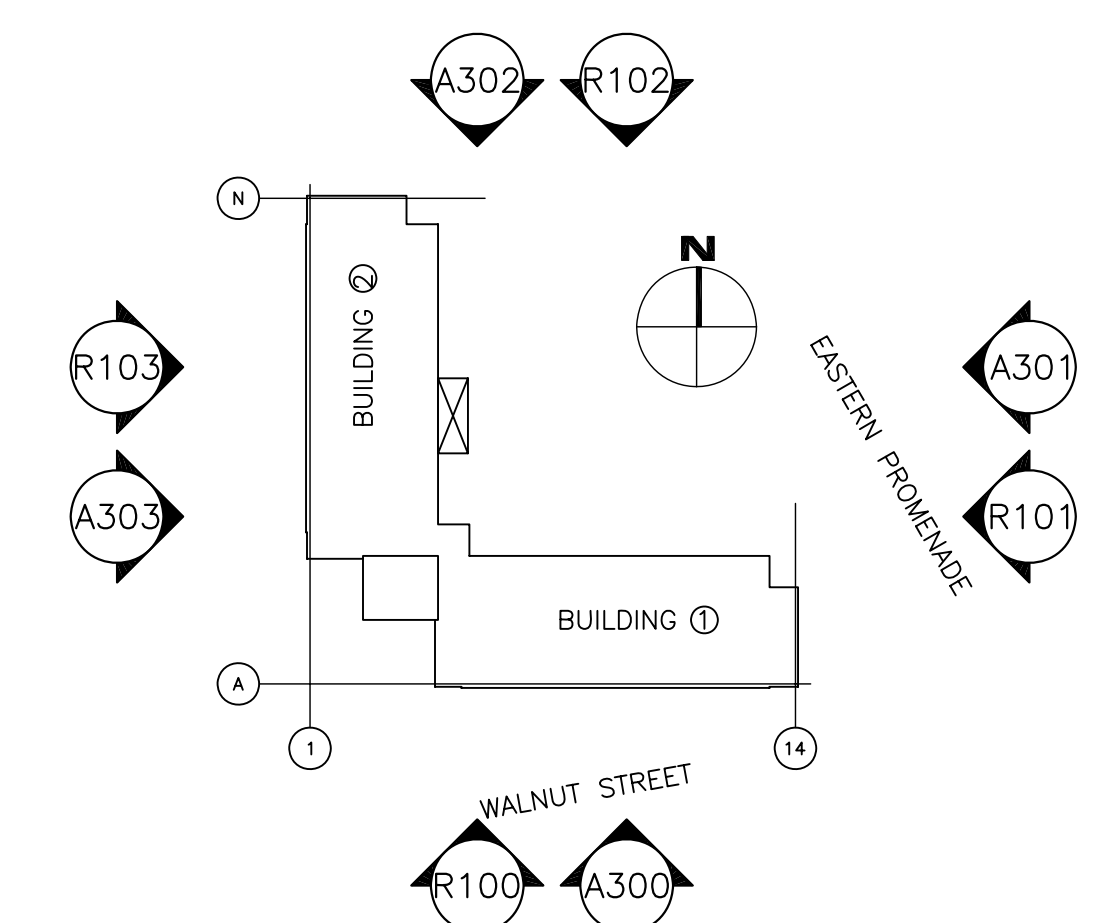


14 LEVEL 14 FLOOR PLAN (FLOOR 5 UPPER)
SCALE: 1/16" = 1'-0"

HATCH KEY

- PANELIZED BRICK
INSTALL NSM CFRP BARS
NO INTERIOR WORK
- BUILT IN PLACE BRICK
NO INTERIOR WORK
- EIFS (BASE BID)
NO INTERIOR WORK
- EIFS (NIC)
NO INTERIOR WORK

PLAN KEY

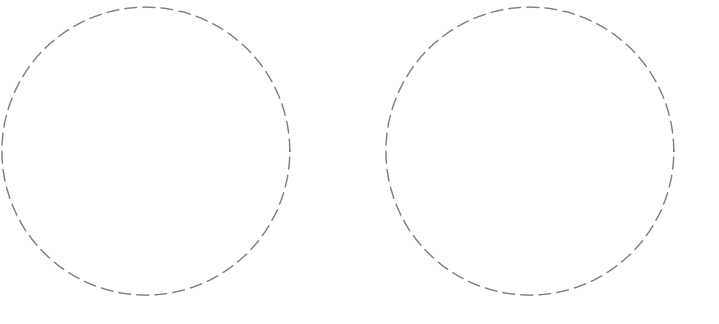


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PORTLAND, MAINE 04101

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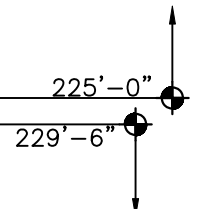
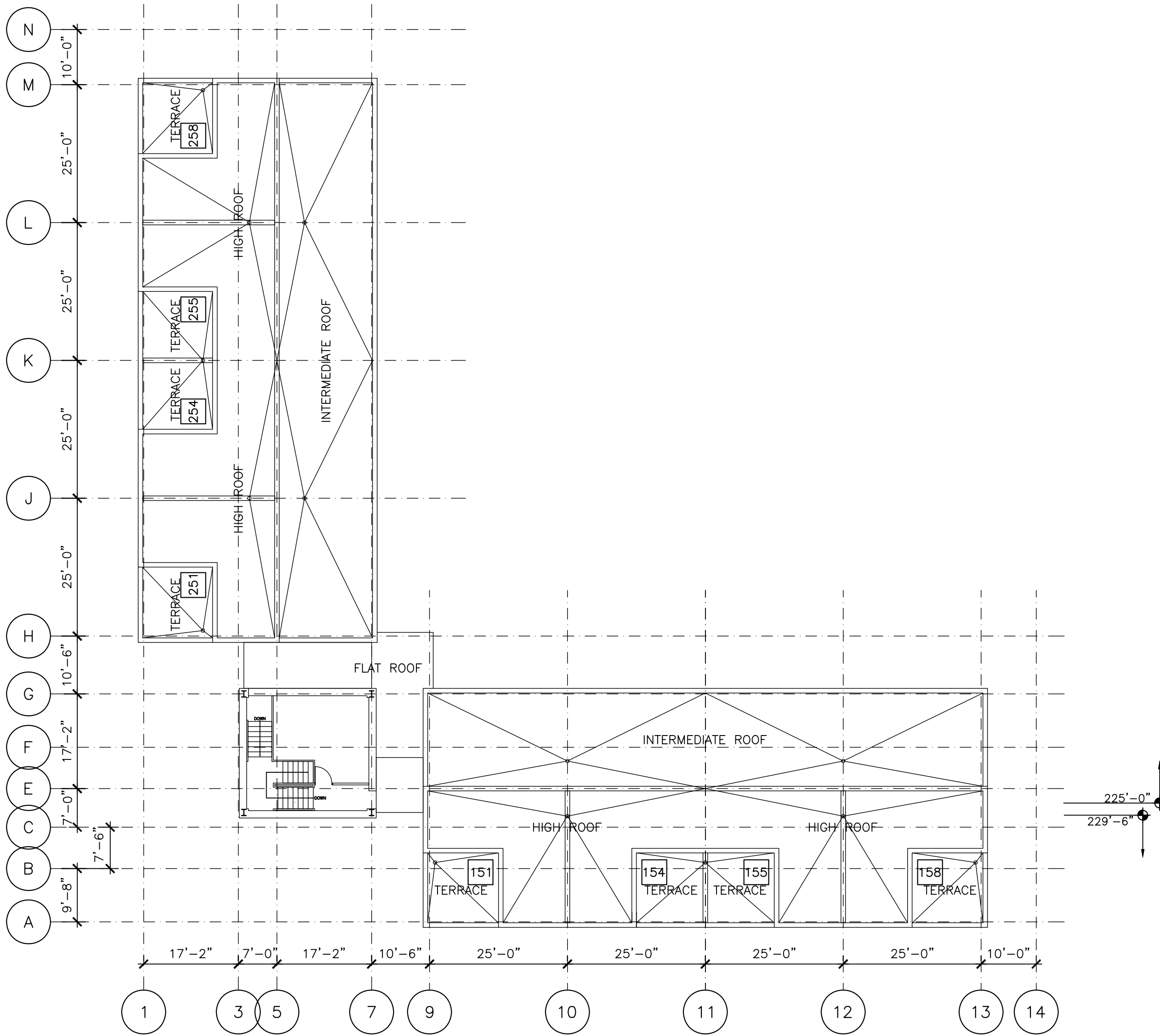
Project No.	2004.3899.2
Date	17 MARCH 2006
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EXISTING ROOF PLAN

Sheet Title

E207

Sheet No.



R ROOF PLAN
SCALE: 1/16" = 1'-0"

INDICATES UNIT NUMBER

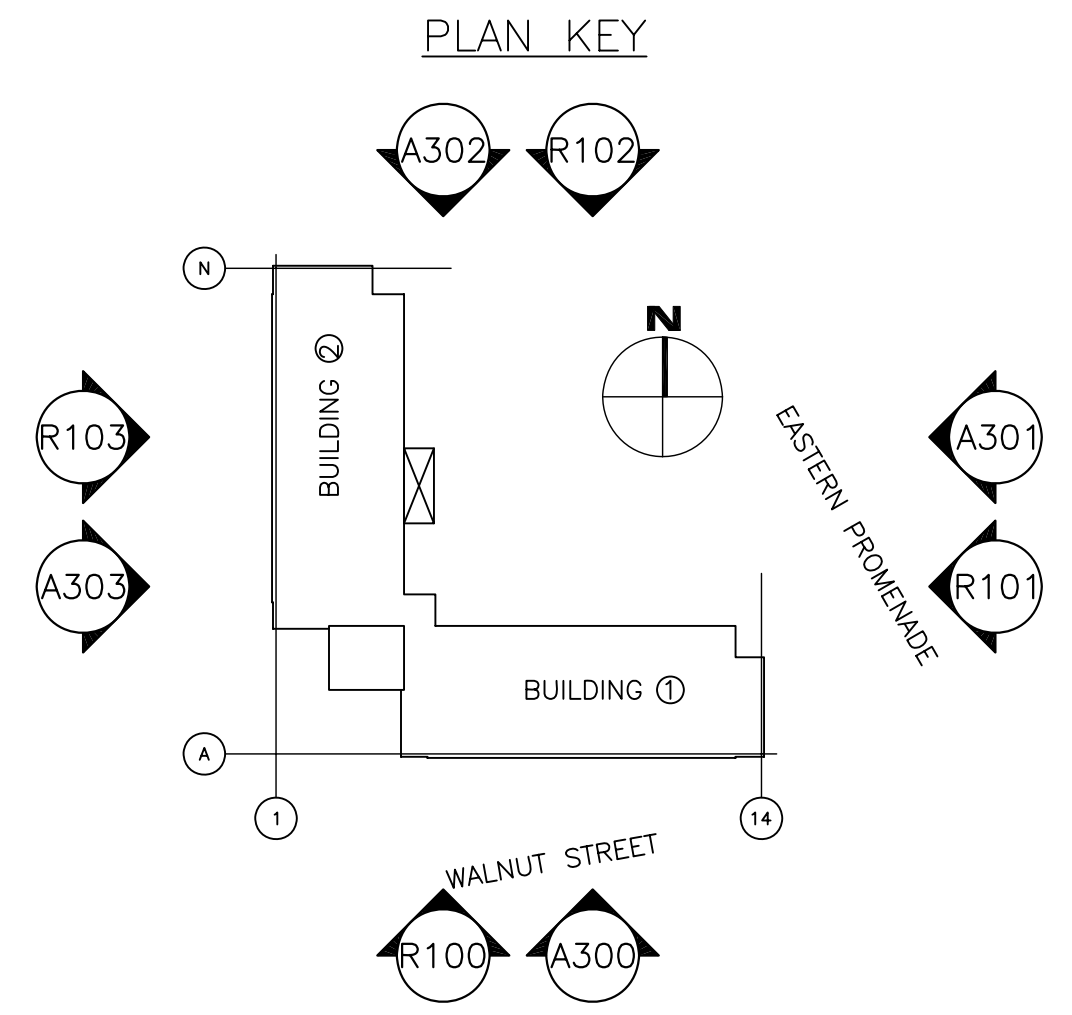
NOTE:
CONTRACTOR MAY USE ROOF AND TERRACES FOR SWING STAGING.

1. PERFORM PRECONSTRUCTION ROOF SURVEY WITH OWNER'S REPRESENTATIVE PRIOR TO ANY WORK.
2. SUBMIT SHOP DRAWINGS FOR SWING STAGE RIGGING. SHOP DRAWINGS SHALL INCLUDE LOCATIONS AND FORCES FOR ALL RIGGING, COUNTERWEIGHTS AND TIE-BACKS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.

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Scale	AS NOTED

**SOUTH ELEVATION
WINDOWS**

Sheet Title
A300
Sheet No.

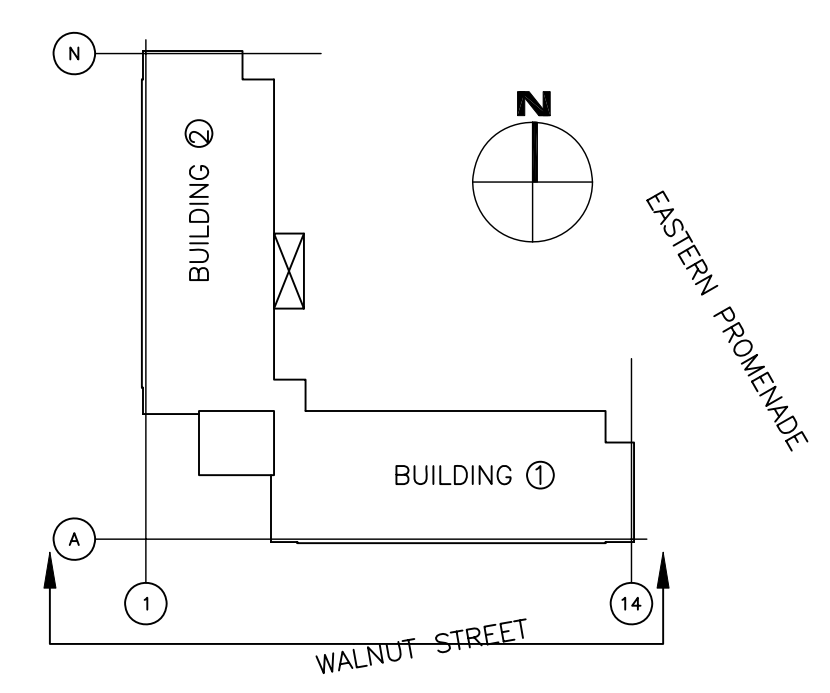


LV LOUVER REPAIRS

1. REMOVE EXISTING FACE SCREEN.
2. INSTALL NEW POWDER COATED FACE SCREEN MATCHING ORIGINAL SCREEN DIMENSIONS, GAGE AND VENT CONFIGURATION.

- 238'-6" Level 14 FLOOR 5 UPPER
- 229'-6" Level 13 FLOOR 5 MAIN
- 220'-6" Level 12 FLOOR 5 LOWER
- 211'-6" Level 11 FLOOR 4 UPPER
- 202'-6" Level 10 FLOOR 4 MAIN
- 193'-6" Level 9 FLOOR 4 LOWER
- 184'-6" Level 8 FLOOR 3 UPPER AND FLOOR 4 LOWER
- 175'-6" Level 7 FLOOR 3 MAIN
- 166'-6" Level 6 FLOOR 3 LOWER
- 157'-6" Level 5 FLOOR 2 UPPER
- 148'-6" Level 4 FLOOR 2 MAIN
- 139'-6" Level 3 FLOOR 1 UPPER AND FLOOR 2 LOWER
- 130'-6" Level 2 FLOOR 1 MAIN
- 121'-6" Level 1 FLOOR 1 LOWER

KEYPLAN



INDICATES UNIT NUMBER
COR R-# INDICATES CORRIDOR NUMBER

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1 SOUTH ELEVATION WINDOWS

- SCALE: 1/8" = 1'-0"
1. REFER TO DRAWING A304 FOR WINDOW SCHEDULE AND DETAILS.
 2. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER-TIGHT BARRIER OVER WINDOW OPENINGS FOLLOWING EXISTING WINDOW REMOVAL AND UNTIL NEW WINDOW INSTALLATION IS COMPLETE AND WEATHER-TIGHT.

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Checked	LMG / AJC
Scale	AS NOTED

**EAST ELEVATION
WINDOWS**

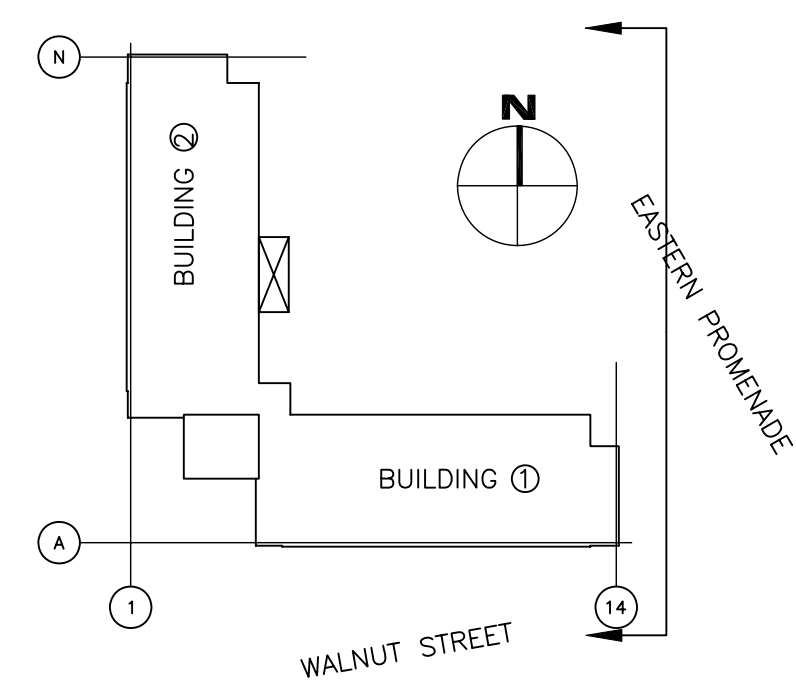
Sheet Title
A301
Sheet No.



LV LOUVER REPAIRS
1. REMOVE EXISTING FACE SCREEN.
2. INSTALL NEW POWDER COATED FACE SCREEN MATCHING ORIGINAL SCREEN DIMENSIONS, GAGE AND VENT CONFIGURATION.

- 238'-6" Root
- 229'-6" Level 14 FLOOR 5 UPPER
- 220'-6" Level 13 FLOOR 5 MAIN
- 211'-6" Level 12 FLOOR 5 LOWER
- 202'-6" Level 11 FLOOR 4 UPPER
- 193'-6" Level 10 FLOOR 4 MAIN
- 184'-6" Level 9 FLOOR 3 UPPER FLOOR 4 LOWER
- 175'-6" Level 8 FLOOR 3 MAIN
- 166'-6" Level 7 FLOOR 3 LOWER
- 157'-6" Level 6 FLOOR 2 UPPER
- 148'-6" Level 5 FLOOR 2 MAIN
- 139'-6" Level 4 FLOOR 1 UPPER FLOOR 2 LOWER
- 130'-6" Level 3 FLOOR 1 MAIN
- 121'-6" Level 2 FLOOR 1 LOWER
- Level 1 GROUND

KEYPLAN



CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.

EGRESS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION

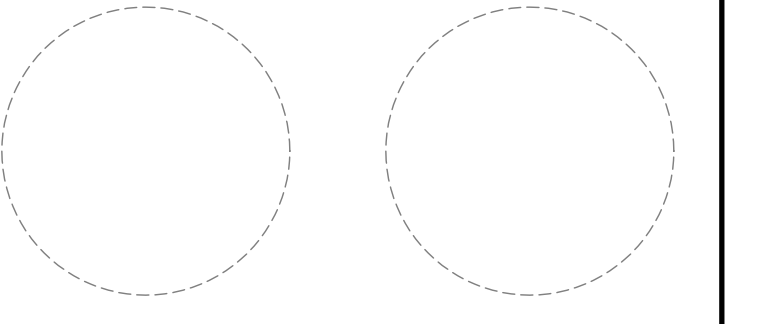
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7 JULY 2006

1 EAST ELEVATION WINDOWS

- SCALE: 1/8" = 1'-0"
- REFER TO DRAWING A304 FOR WINDOW SCHEDULE AND DETAILS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER-TIGHT BARRIER OVER WINDOW OPENINGS FOLLOWING EXISTING WINDOW REMOVAL AND UNTIL NEW WINDOW INSTALLATION IS COMPLETE AND WEATHER-TIGHT.

INDICATES UNIT NUMBER
COR R-# INDICATES CORRIDOR NUMBER

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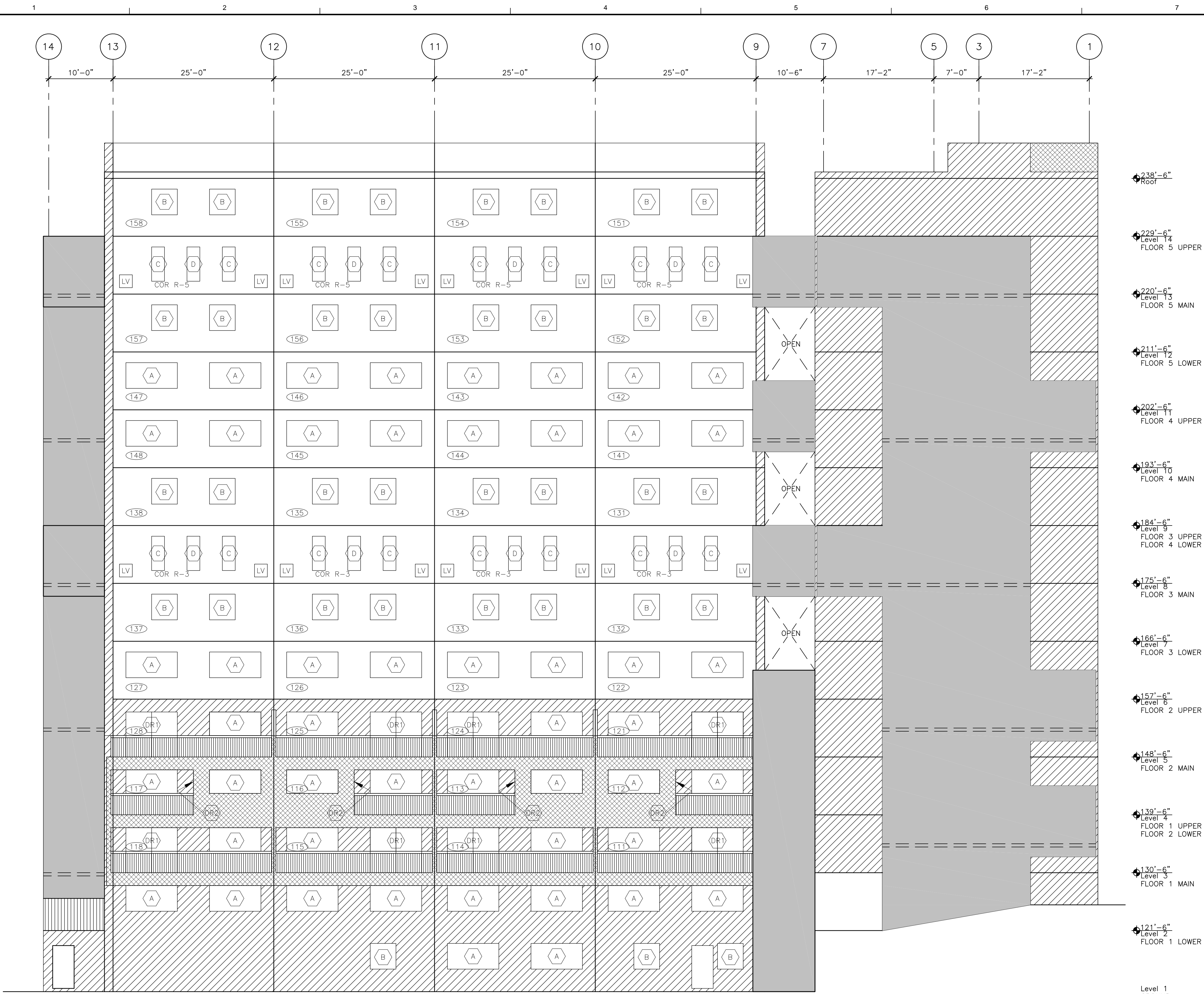
Client
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Association**
340 EASTERN
PROMENADE
PORTLAND, MAINE 04101

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Project No.	2004.3899.2
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Scale	AS NOTED

**NORTH ELEVATION
WINDOWS**

Sheet Title
A302
Sheet No.



LV LOUVER REPAIRS

1. REMOVE EXISTING FACE SCREEN.
2. INSTALL NEW POWDER COATED FACE SCREEN MATCHING ORIGINAL SCREEN DIMENSIONS, GAGE AND VENT CONFIGURATION.

- 238'-6" Roof
- 229'-6" Level 14 FLOOR 5 UPPER
- 220'-6" Level 13 FLOOR 5 MAIN
- 211'-6" Level 12 FLOOR 5 LOWER
- 202'-6" Level 11 FLOOR 4 UPPER
- 193'-6" Level 10 FLOOR 4 MAIN
- 184'-6" Level 9 FLOOR 3 UPPER AND FLOOR 4 LOWER
- 175'-6" Level 8 FLOOR 3 MAIN
- 166'-6" Level 7 FLOOR 3 LOWER
- 157'-6" Level 6 FLOOR 2 UPPER
- 148'-6" Level 5 FLOOR 2 MAIN
- 139'-6" Level 4 FLOOR 1 UPPER AND FLOOR 2 LOWER
- 130'-6" Level 3 FLOOR 1 MAIN
- 121'-6" Level 2 FLOOR 1 LOWER

1 NORTH ELEVATION WINDOWS

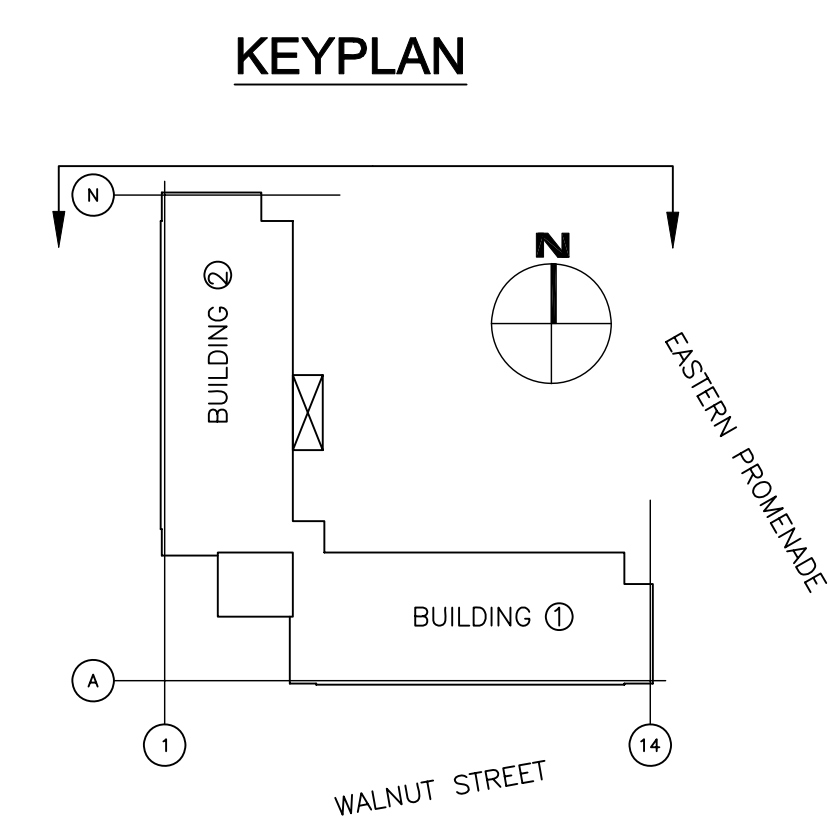
- SCALE: 1/8" = 1'-0"
1. REFER TO DRAWING A304 FOR WINDOW SCHEDULE AND DETAILS.
 2. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER-TIGHT BARRIER OVER WINDOW OPENINGS FOLLOWING EXISTING WINDOW REMOVAL AND UNTIL NEW WINDOW INSTALLATION IS COMPLETE AND WEATHER-TIGHT.

INDICATES UNIT NUMBER
COR R-# INDICATES CORRIDOR NUMBER

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PORTLAND, MAINE 04101

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Scale	AS NOTED

**WEST ELEVATION
WINDOWS**

Sheet Title
A303
Sheet No.



LV LOUVER REPAIRS

1. REMOVE EXISTING FACE SCREEN.
2. INSTALL NEW POWDER COATED FACE SCREEN MATCHING ORIGINAL SCREEN DIMENSIONS, GAGE AND VENT CONFIGURATION.

- 238'-6" Roof
- 229'-6" Level 14 FLOOR 5 UPPER
- 220'-6" Level 13 FLOOR 5 MAIN
- 211'-6" Level 12 FLOOR 5 LOWER
- 202'-6" Level 11 FLOOR 4 UPPER
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- 175'-6" Level 8 FLOOR 3 MAIN
- 166'-6" Level 7 FLOOR 3 LOWER
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- 139'-6" Level 4 FLOOR 1 UPPER AND FLOOR 2 LOWER
- 130'-6" Level 3 FLOOR 1 MAIN
- 121'-6" Level 2 FLOOR 1 LOWER

INDICATES UNIT NUMBER
COR R-# INDICATES CORRIDOR NUMBER

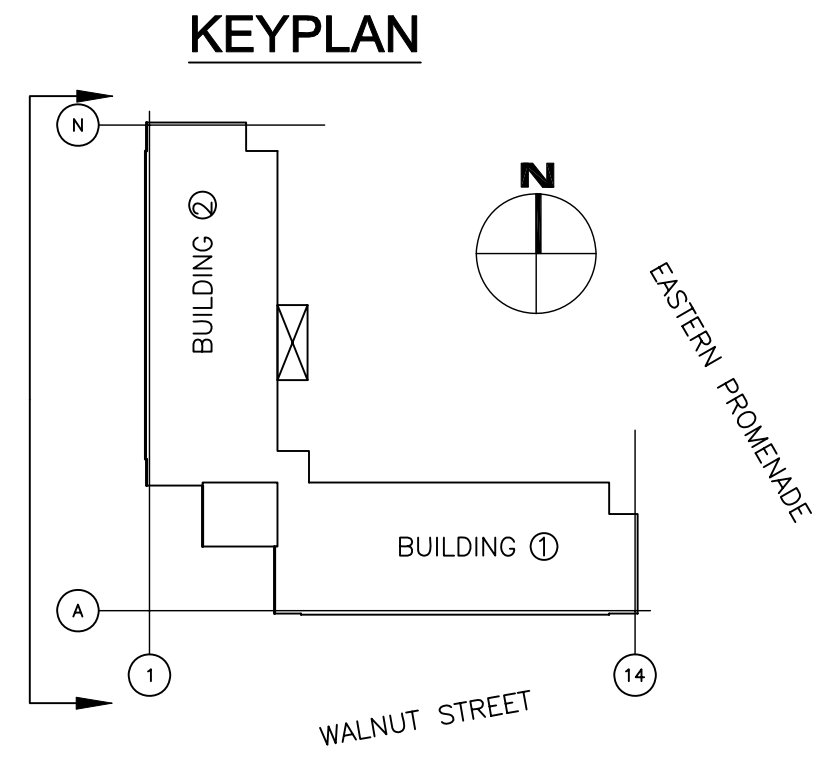
1 WEST ELEVATION WINDOWS

- SCALE: 1/8" = 1'-0"
1. REFER TO DRAWING A304 FOR WINDOW SCHEDULE AND DETAILS.
 2. CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER-TIGHT BARRIER OVER WINDOW OPENINGS FOLLOWING EXISTING WINDOW REMOVAL AND UNTIL NEW WINDOW INSTALLATION IS COMPLETE AND WEATHER-TIGHT.

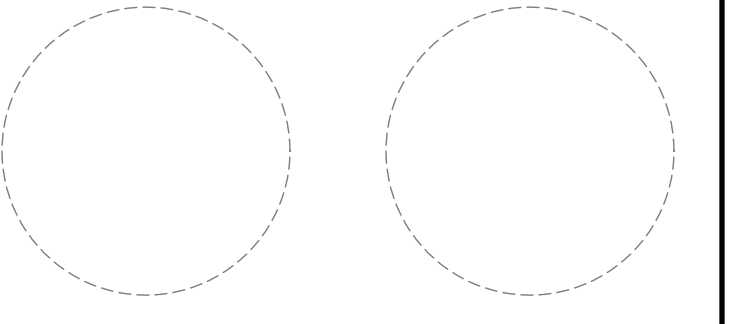
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**WINDOW LAYOUTS
AND DETAILS**

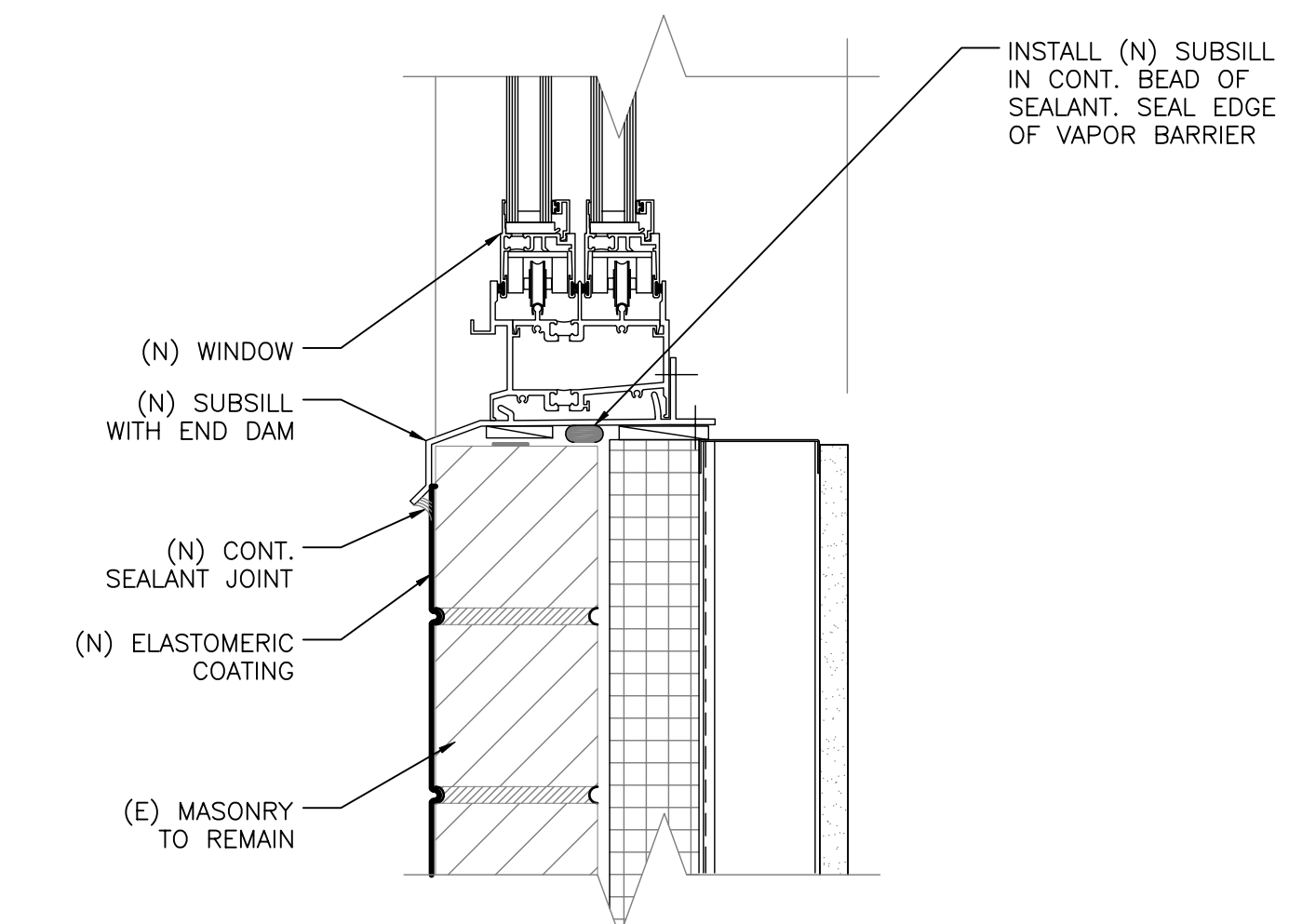
Sheet Title

Sheet No.

A304

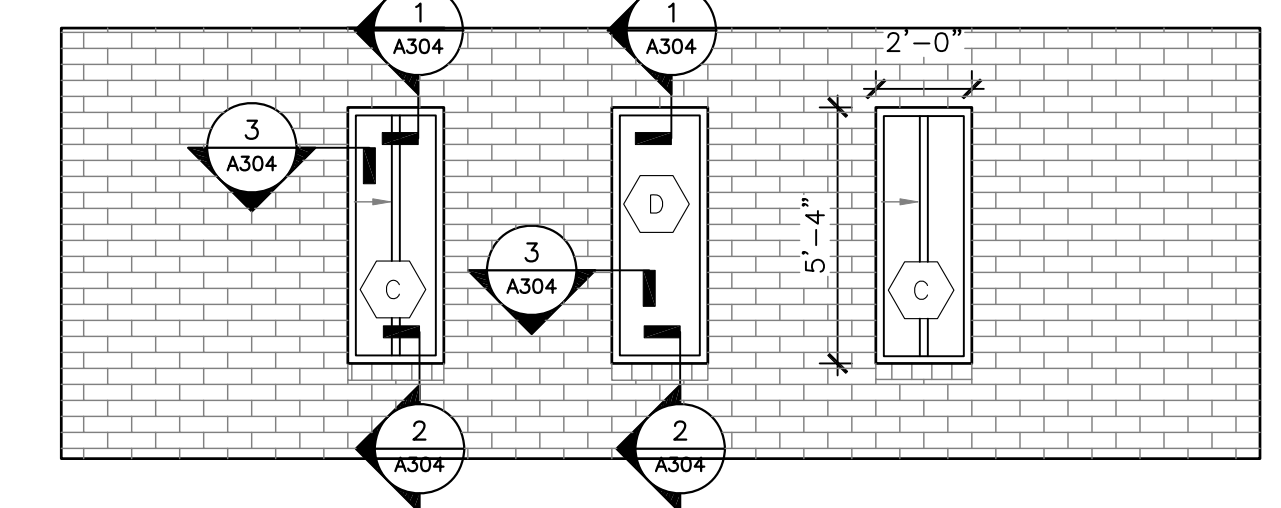
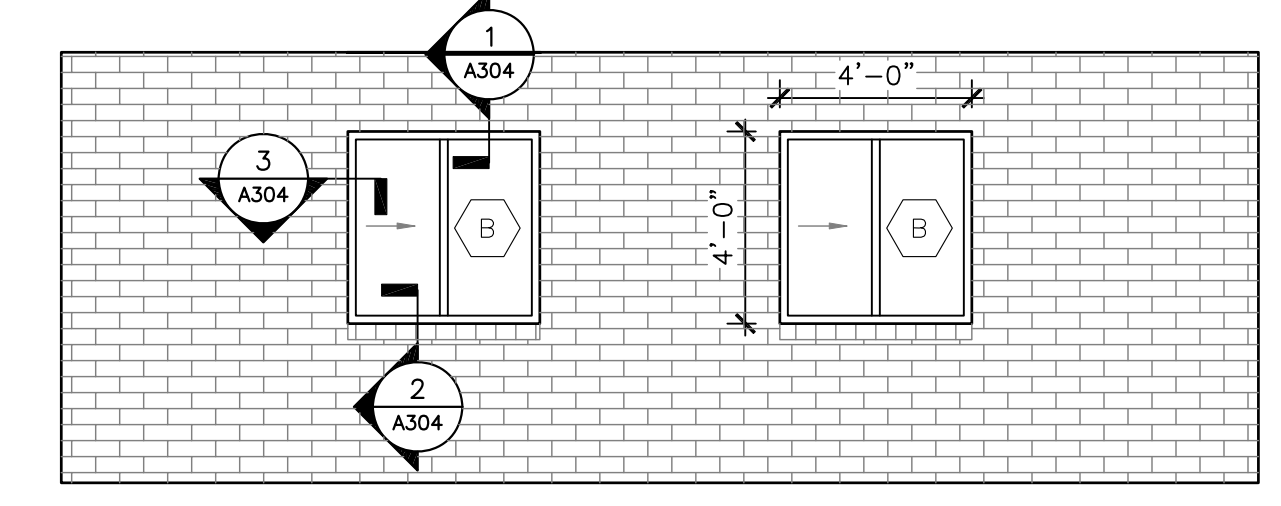
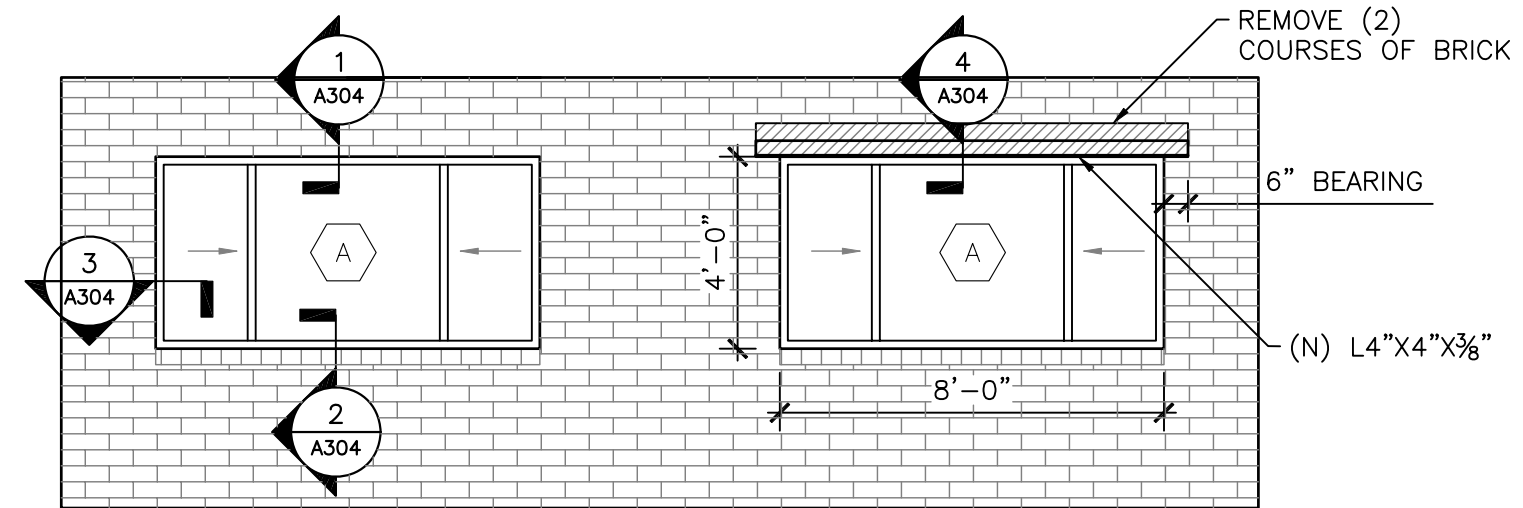
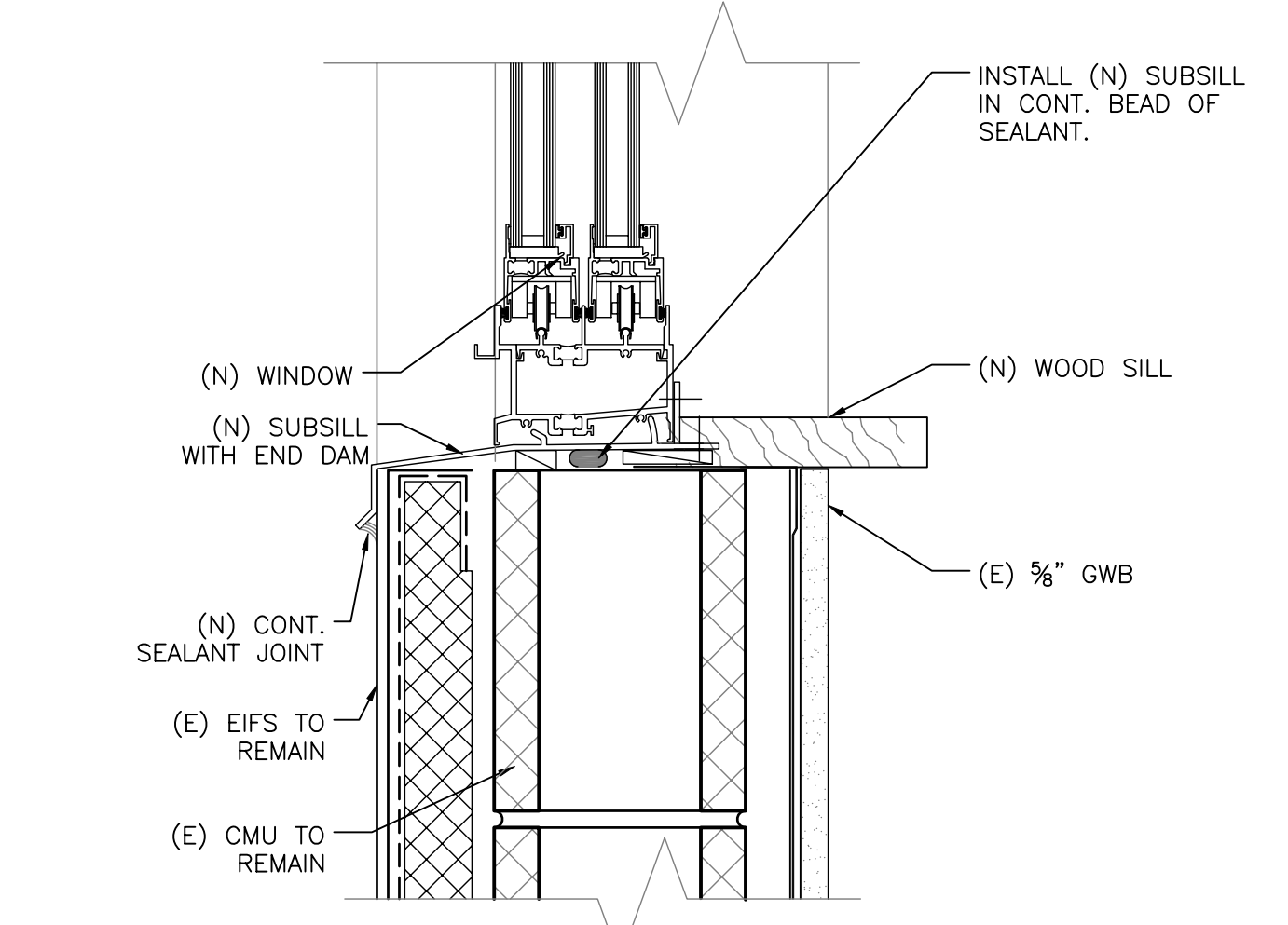
1 TYPICAL WINDOW HEAD DETAIL

SCALE: 3" = 1'-0"



5 TYPICAL WINDOW HEAD DETAIL AT EIFS

SCALE: 3" = 1'-0"



8 WINDOW LAYOUT

SCALE: 1/4" = 1'-0"

NOTE:
GENERAL CONTRACTOR TO SHORE BRICK ABOVE WINDOW DURING ANGLE INSTALLATION

WINDOW SCHEDULE

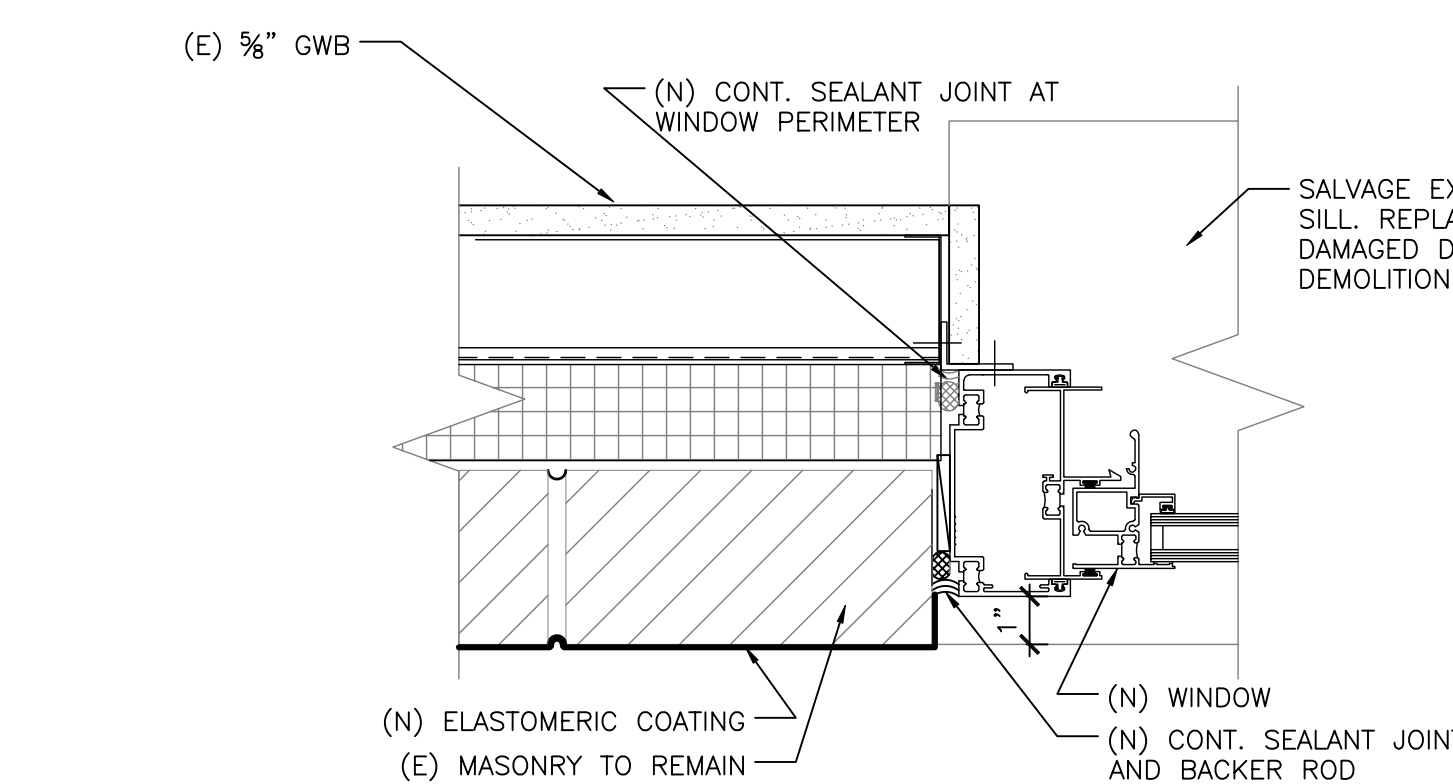
MARK	SIZE		TYPE	COUNT				DESCRIPTION	
	WIDTH	HEIGHT		SOUTH	EAST	NORTH	WEST		TOTAL
A	8'	4'	OXO	36	48	50	36	170	
B	4'	4'	X	40	40	35	32	147	
C	5'-4"	2'	X	24	16	16	24	80	
D	5'-4"	2'	O	12	8	8	16	44	
E	3'-6"	6'-6"	O	3	0	0	3	9	
LV	2'	2'	NA	24	16	16	24	80	LOUVER
DR1	8'	8'	O	4	8	8	4	24	SLIDING DOOR
DR2	4'	8'	O	1	4	4	1	10	SINGLE DOOR IN PERPENDICULAR WALL

9 WINDOW TOTALS BY ELEVATION

SCALE: NTS

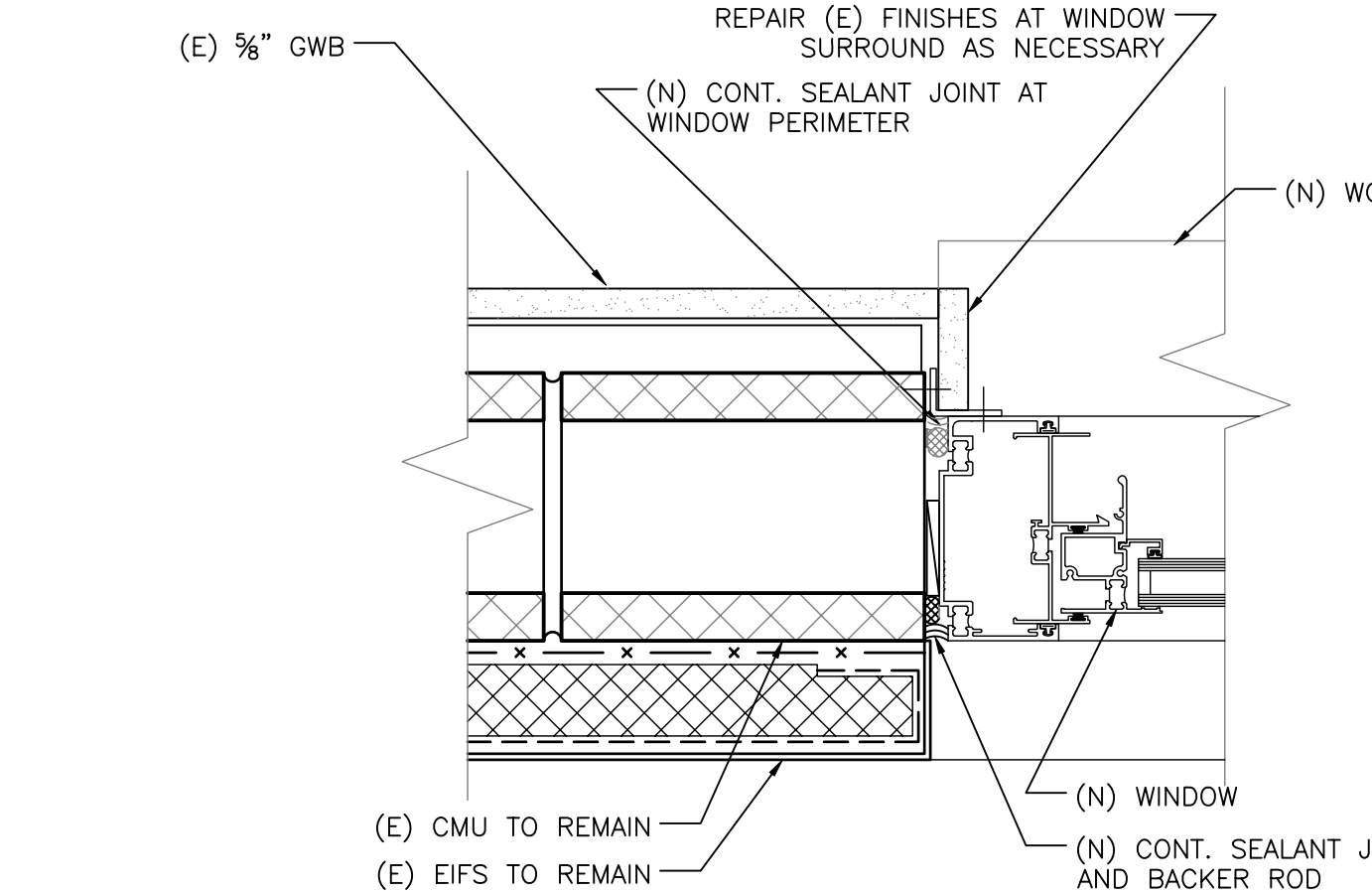
2 TYPICAL WINDOW SILL DETAIL

SCALE: 3" = 1'-0"



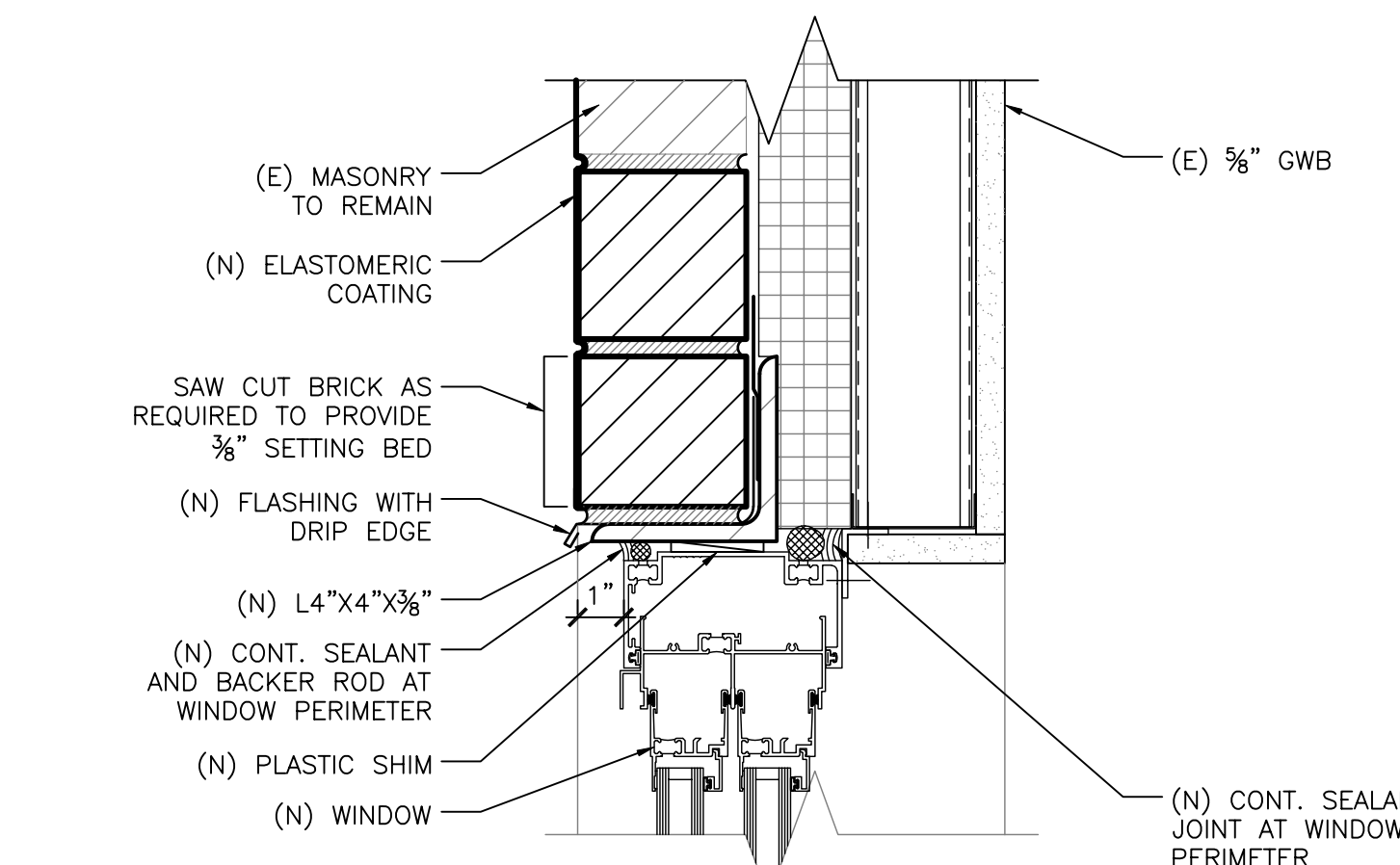
6 TYPICAL WINDOW SILL DETAIL AT EIFS

SCALE: 3" = 1'-0"



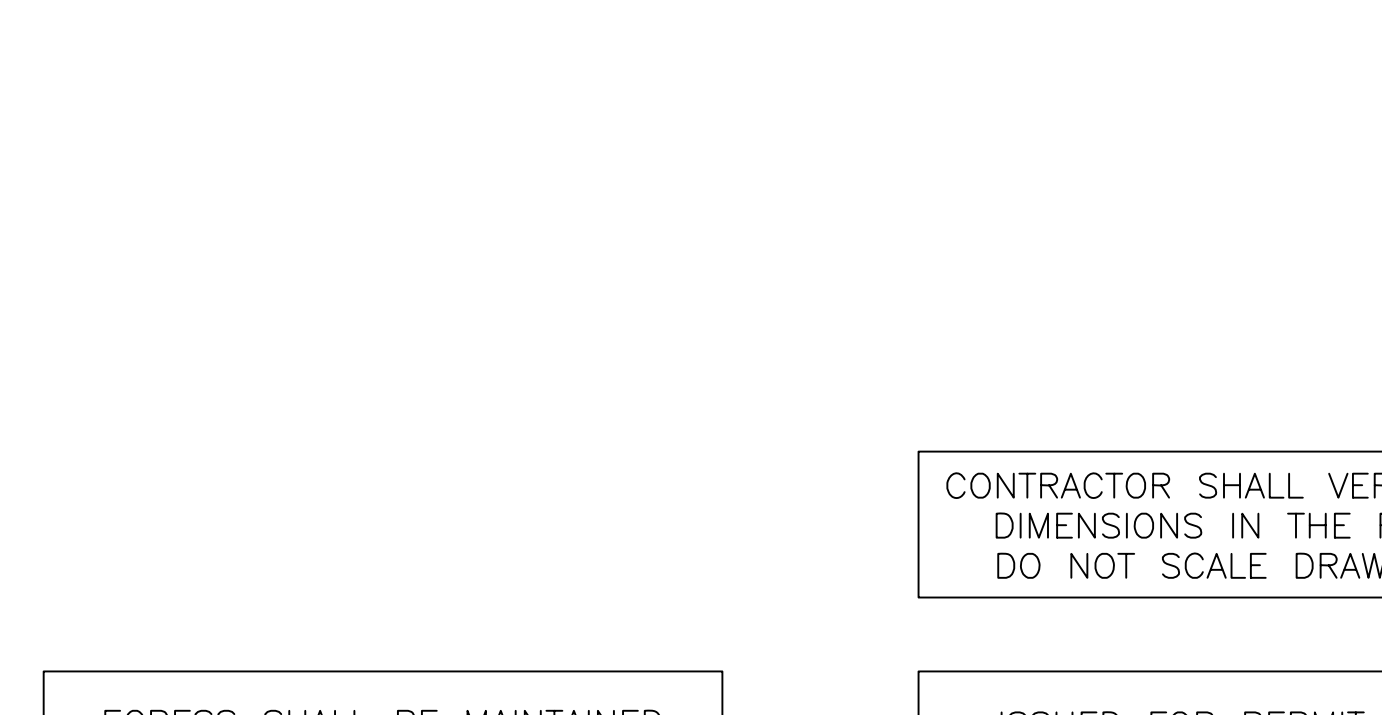
3 TYPICAL WINDOW JAMB DETAIL

SCALE: 3" = 1'-0"



7 TYPICAL WINDOW JAMB DETAIL AT EIFS

SCALE: 3" = 1'-0"



4 WINDOW LINTEL REPAIR DETAIL

SCALE: 3" = 1'-0"

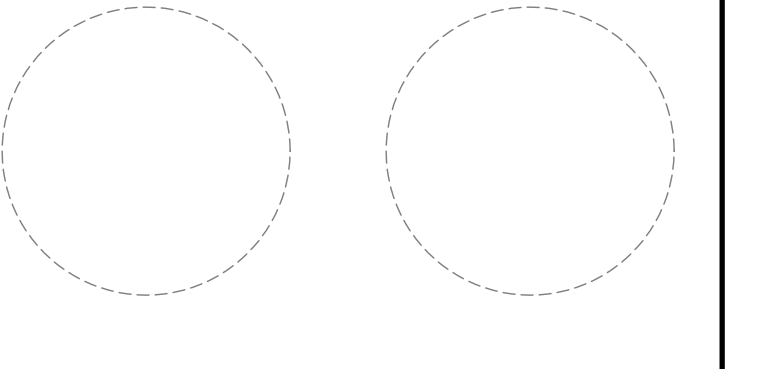


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 PORTLAND, MAINE 04101

Client

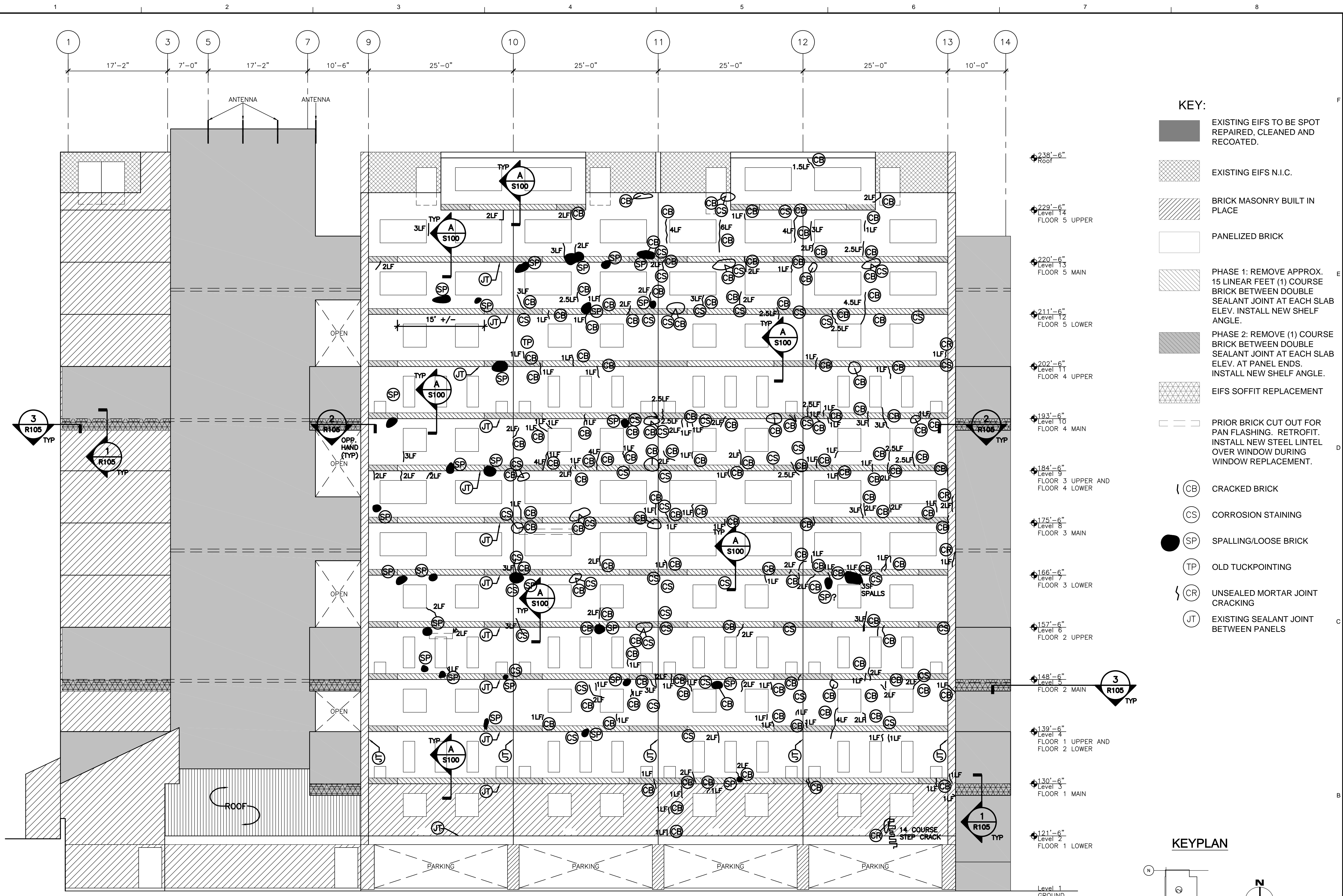
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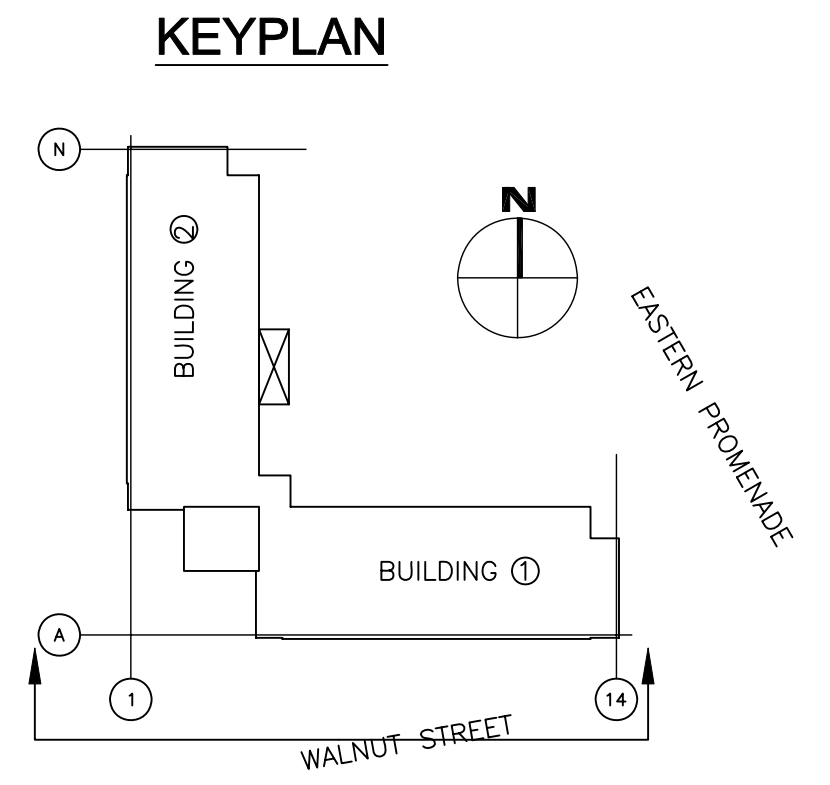
SOUTH ELEVATION EXTERIOR REPAIRS

Sheet No. **R100**



- KEY:**
- EXISTING EIFS TO BE SPOT REPAIRED, CLEANED AND RECOATED.
 - EXISTING EIFS N.I.C.
 - BRICK MASONRY BUILT IN PLACE
 - PANELIZED BRICK
 - PHASE 1: REMOVE APPROX. 15 LINEAR FEET (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. INSTALL NEW SHELF ANGLE.
 - PHASE 2: REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. AT PANEL ENDS. INSTALL NEW SHELF ANGLE.
 - EIFS SOFFIT REPLACEMENT
 - PRIOR BRICK CUT OUT FOR PAN FLASHING. RETROFIT. INSTALL NEW STEEL LINTEL OVER WINDOW DURING WINDOW REPLACEMENT.
 - (CB) CRACKED BRICK
 - (CS) CORROSION STAINING
 - (SP) SPALLING/LOOSE BRICK
 - (TP) OLD TUCKPOINTING
 - (CR) UNSEALED MORTAR JOINT CRACKING
 - (JT) EXISTING SEALANT JOINT BETWEEN PANELS

- ◆ 238'-6" ROOT
- ◆ 229'-6" Level 5 FLOOR 5 UPPER
- ◆ 220'-6" Level 4 FLOOR 5 MAIN
- ◆ 211'-6" Level 3 FLOOR 5 LOWER
- ◆ 202'-6" Level 2 FLOOR 4 UPPER
- ◆ 193'-6" Level 1 FLOOR 4 MAIN
- ◆ 184'-6" Level 0 FLOOR 3 UPPER AND FLOOR 4 LOWER
- ◆ 175'-6" Level 5 FLOOR 3 MAIN
- ◆ 166'-6" Level 4 FLOOR 3 LOWER
- ◆ 157'-6" Level 3 FLOOR 2 UPPER
- ◆ 148'-6" Level 2 FLOOR 2 MAIN
- ◆ 139'-6" Level 1 FLOOR 1 UPPER AND FLOOR 2 LOWER
- ◆ 130'-6" Level 0 FLOOR 1 MAIN
- ◆ 121'-6" Level 5 FLOOR 1 LOWER



NOTE:
 PARKING SPACES UNDER BUILDING MAY BE OBSTRUCTED TO PERFORM THE WORK. SCHEDULE THE WORK TO MINIMIZE PARKING OBSTRUCTION.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.

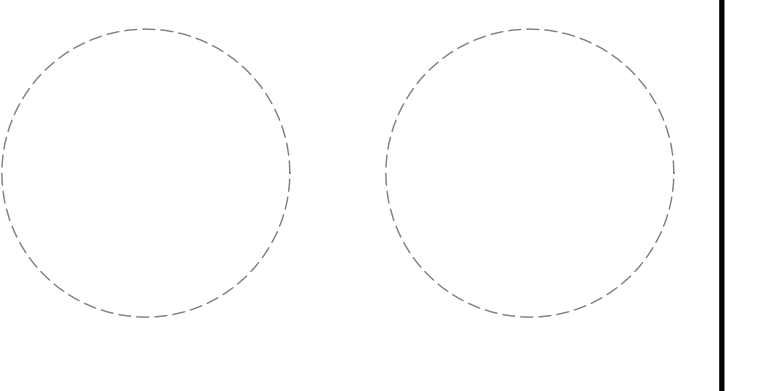
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ISSUED FOR PERMIT 7 JULY 2006

1 SOUTH ELEVATION EXTERIOR REPAIRS
 SCALE: 1/8" = 1'-0"

1. REFER TO DRAWING A300 FOR WINDOW REPLACEMENT SCOPE.
2. REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH FLOOR SLAB.
3. INSTALL NEW SHELF ANGLE AND FLASHING AT EACH FLOOR SLAB WITH EPOXY ANCHORS.
4. REPAIR CRACKED MASONRY.
5. REPOINT CRACKED MORTAR JOINTS.
6. INSTALL NEW BACKER ROD AND SEALANT AT ALL VERTICAL AND HORIZONTAL JOINTS.
7. REPLACE EIFS SOFFITS AT STAIRTOWERS.
8. REPAIR CRACKED EIFS. CLEAN AND RECOAT EIFS.
9. INSTALL DOW ALLGUARD COATING ON ALL EXISTING BRICK SURFACES.

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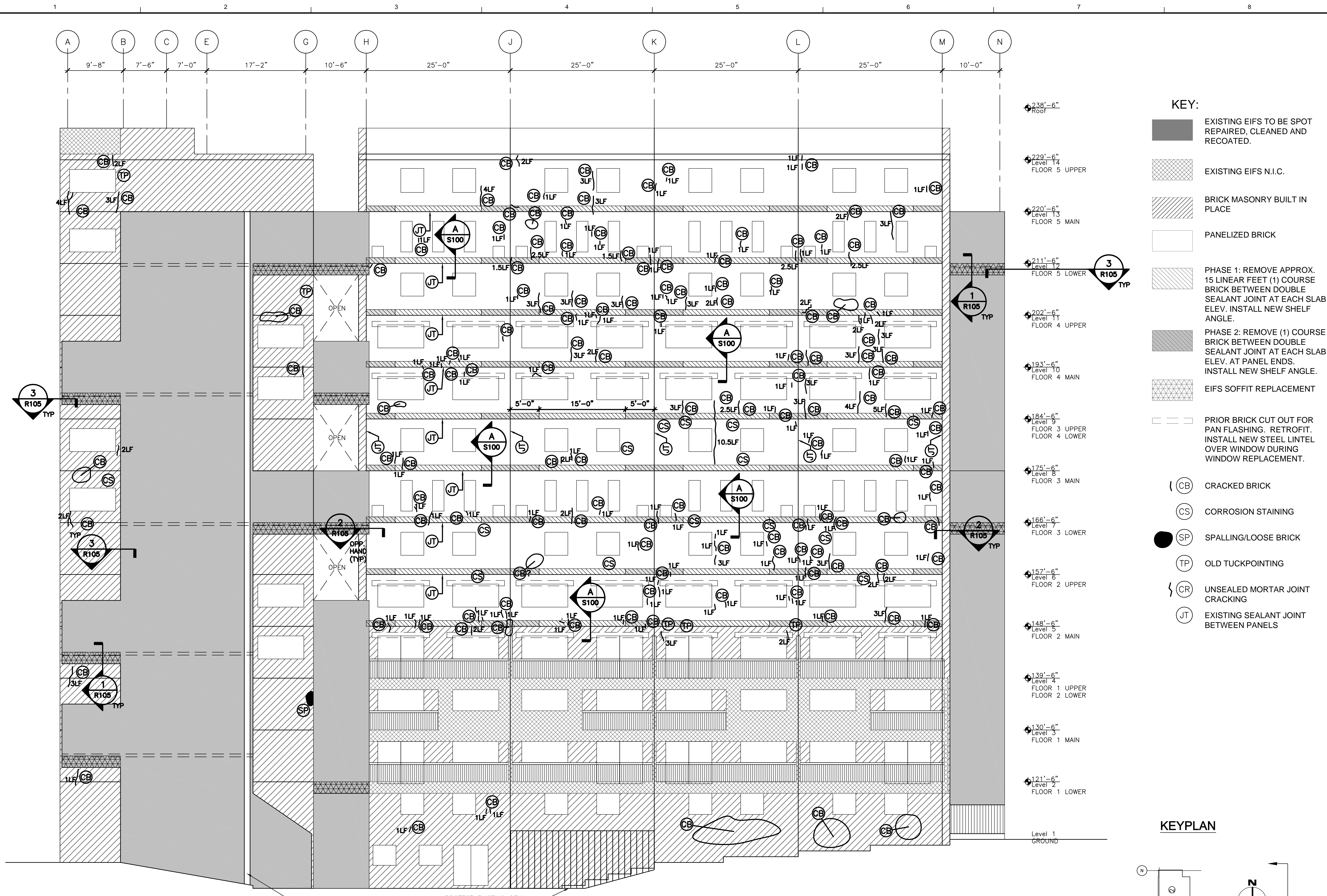
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 PORTLAND, MAINE 04101

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Scale	AS NOTED

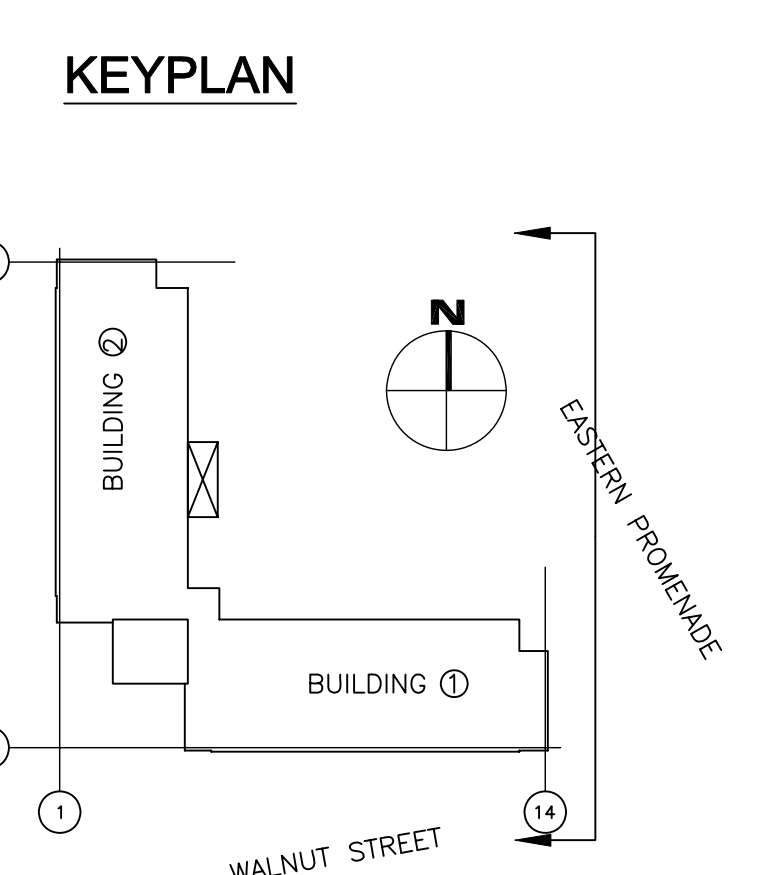
EAST ELEVATION EXTERIOR REPAIRS

Sheet Title
R101
 Sheet No.



- KEY:**
- EXISTING EIFS TO BE SPOT REPAIRED, CLEANED AND RECOATED.
 - EXISTING EIFS N.I.C.
 - BRICK MASONRY BUILT IN PLACE
 - PANELIZED BRICK
 - PHASE 1: REMOVE APPROX. 15 LINEAR FEET (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. INSTALL NEW SHELF ANGLE.
 - PHASE 2: REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. AT PANEL ENDS. INSTALL NEW SHELF ANGLE.
 - EIFS SOFFIT REPLACEMENT
 - PRIOR BRICK CUT OUT FOR PAN FLASHING. RETROFIT. INSTALL NEW STEEL LINTEL OVER WINDOW DURING WINDOW REPLACEMENT.
 - (CB) CRACKED BRICK
 - (CS) CORROSION STAINING
 - (SP) SPALLING/LOOSE BRICK
 - (TP) OLD TUCKPOINTING
 - (CR) UNSEALED MORTAR JOINT CRACKING
 - (JT) EXISTING SEALANT JOINT BETWEEN PANELS

- 238'-6" Root
- 229'-6" Level 14 FLOOR 5 UPPER
- 220'-6" Level 13 FLOOR 5 MAIN
- 211'-6" Level 12 FLOOR 5 LOWER
- 202'-6" Level 11 FLOOR 4 UPPER
- 193'-6" Level 10 FLOOR 4 MAIN
- 184'-6" Level 9 FLOOR 3 UPPER FLOOR 4 LOWER
- 175'-6" Level 8 FLOOR 3 MAIN
- 166'-6" Level 7 FLOOR 3 LOWER
- 157'-6" Level 6 FLOOR 2 UPPER
- 148'-6" Level 5 FLOOR 2 MAIN
- 139'-6" Level 4 FLOOR 1 UPPER FLOOR 2 LOWER
- 130'-6" Level 3 FLOOR 1 MAIN
- 121'-6" Level 2 FLOOR 1 LOWER
- Level 1 GROUND



- 1 EAST ELEVATION EXTERIOR REPAIRS**
 SCALE: 1/8" = 1'-0"
1. REFER TO DRAWING A300 FOR WINDOW REPLACEMENT SCOPE.
 2. REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH FLOOR SLAB.
 3. INSTALL NEW SHELF ANGLE AND FLASHING AT EACH FLOOR SLAB WITH EPOXY ANCHORS.
 4. REPAIR CRACKED MASONRY.
 5. REPOINT CRACKED MORTAR JOINTS.
 6. INSTALL NEW BACKER ROD AND SEALANT AT ALL VERTICAL AND HORIZONTAL JOINTS.
 7. REPLACE EIFS SOFFITS AT STARTTOWERS.
 8. REPAIR CRACKED EIFS. CLEAN AND RECOAT EIFS.
 9. INSTALL DOW ALLGUARD COATING ON ALL EXISTING BRICK SURFACES.
- NOTE:**
 PARKING SPACES UNDER BUILDING MAY BE OBSTRUCTED TO PERFORM THE WORK. SCHEDULE THE WORK TO MINIMIZE PARKING OBSTRUCTION.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.

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PORTLAND, MAINE 04101

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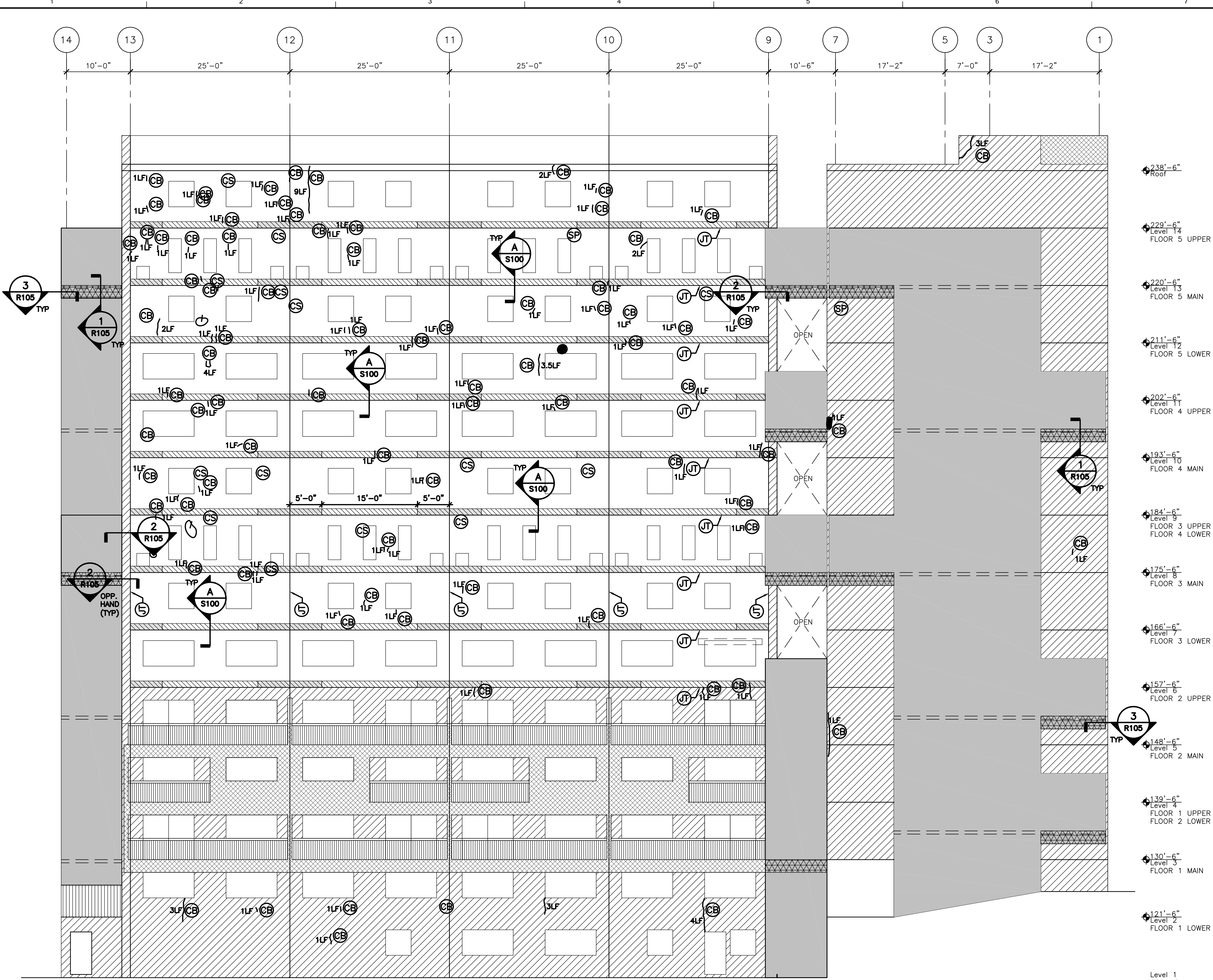
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PORTLAND, MAINE 04101

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Project No.	2004.3899.2
Date	17 MARCH 2006
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Scale	AS NOTED

**NORTH ELEVATION
EXTERIOR REPAIRS**

Sheet Title
R102
Sheet No.

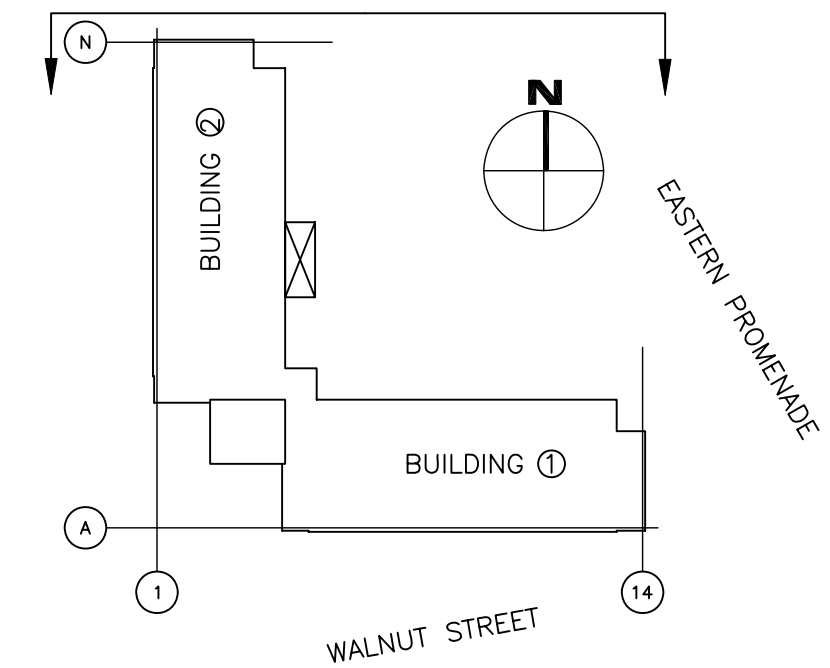


KEY:

- EXISTING EIFS TO BE SPOT REPAIRED, CLEANED AND RECOATED.
- EXISTING EIFS N.I.C.
- BRICK MASONRY BUILT IN PLACE
- PANELIZED BRICK
- PHASE 1: REMOVE APPROX. 15 LINEAR FEET (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. INSTALL NEW SHELF ANGLE.
- PHASE 2: REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. AT PANEL ENDS. INSTALL NEW SHELF ANGLE.
- EIFS SOFFIT REPLACEMENT
- PRIOR BRICK CUT OUT FOR PAN FLASHING. RETROFIT. INSTALL NEW STEEL LINTEL OVER WINDOW DURING WINDOW REPLACEMENT.
- (CB) CRACKED BRICK
- (CS) CORROSION STAINING
- (SP) SPALLING/LOOSE BRICK
- (TP) OLD TUCKPOINTING
- (CR) UNSEALED MORTAR JOINT CRACKING
- (JT) EXISTING SEALANT JOINT BETWEEN PANELS

- 238'-6" Roof
- 229'-6" Level 14 FLOOR 5 UPPER
- 220'-6" Level 13 FLOOR 5 MAIN
- 211'-6" Level 12 FLOOR 5 LOWER
- 202'-6" Level 11 FLOOR 4 UPPER
- 193'-6" Level 10 FLOOR 4 MAIN
- 184'-6" Level 9 FLOOR 3 UPPER AND FLOOR 4 LOWER
- 175'-6" Level 8 FLOOR 3 MAIN
- 166'-6" Level 7 FLOOR 3 LOWER
- 157'-6" Level 6 FLOOR 2 UPPER
- 148'-6" Level 5 FLOOR 2 MAIN
- 139'-6" Level 4 FLOOR 1 UPPER AND FLOOR 2 LOWER
- 130'-6" Level 3 FLOOR 1 MAIN
- 121'-6" Level 2 FLOOR 1 LOWER
- Level 1 GROUND

KEYPLAN



NOTE:
PARKING SPACES UNDER BUILDING MAY BE OBSTRUCTED TO PERFORM THE WORK.
SCHEDULE THE WORK TO MINIMIZE PARKING OBSTRUCTION.

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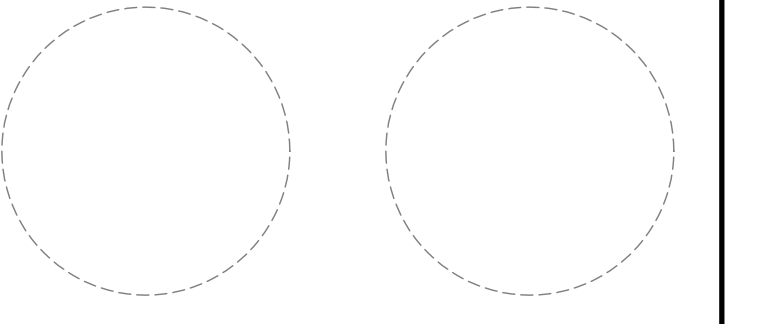
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7 JULY 2006

1 NORTH ELEVATION EXTERIOR REPAIRS

SCALE: 1/8" = 1'-0"

1. REFER TO DRAWING A300 FOR WINDOW REPLACEMENT SCOPE.
2. REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH FLOOR SLAB.
3. INSTALL NEW SHELF ANGLE AND FLASHING AT EACH FLOOR SLAB WITH EPOXY ANCHORS.
4. REPAIR CRACKED MASONRY.
5. REPOINT CRACKED MORTAR JOINTS.
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7. REPLACE EIFS SOFFITS AT STAIRTOWERS.
8. REPAIR CRACKED EIFS. CLEAN AND RECOAT EIFS.
9. INSTALL DOW ALLGUARD COATING ON ALL EXISTING BRICK SURFACES.

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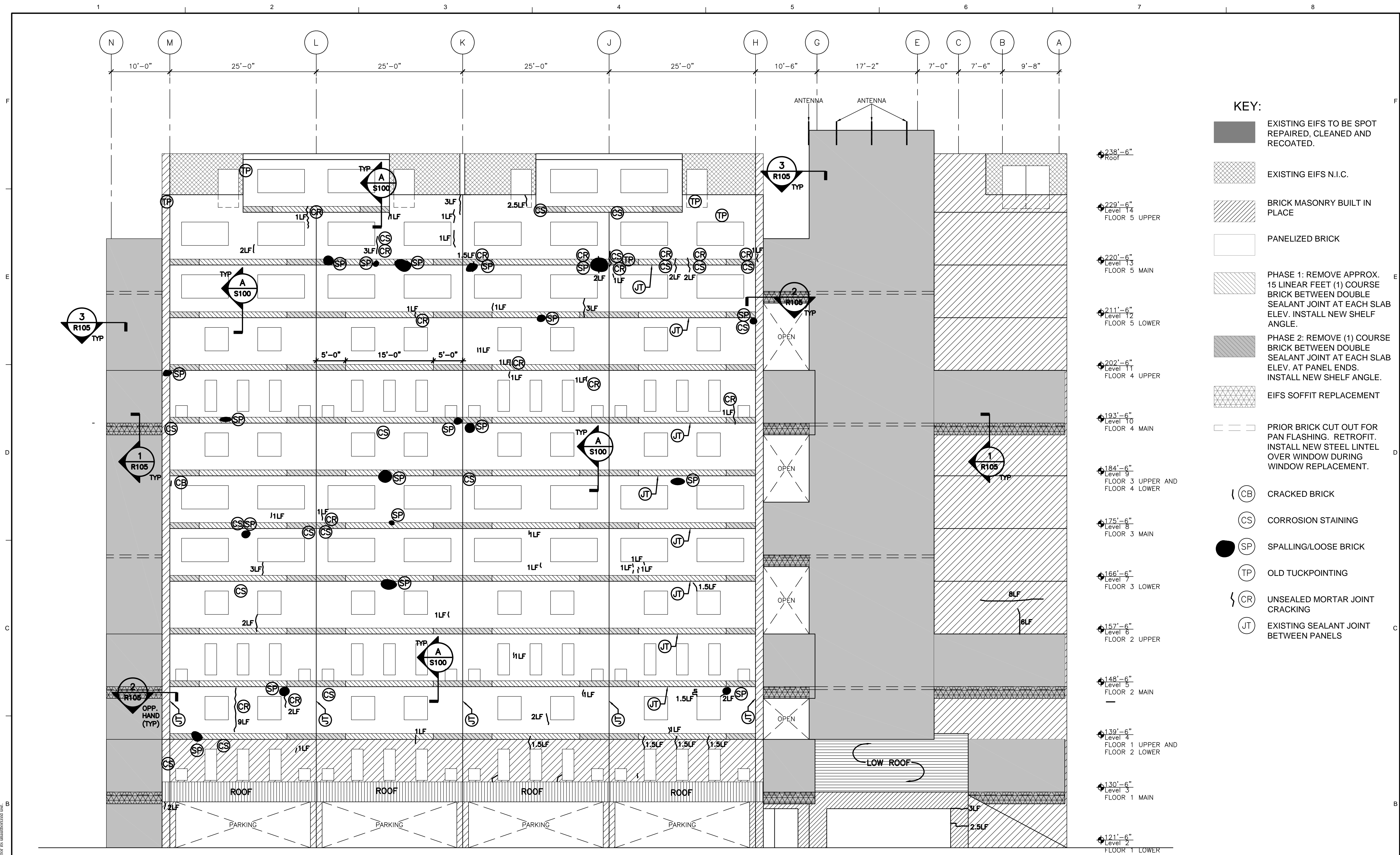
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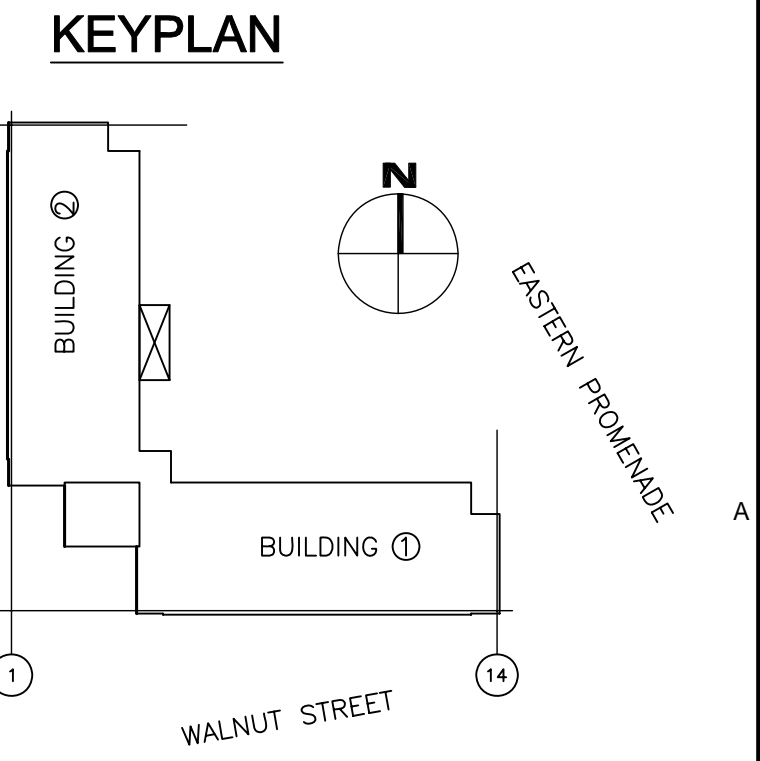
Project No.	2004.3899.2
Date	17 MARCH 2006
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Checked	LMG
Scale	AS NOTED

WEST ELEVATION EXTERIOR REPAIRS

Sheet Title
R103
 Sheet No.



- KEY:**
- EXISTING EIFS TO BE SPOT REPAIRED, CLEANED AND RECOATED.
 - EXISTING EIFS N.I.C.
 - BRICK MASONRY BUILT IN PLACE
 - PANELIZED BRICK
 - PHASE 1: REMOVE APPROX. 15 LINEAR FEET (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. INSTALL NEW SHELF ANGLE.
 - PHASE 2: REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH SLAB ELEV. AT PANEL ENDS. INSTALL NEW SHELF ANGLE.
 - EIFS SOFFIT REPLACEMENT
 - PRIOR BRICK CUT OUT FOR PAN FLASHING. RETROFIT. INSTALL NEW STEEL LINTEL OVER WINDOW DURING WINDOW REPLACEMENT.
 - (CB) CRACKED BRICK
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 - (SP) SPALLING/LOOSE BRICK
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 - (CR) UNSEALED MORTAR JOINT CRACKING
 - (JT) EXISTING SEALANT JOINT BETWEEN PANELS



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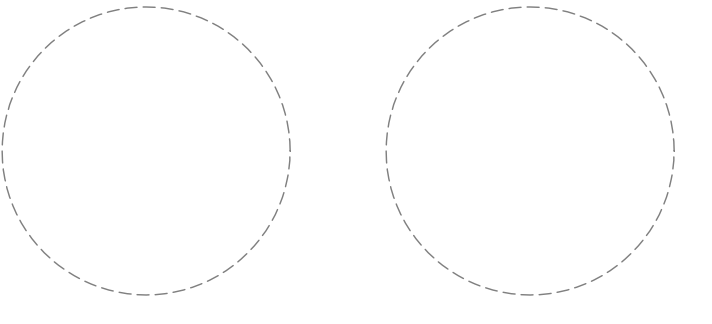
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NOTE:
 PARKING SPACES UNDER BUILDING MAY BE OBSTRUCTED TO PERFORM THE WORK. SCHEDULE THE WORK TO MINIMIZE PARKING OBSTRUCTION.

1 WEST ELEVATION EXTERIOR REPAIRS
 SCALE: 1/8" = 1'-0"

1. REFER TO DRAWING A300 FOR WINDOW REPLACEMENT SCOPE.
2. REMOVE (1) COURSE BRICK BETWEEN DOUBLE SEALANT JOINT AT EACH FLOOR SLAB.
3. INSTALL NEW SHELF ANGLE AND FLASHING AT EACH FLOOR SLAB WITH EPOXY ANCHORS.
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8. REPAIR CRACKED EIFS. CLEAN AND RECOAT EIFS.
9. INSTALL DOW ALLGUARD COATING ON ALL EXISTING BRICK SURFACES.

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Mark	Date	Description

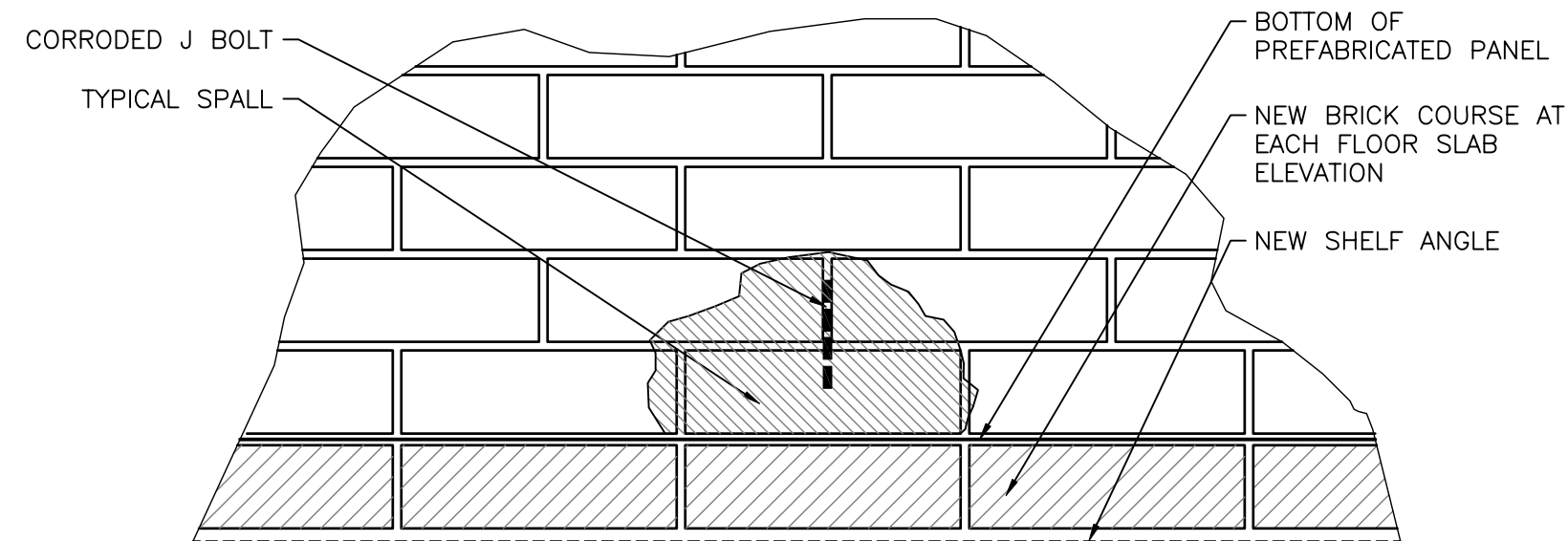
Project No.	2004.3899.2
Date	17 MARCH 2006
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Scale	AS NOTED

**MASONRY REPAIR
DETAILS**

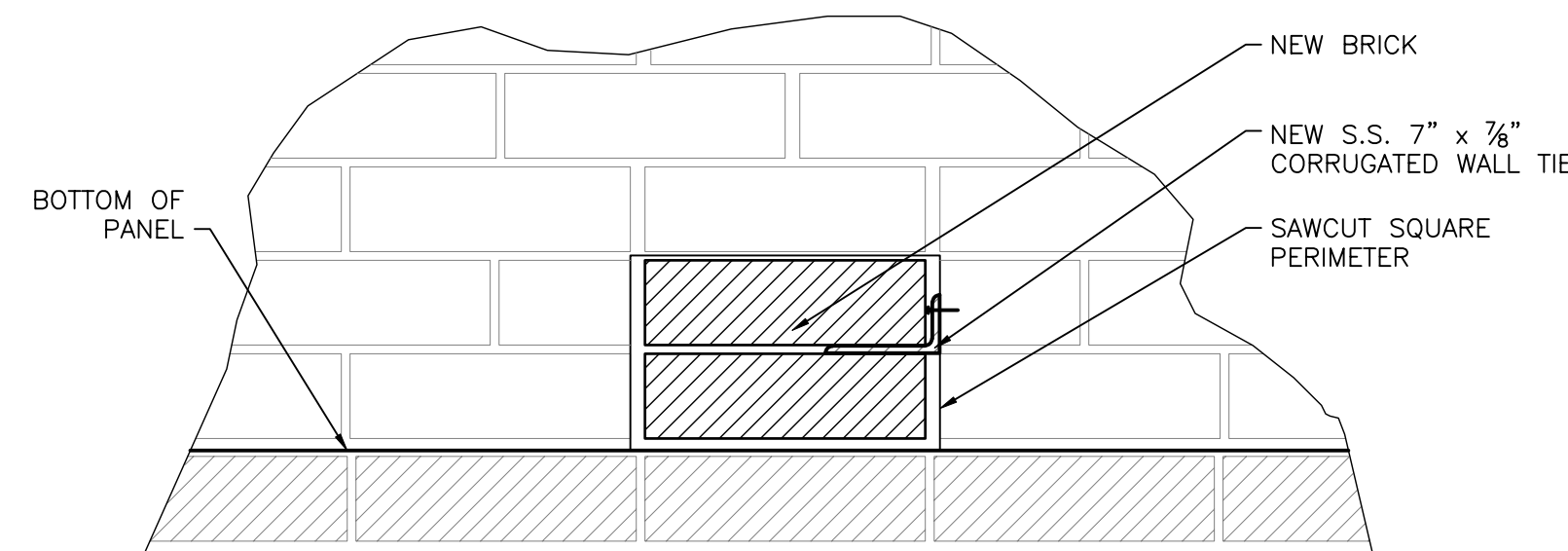
Sheet Title

R104

Sheet No.



1A EXISTING ANCHOR SPALL CONDITION
SCALE: 1 1/2" = 1'-0"



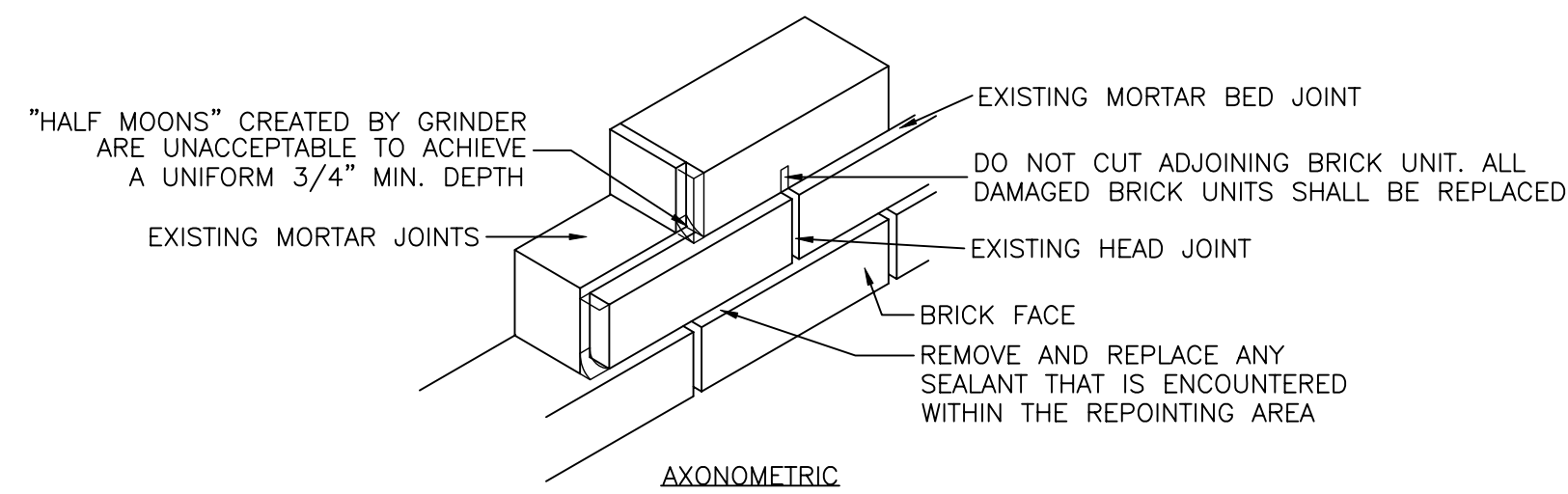
1B TYPICAL ANCHOR SPALL REPAIR
SCALE: 1 1/2" = 1'-0"

2 NOT USED
SCALE:

NOTE

DO NOT REMOVE ANY EXISTING PANEL ANCHORS UNTIL NEW CONTINUOUS BRICK SHELF IS INSTALLED.

1. SAWCUT SPALL PERIMETER SQUARE ALONG BRICK COURSING.
2. REMOVE CORRODED J BOLT.
3. INSTALL NEW BRICK WITH STAINLESS STEEL BRICK TIES AND TYPE S MORTAR.



REPOINTING SCHEDULE

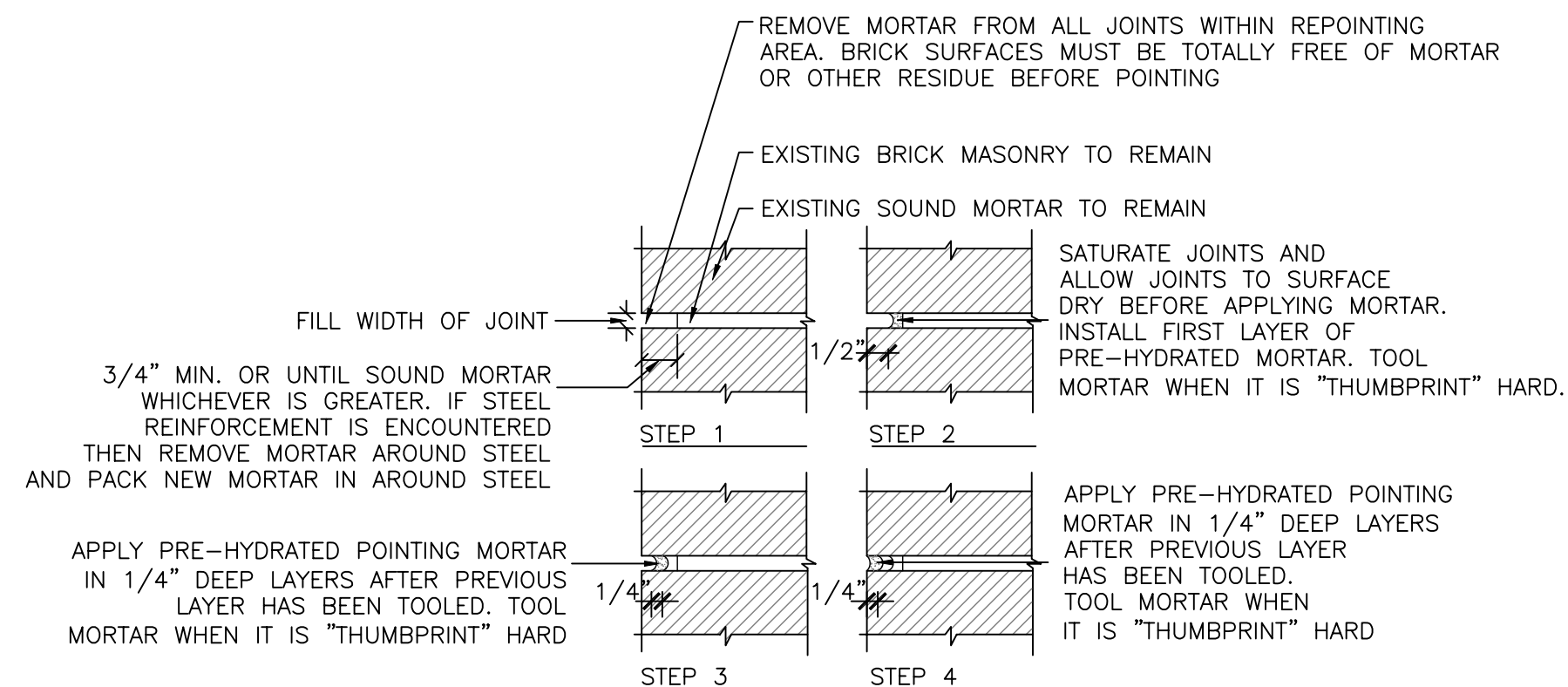
REMOVE EXISTING JOINT TO A DEPTH OF 3/4" OR DEEPER TO SOUND MORTAR.

FLUSH OUT LOOSE MATERIAL WITH WATER SPRAY.

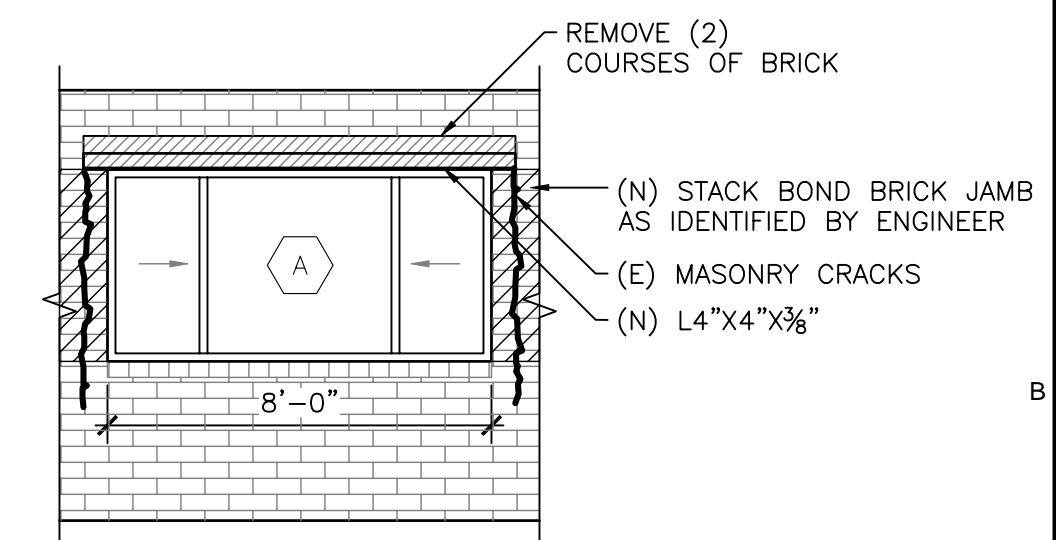
PRE-HYDRATE TYPE S MORTAR, OR MORTAR TYPE AS NOTED, (PER ASTM C270) BY MIXING MORTAR DRY. THEN MIX AGAIN WITH ONLY ENOUGH WATER TO PRODUCE A WORKABLE MIX.

WET MORTAR JOINT. PACK IN NEW PRE-HYDRATED POINTING MORTAR IN THIN LAYERS UNTIL JOINT IS FILLED AND TOoled TO A SMOOTH, CONCAVE FINISH.

DISCARD ANY UNUSED MORTAR NOT USED WITHIN 3 HOURS AFTER INITIAL ADDITION OF WATER.



4 TYPICAL REPOINTING REPAIR DETAIL
SCALE: 1 1/2" = 1'-0"



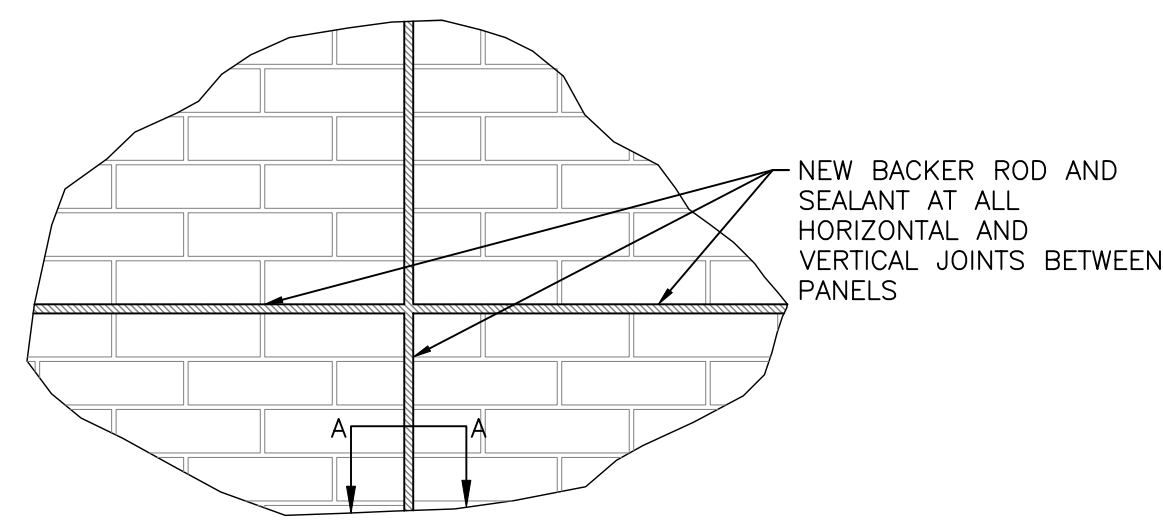
5 EXISTING VERTICAL CRACKS AT WINDOWS
SCALE: 1/4" = 1'-0"

1. ENGINEER TO REVIEW VERTICAL CRACKS AT WINDOW JAMBS AND IDENTIFY CRACKED JAMBS THAT REQUIRE RECONSTRUCTION.
2. PROVIDE UNIT PRICE PER JAMB IN BID.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.

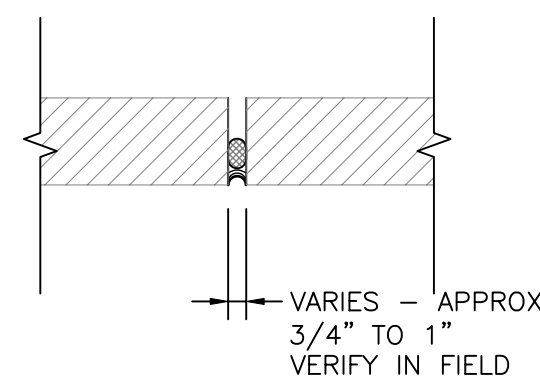
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3 TYPICAL BRICK PANEL SEALANT REPAIR ELEVATION
SCALE: 3/4" = 1'-0"

NOTE:
COORDINATE HORIZONTAL JOINT SEALANT WITH NEW SHELF ANGLE AND FLASHING



SECTION A-A
SCALE: 1 1/2" = 1'-0"

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Project

**PROMENADE
EAST
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FACADE REPAIRS**
340 EASTERN
PROMENADE
PORTLAND, MAINE 04101

Client

**Promenade East
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PORTLAND, MAINE 04101

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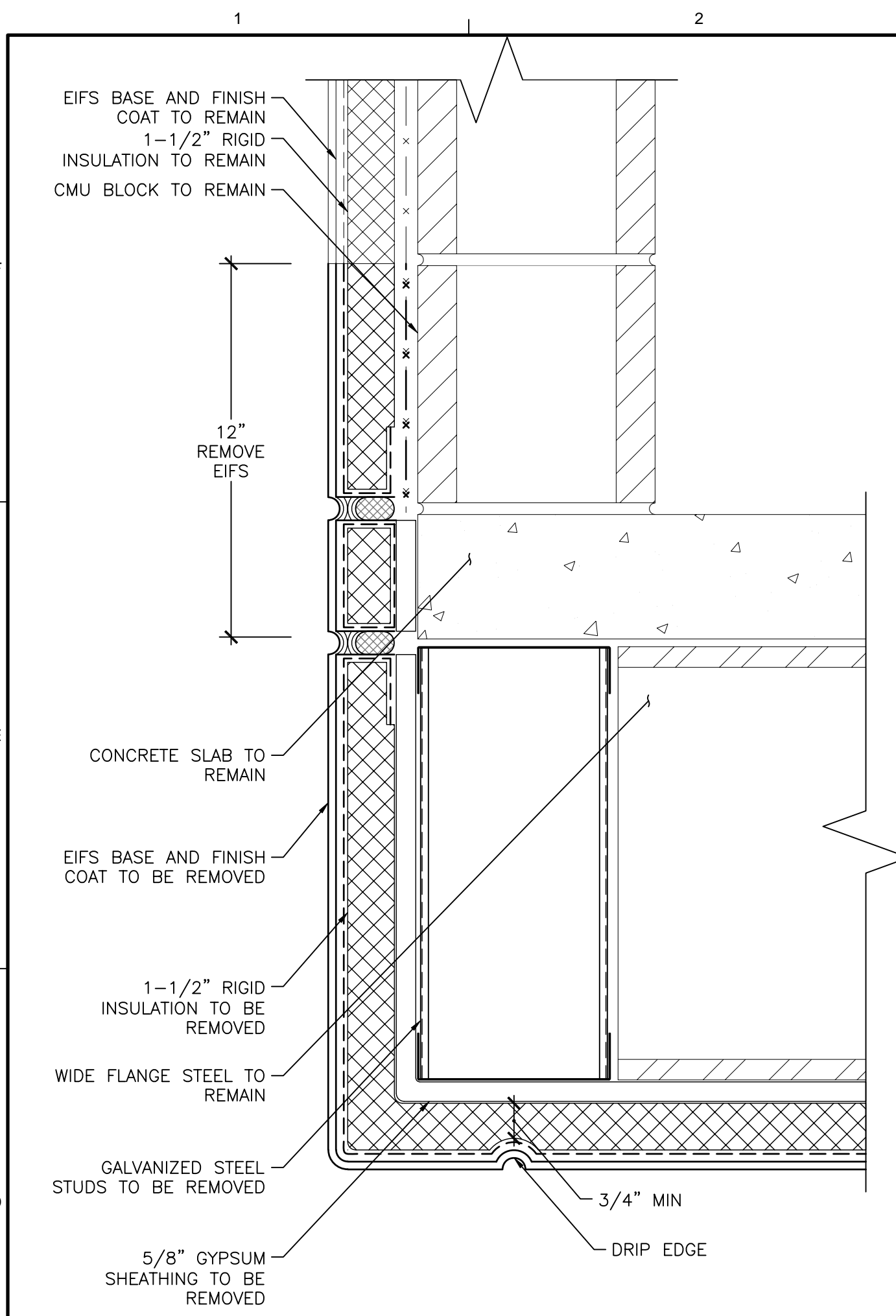
Scale AS NOTED

EIFS REPAIR DETAILS

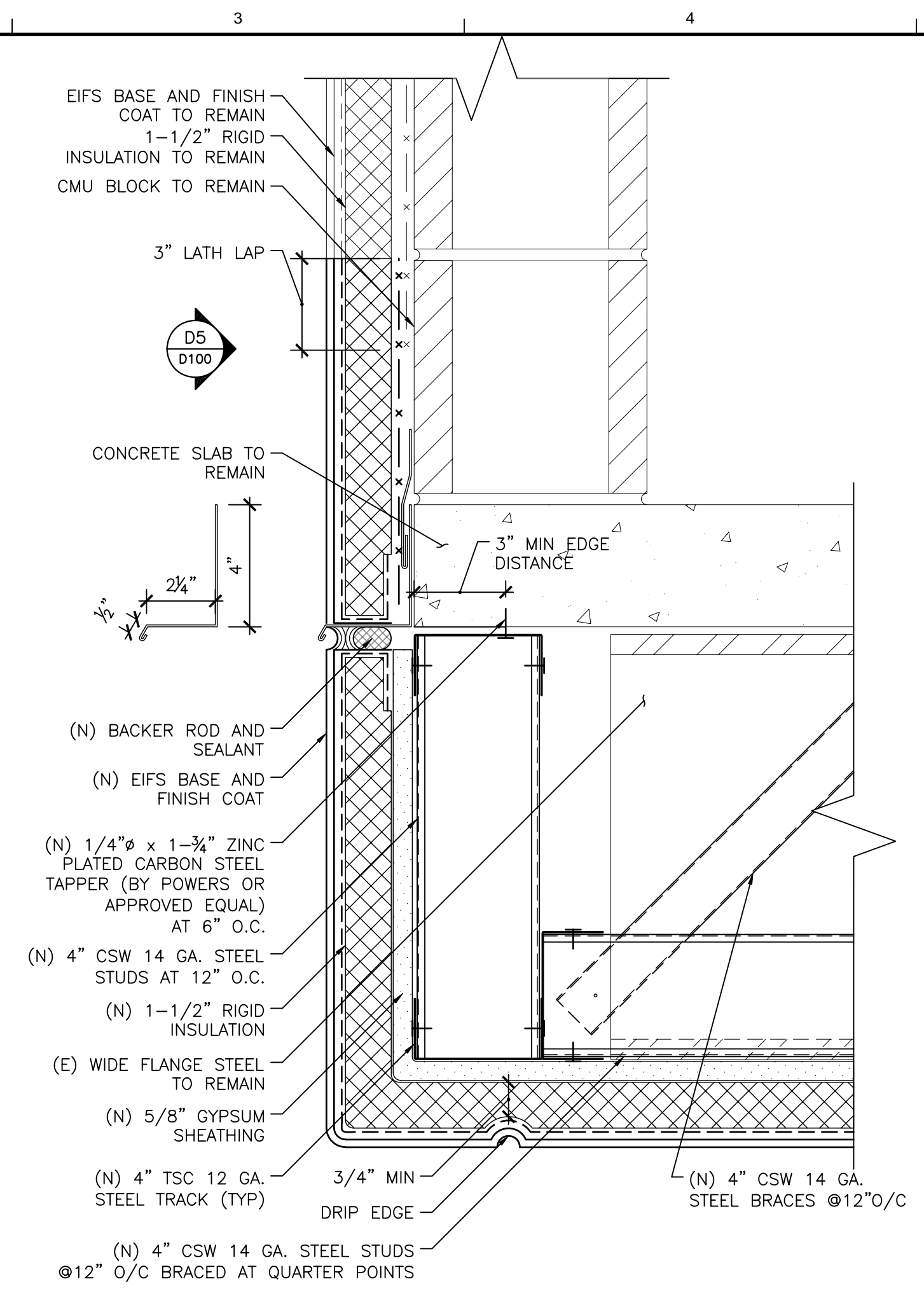
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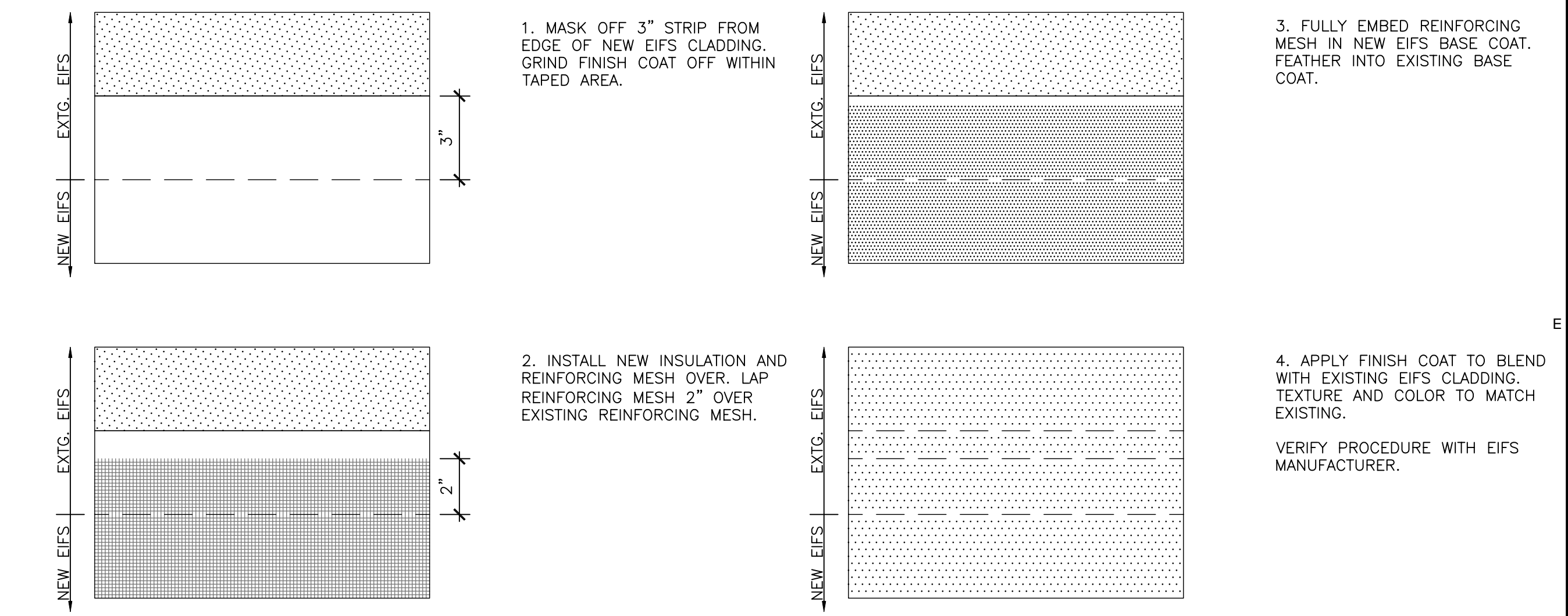
R105



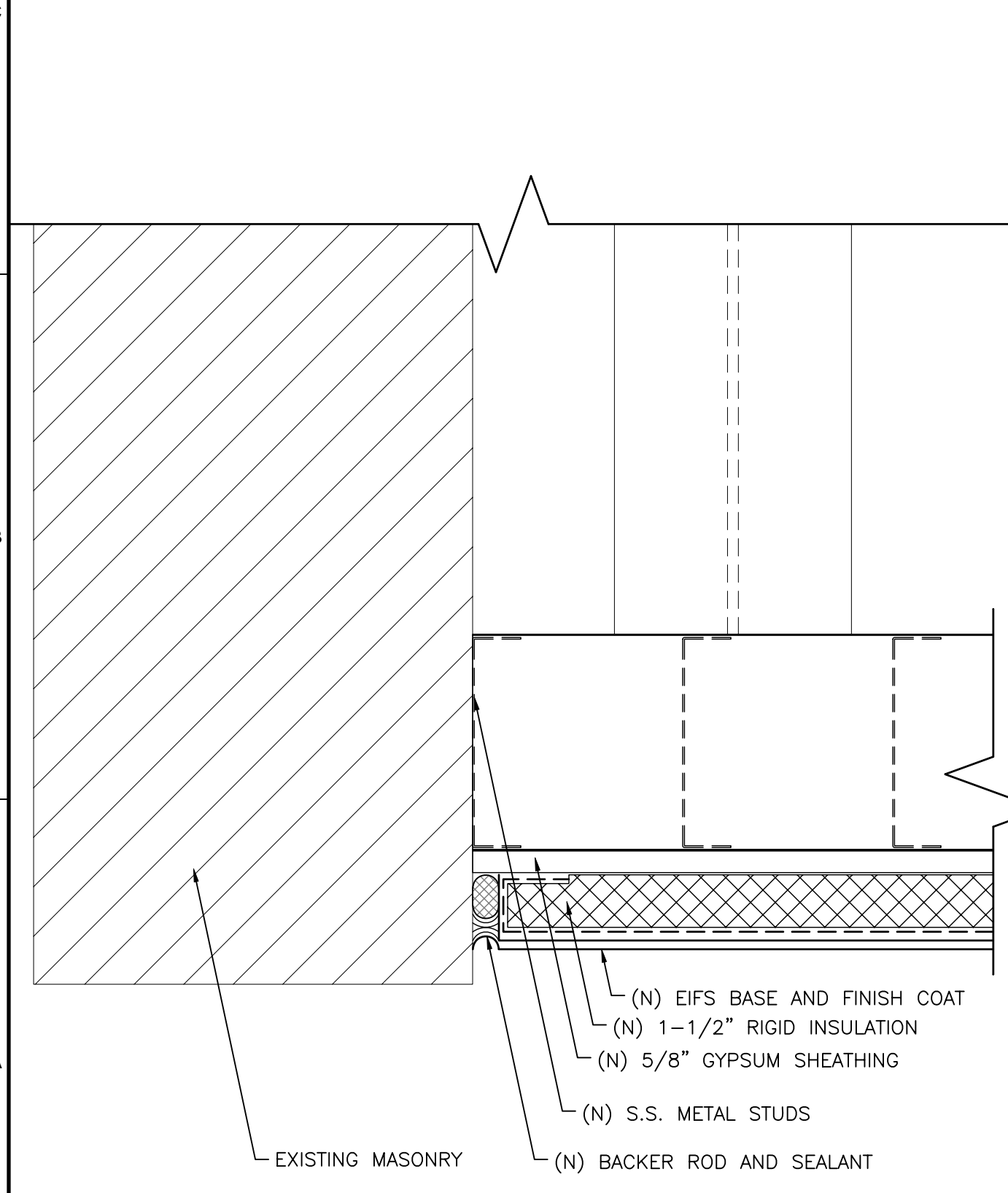
1A EXISTING SOFFIT SECTION
SCALE: 3" = 1'-0"



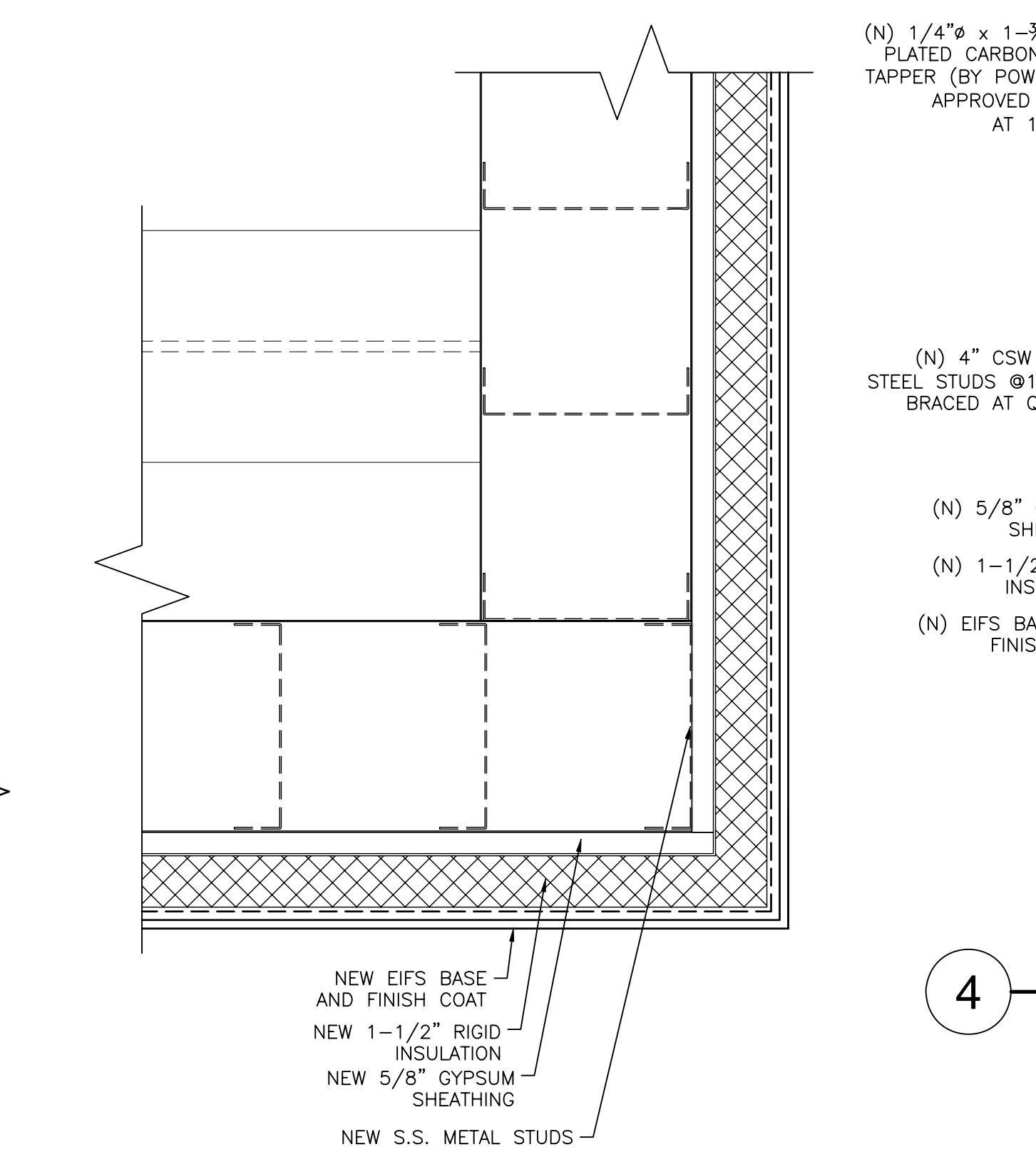
1B NEW SOFFIT SECTION
SCALE: 3" = 1'-0"



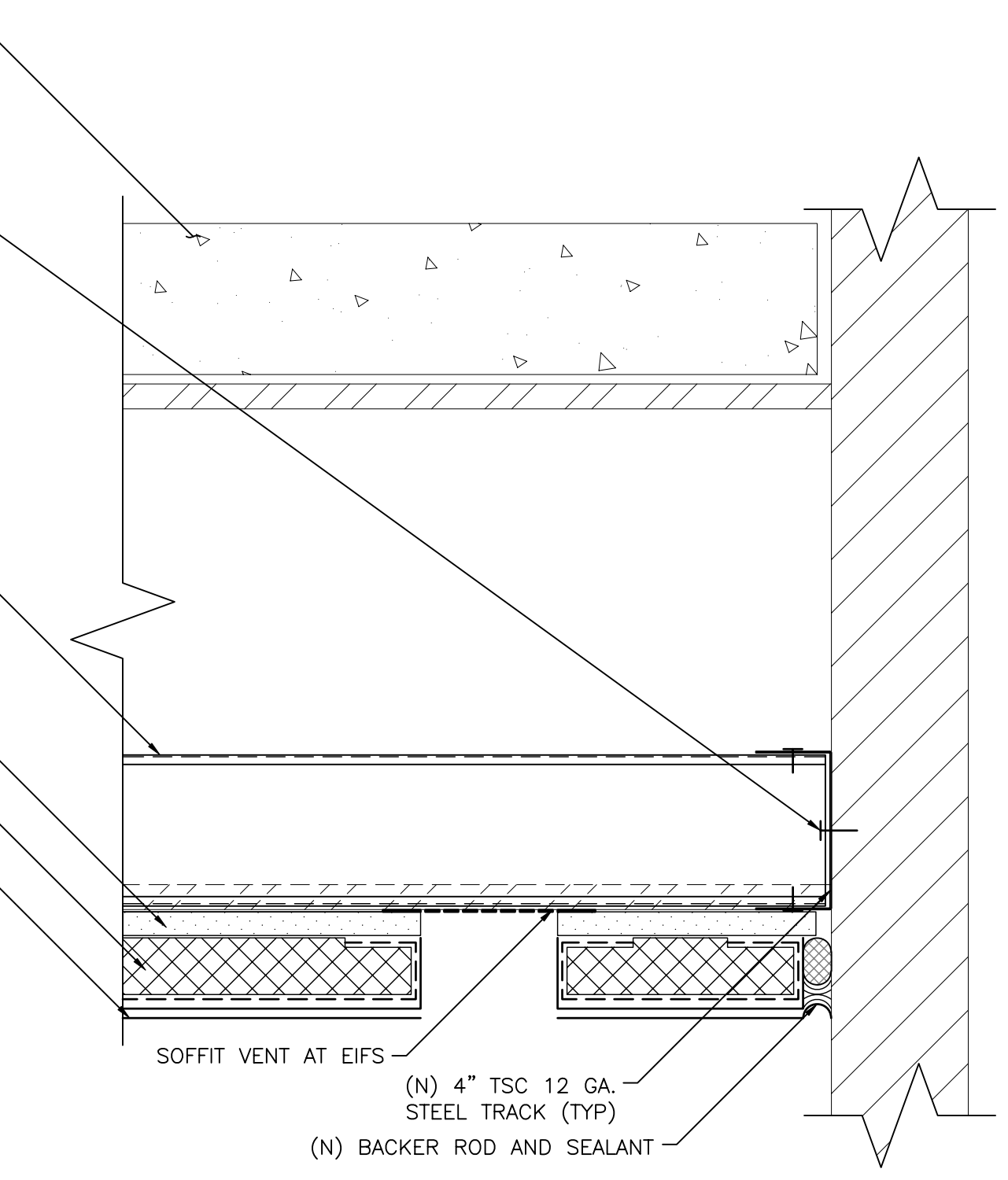
EIFS PROCEDURES
SCALE: 3" = 1'-0"



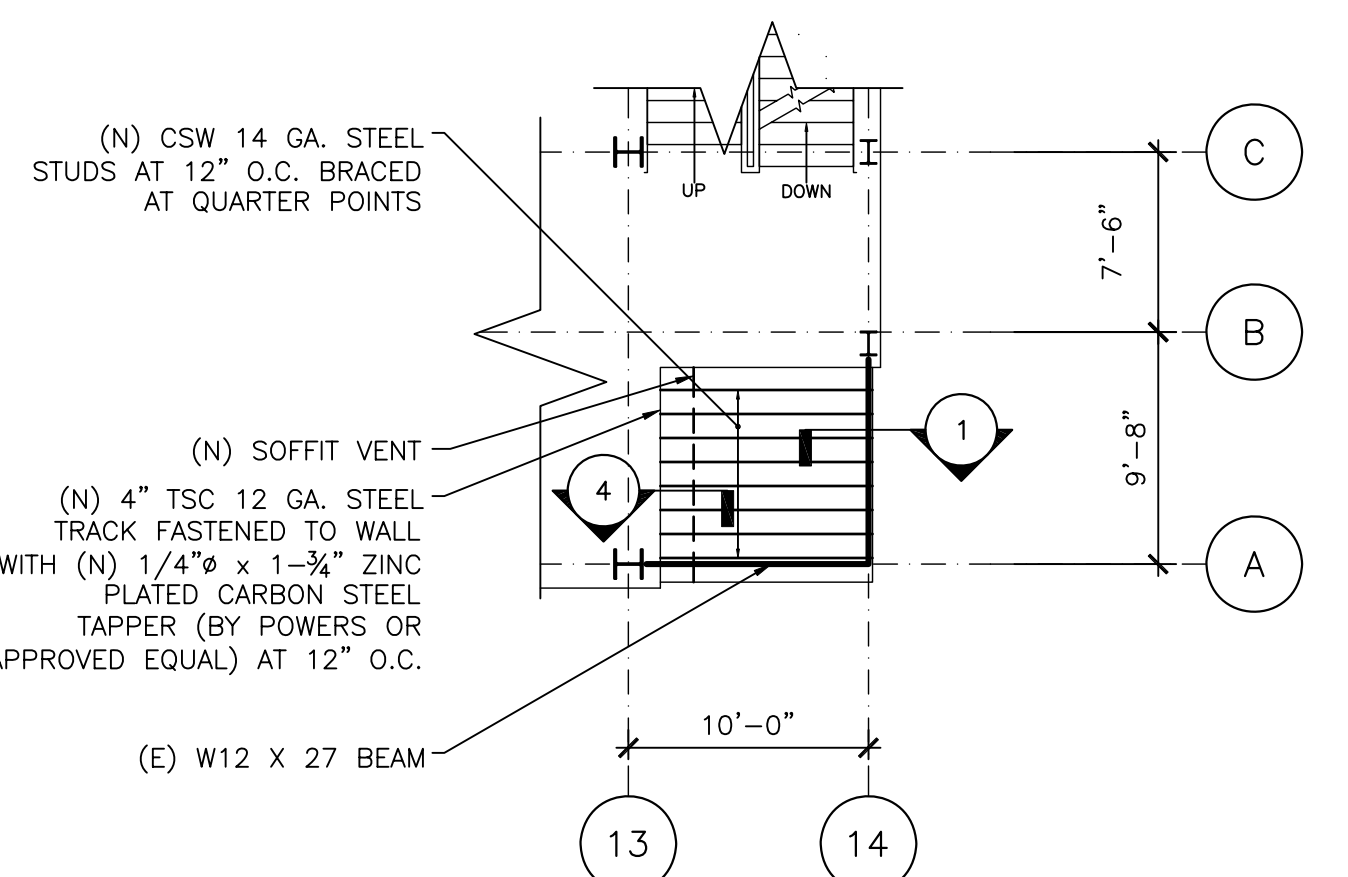
2 INTERIOR CORNER
SCALE: 3" = 1'-0"



3 OUTSIDE CORNER
SCALE: 3" = 1'-0"



4 NEW SOFFIT AT WALL
SCALE: 3" = 1'-0"



5 NEW SOFFIT STUD FRAMING
SCALE: 1/8" = 1'-0"

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PORTLAND, MAINE 04101

Client

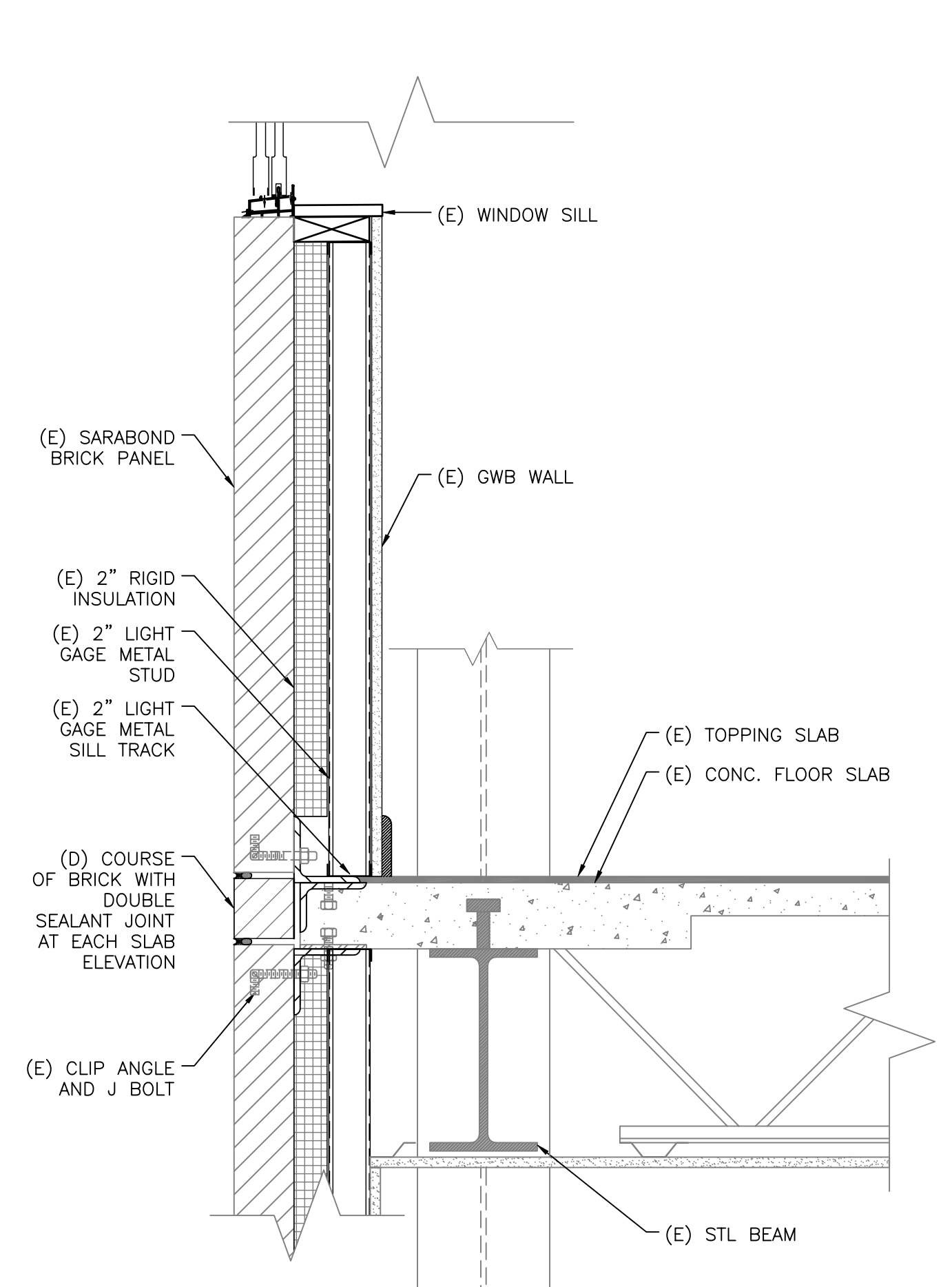
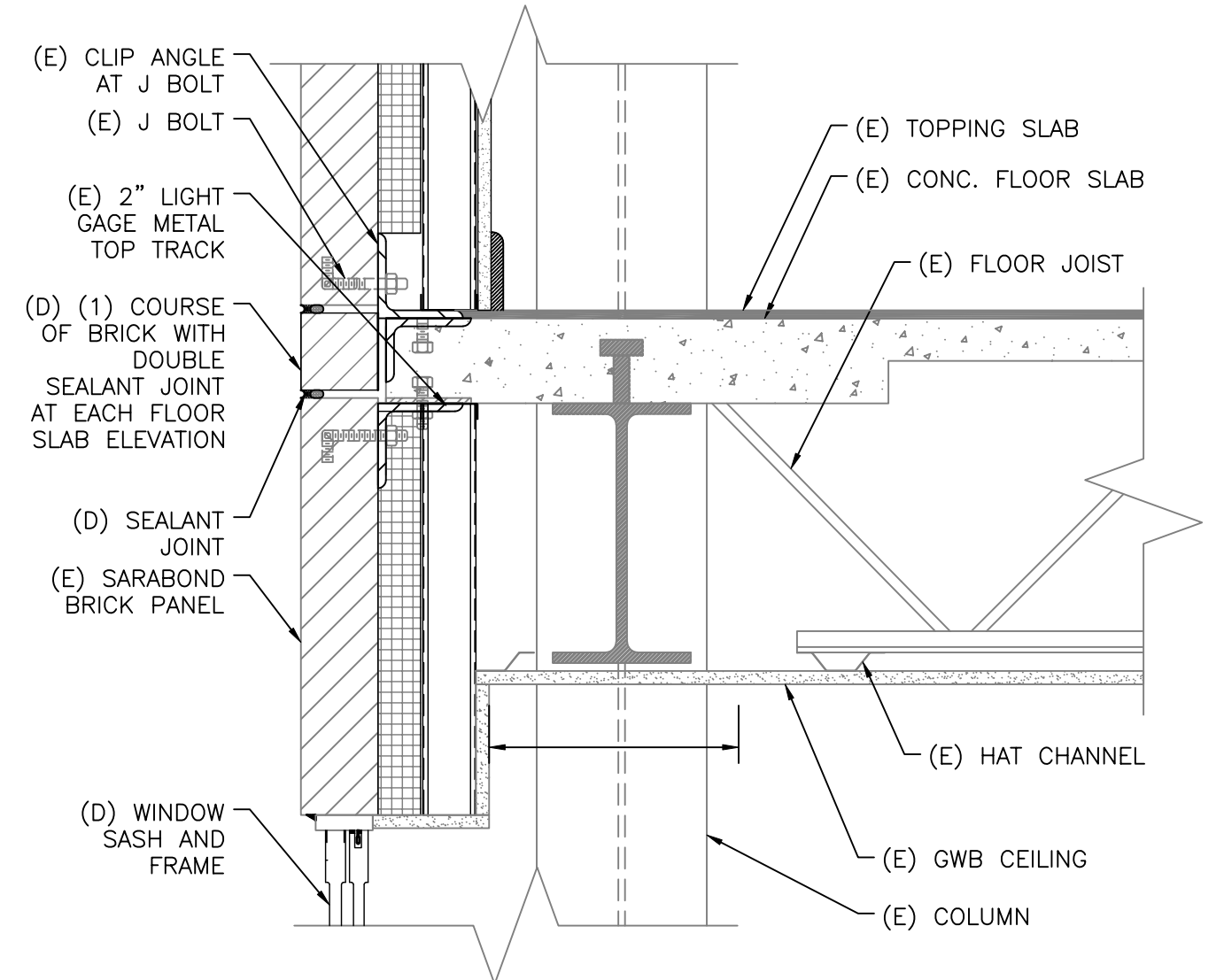
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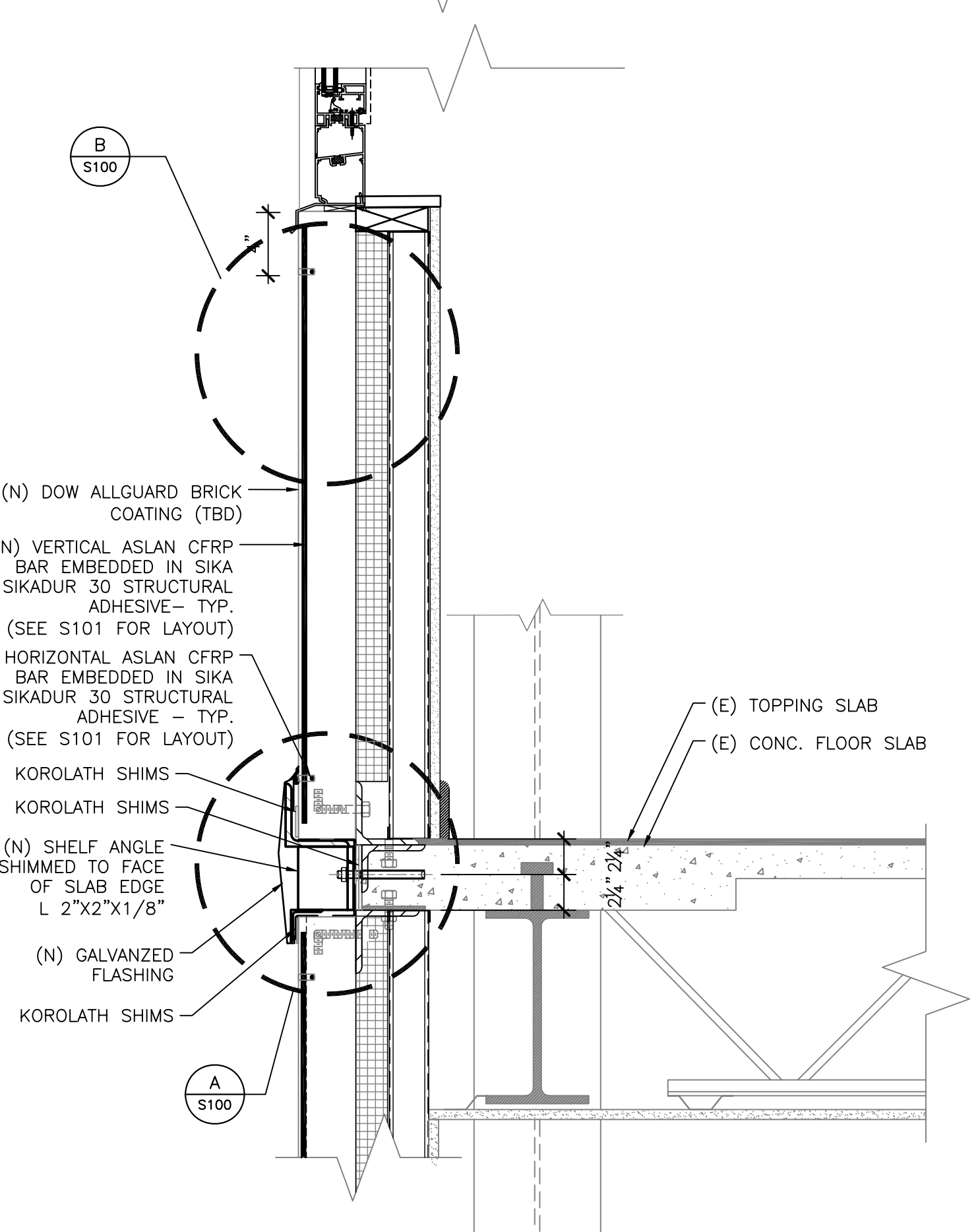
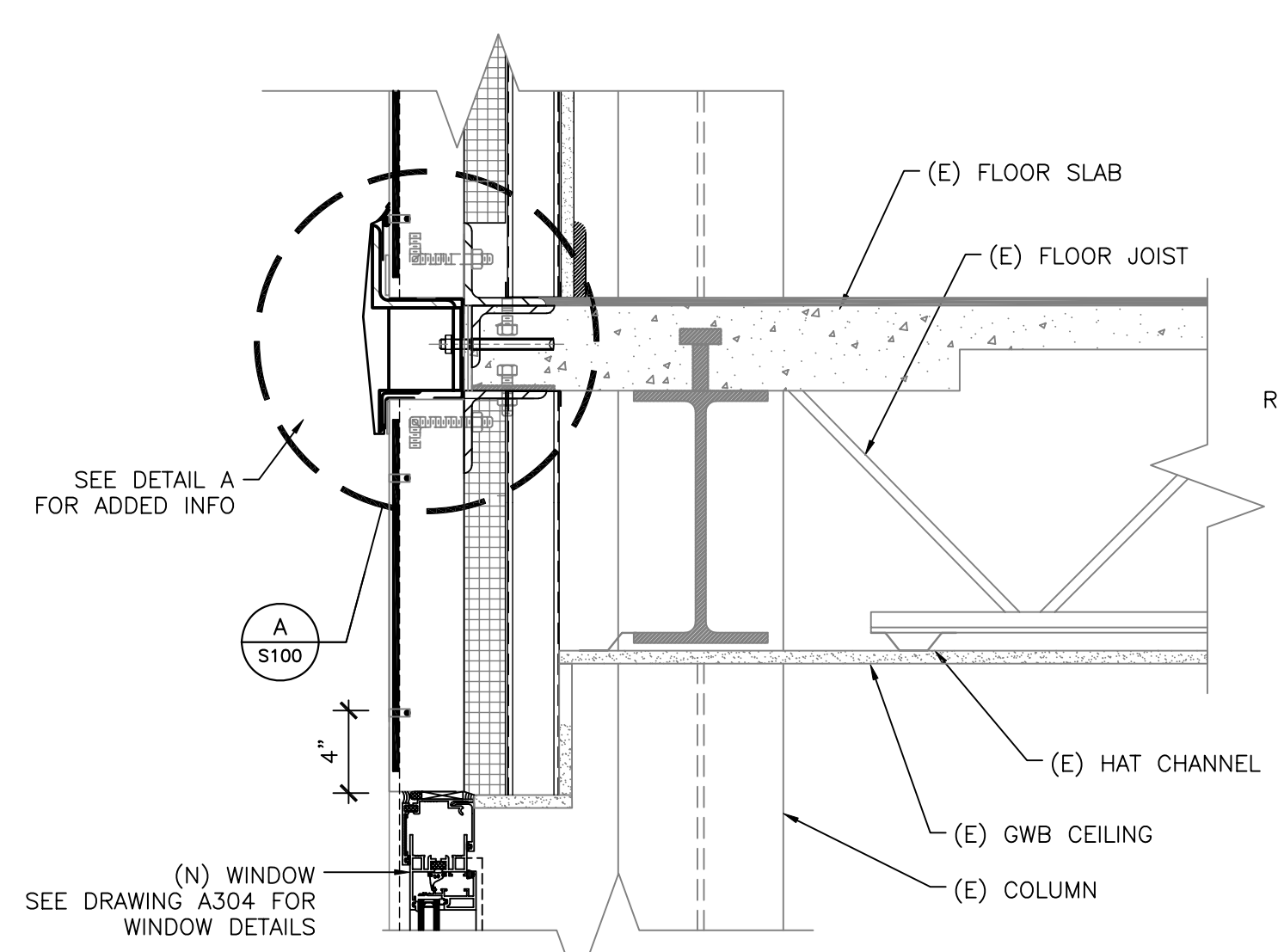
**STRUCTURAL REPAIR
DETAILS**

Sheet Title
S100
Sheet No.



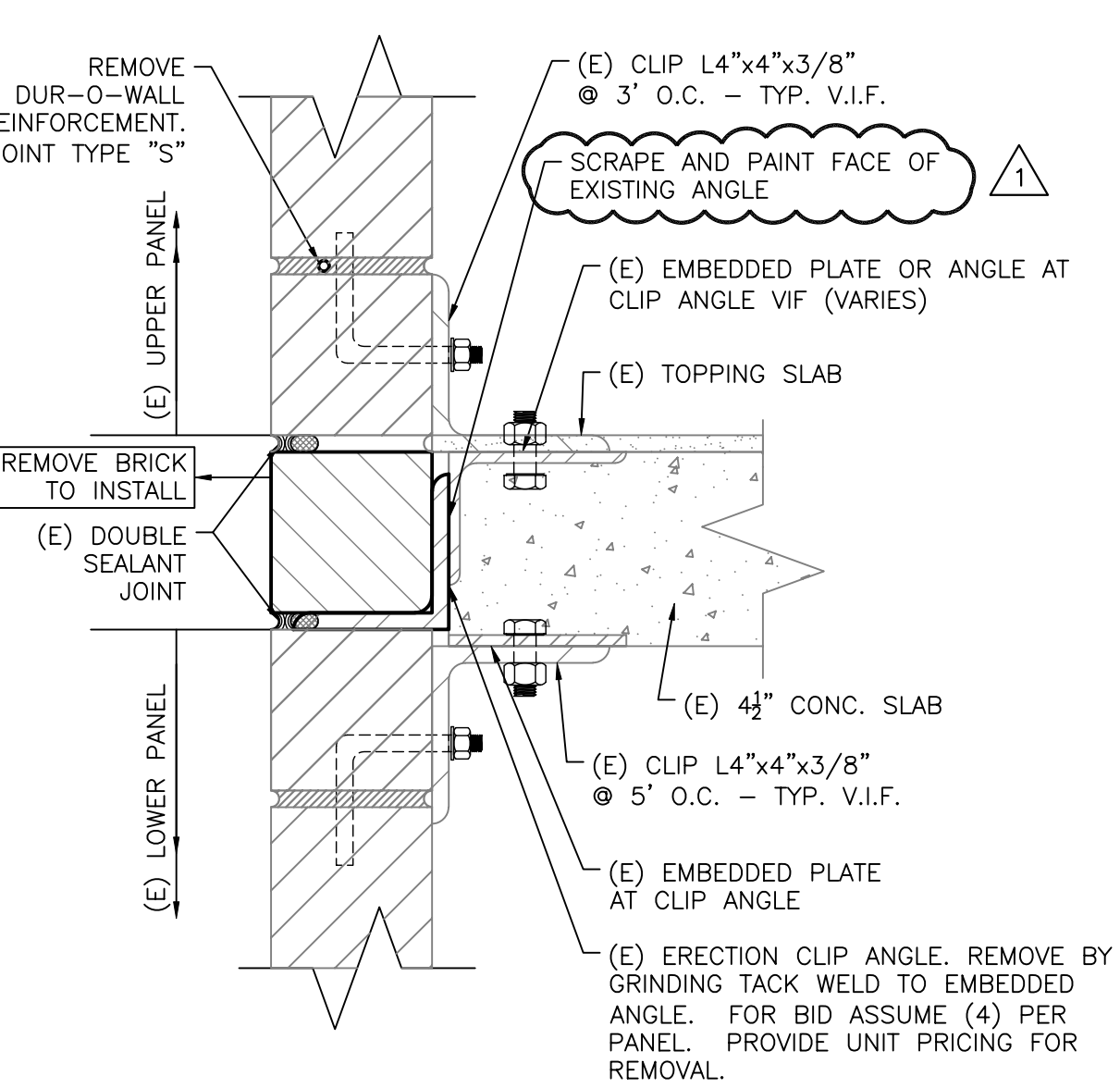
1 EXISTING STRUCTURAL WALL SECTION
SCALE: 1 1/2" = 1'-0"

NOTES:
(E) INDICATES EXISTING ELEMENT TO REMAIN.
(D) INDICATES EXISTING ELEMENT TO BE REMOVED.
(N) INDICATES NEW ELEMENT TO BE INSTALLED.
1. COORDINATE EXISTING WINDOW REMOVAL AND NEW WINDOW INSTALLATION TO MINIMIZE TIME UNIT IS OPEN TO THE WEATHER. PROVIDE TEMPORARY WEATHER BARRIER OVER WINDOW OPENING UNTIL NEW WINDOW INSTALLATION IS COMPLETE AND WEATHER-TIGHT.



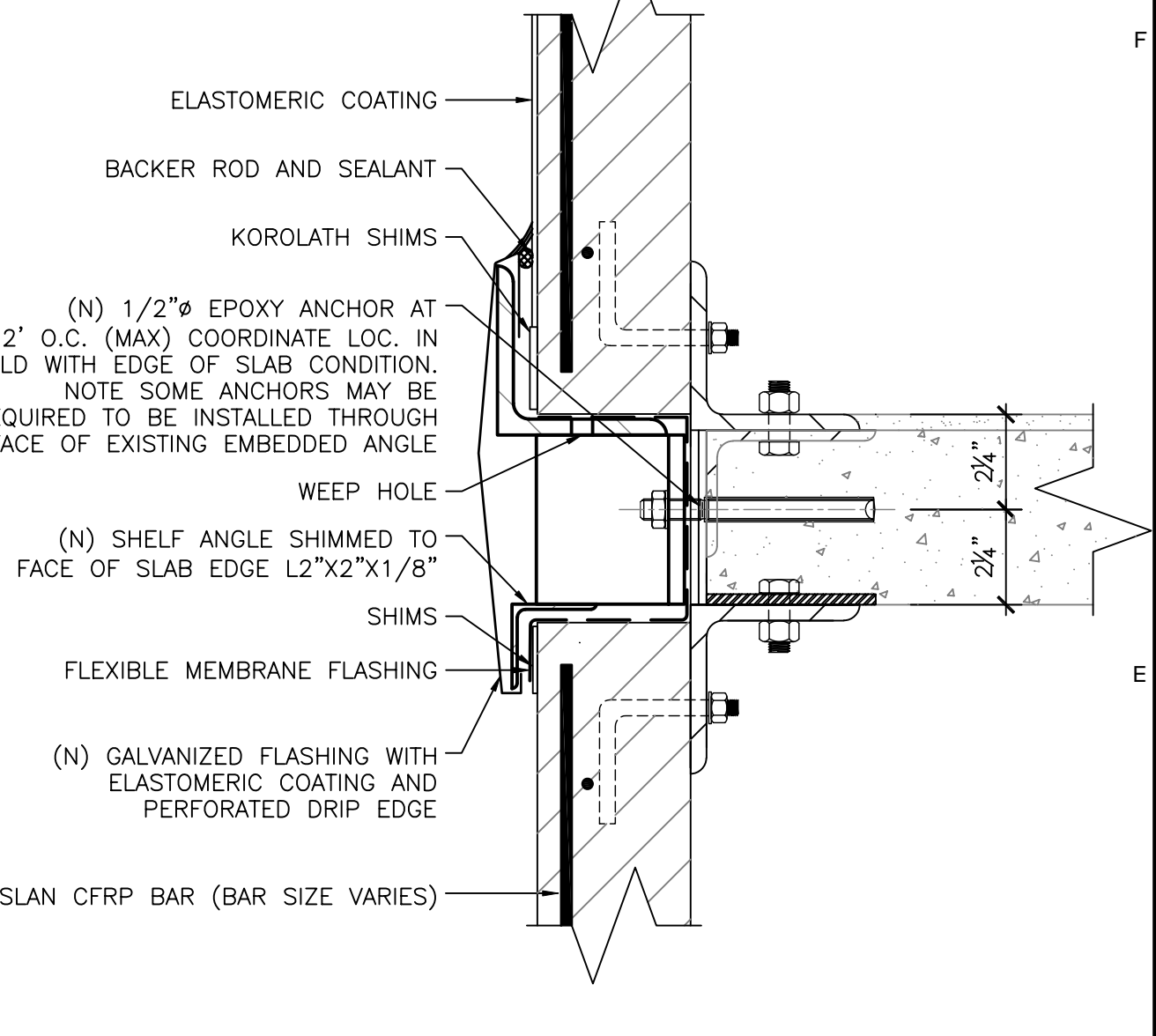
2 NEW STRUCTURAL WALL SECTION
SCALE: 1 1/2" = 1'-0"

NOTES:
(E) INDICATES EXISTING ELEMENT TO REMAIN.
(D) INDICATES EXISTING ELEMENT TO BE REMOVED.
(N) INDICATES NEW ELEMENT TO BE INSTALLED.
REFER TO DETAIL A FOR INFORMATION NOT SHOWN FOR CLARITY.
PROPOSED SEQUENCE:
1. SAWCUT AT REMOVE DUR-O-WALL PER DETAIL 2/R104.
2. SLOT BRICK (2) COURSES TO RECEIVE BAR.
3. INSTALL NEW SHELF ANGLE WITH EPOXY ANCHORS.
4. INSTALL NEW NEAR SURFACE MOUNTED CFRP HORIZONTAL REINFORCEMENT. REFER TO DRAWINGS S101 FOR LAYOUT. REFER TO DETAIL B FOR SLOT DIMENSIONS.
5. INSTALL NEW NEAR SURFACE MOUNTED CFRP VERTICAL REINFORCEMENT. REFER TO DRAWINGS S101 FOR LAYOUT. REFER TO DETAIL B FOR SLOT DIMENSIONS.
6. INSTALL NEW WINDOWS AND ASSOCIATED FLASHING.
7. INSTALL NEW BRICK COATING (TBD) FOLLOWING EXTERIOR MASONRY REPAIRS.



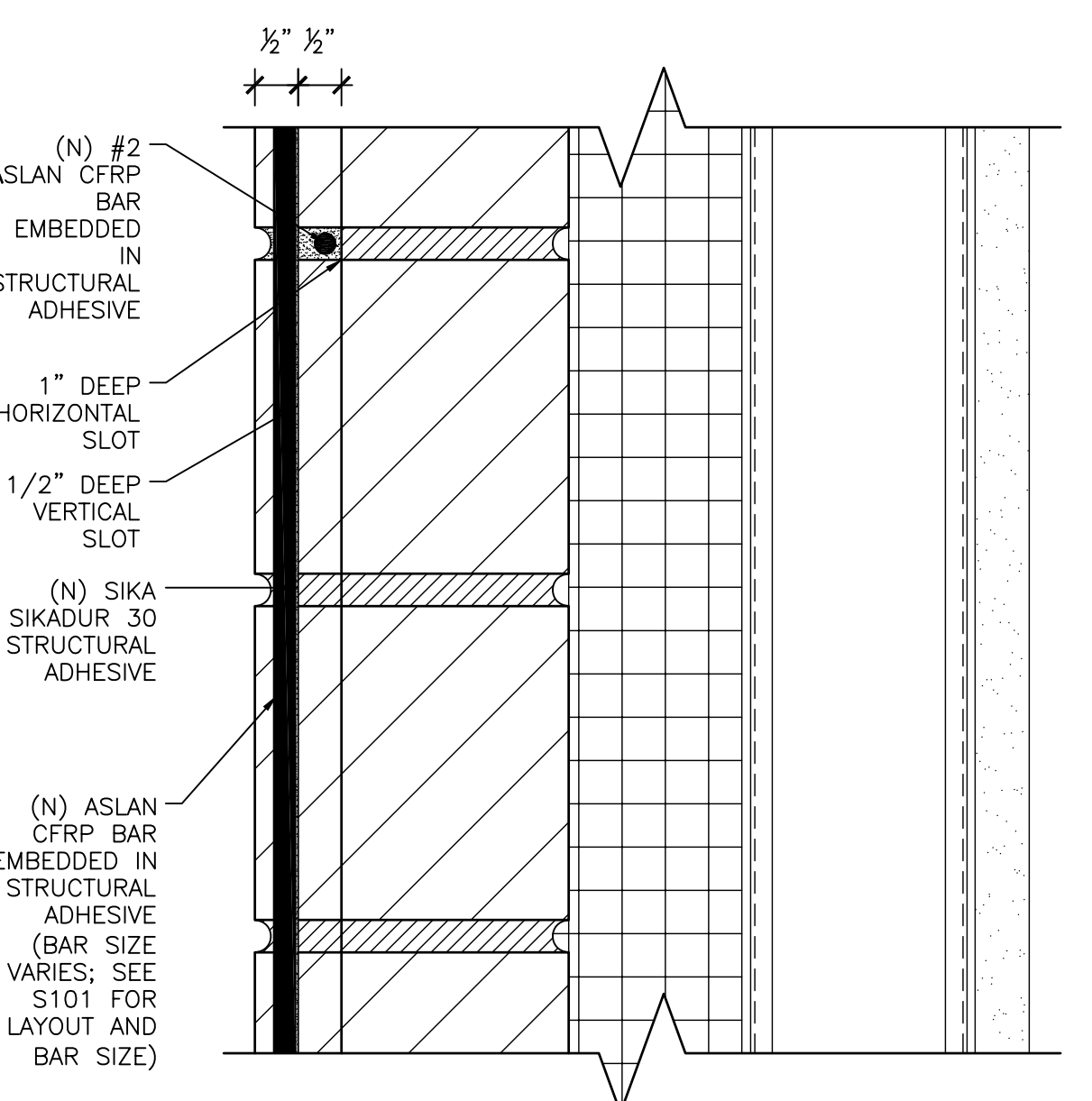
A1 EXISTING CONDITION
SCALE: 3" = 1'-0"

NOTES:
1. REMOVE (1) COURSE OF EXISTING BRICK BETWEEN DOUBLE SEALANT JOINTS AT EACH FLOOR SLAB ELEVATION. SEE ELEVATION DRAWINGS FOR LOCATIONS.
2. REMOVE BRICK IN (2) PHASES AS SHOWN ON ELEVATION DRAWINGS R100-R103. SHORE BRICK PANELS AS REQUIRED BY J-BOLT DETERIORATION ENCOUNTERED.



A2 NEW BRICK SUPPORT SHELF
SCALE: 3" = 1'-0"

NOTES:
1. REMOVE 1 COURSE OF EXISTING BRICK BETWEEN DOUBLE SEALANT JOINTS.
2. INSTALL NEW SHOP EPOXY PAINT COATED ANGLE WITH EPOXY BOLTS IN EXPOSED FACE OF SLAB.
3. INSTALL NEW STAINLESS STEEL FLASHING AND SELF ADHESIVE FLEXIBLE MEMBRANE COUNTER FLASHING. INSTALL SEALANT AT TIP OF VERTICAL ANGLE TOE.
4. INSTALL NEW BACKER ROD AND SEALANT.
5. TYPICAL FASTENER LOCATION AT UNDAMAGED PLUMB FACE OF CONCRETE FLOOR SLAB. AT DAMAGED SLAB AREAS - EPOXY FASTENER INSTALLATION MAY REQUIRE LOCATION AT EMBEDDED STEEL ANGLE. PROVIDE PRICING FOR DRILLING HOLES IN STEEL ANGLES.



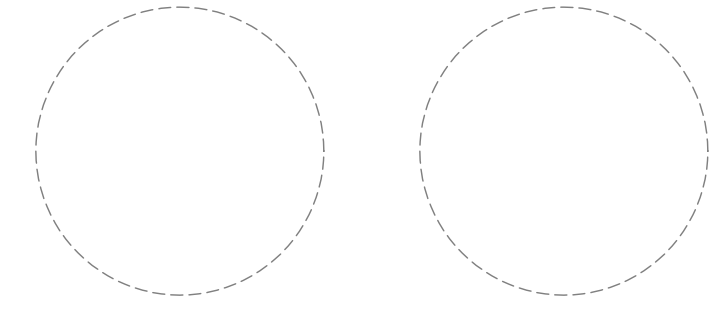
B NEAR SURFACE REINFORCEMENT
SCALE: 6" = 1'-0"

NOTES:
1. THE WIDTH OF THE SLOTS CUT INTO THE BRICK TO ACCEPT THE CFRP BARS SHALL BE 1.5 TIMES THE BAR DIAMETER
2. SLOT SHALL BE THOROUGHLY CLEANED USING A VACUUM AND/OR COMPRESSED AIR

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.

EGRESS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION

ISSUED FOR PERMIT 7 JULY 2006



Consultants

Project
**PROMENADE
EAST
CONDOMINIUMS
FACADE REPAIRS**
340 EASTERN
PROMENADE
PORTLAND, MAINE 04101

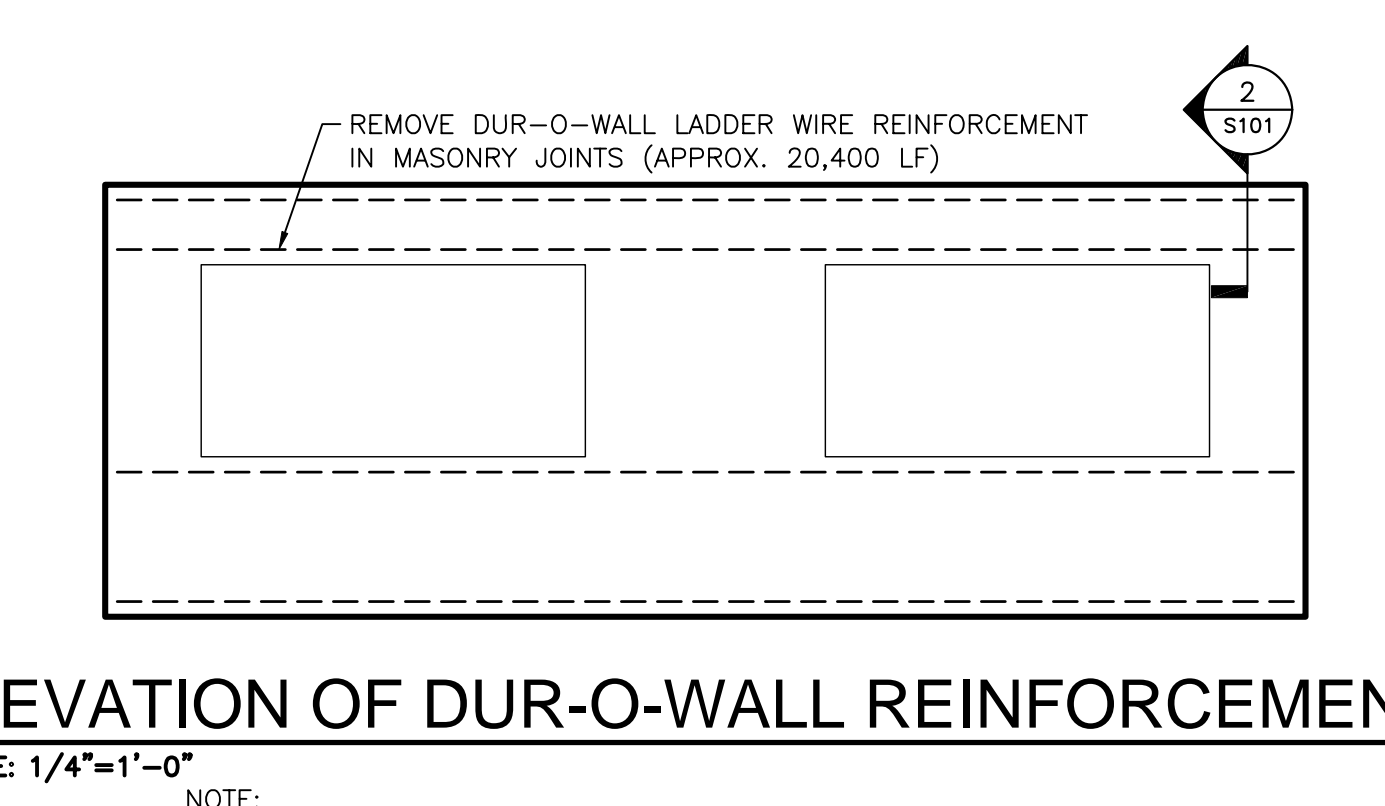
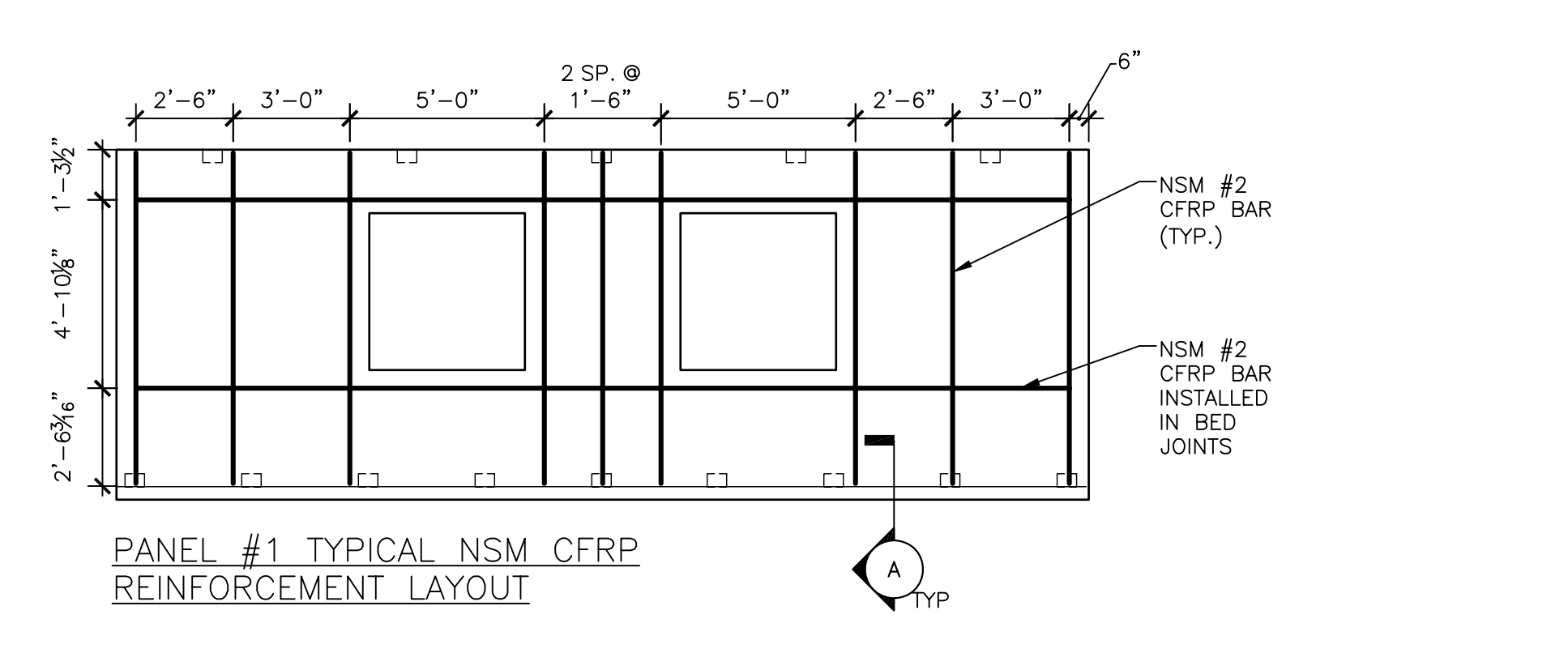
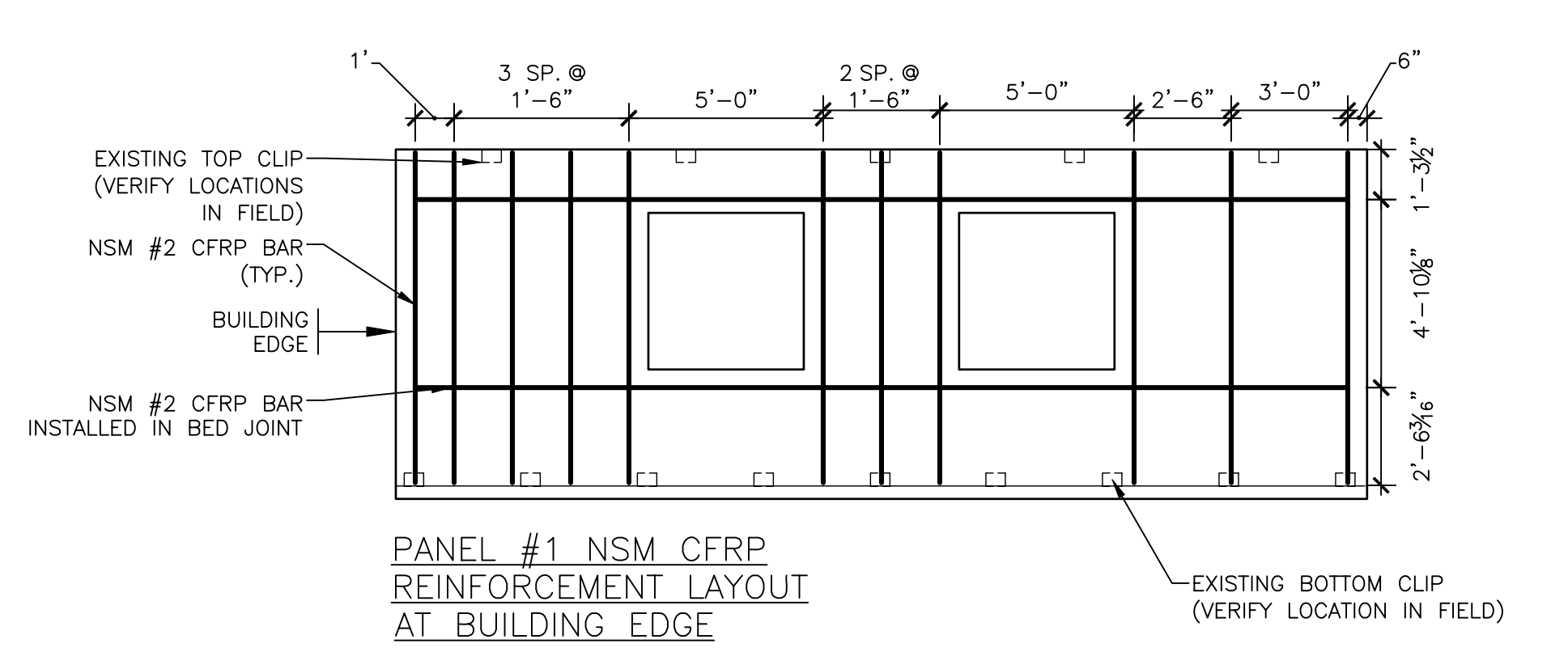
Client
**Promenade East
Condominium
Association**
340 EASTERN
PROMENADE
PORTLAND, MAINE 04101

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7/7/2006	ISSUED FOR PERMIT	
Mark	Date	Description

Project No.	2004.3899.2
Date	1 JUNE 2006
Drawn	DAS/EKF
Checked	LMG
Scale	NTS

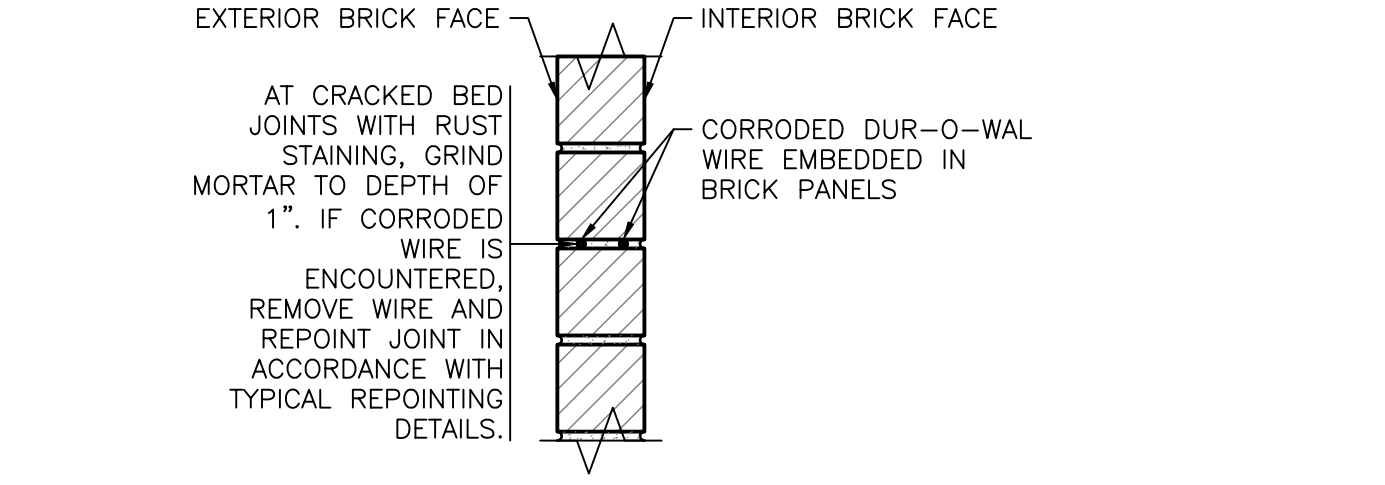
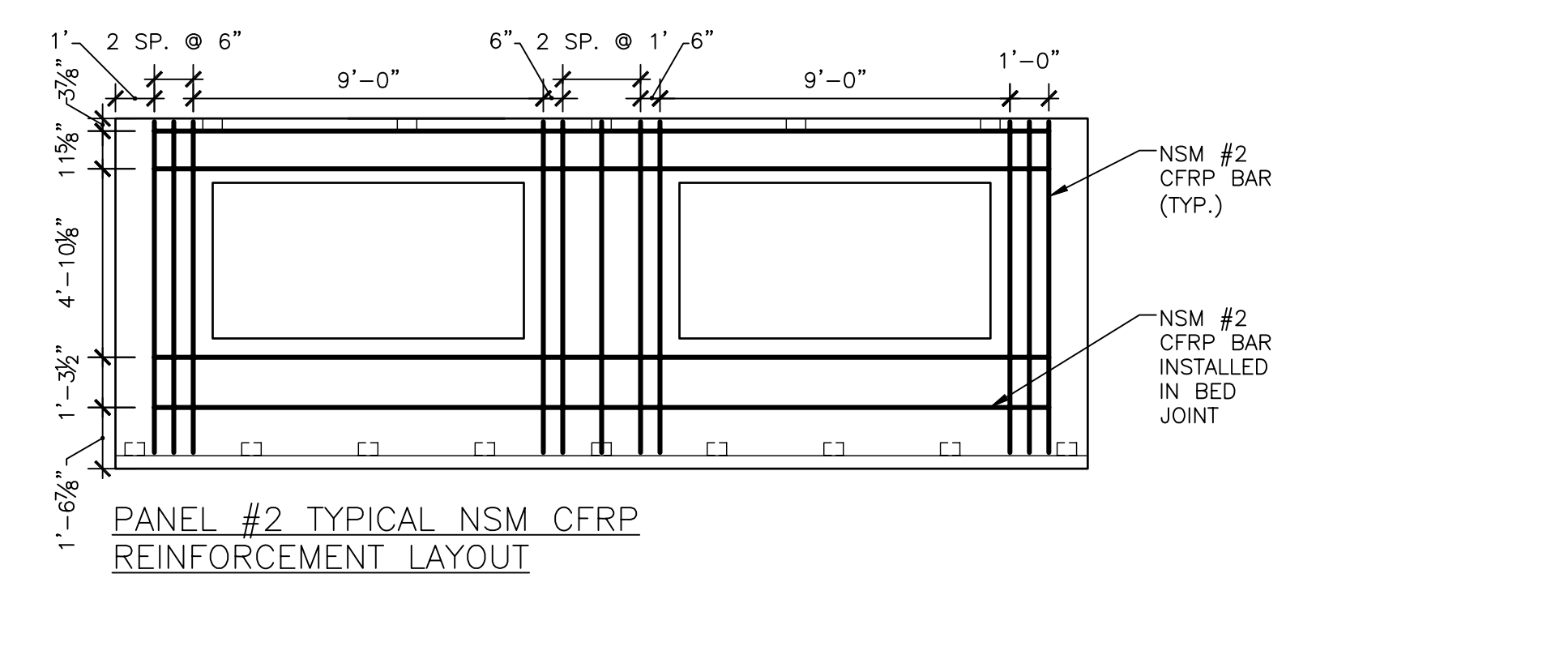
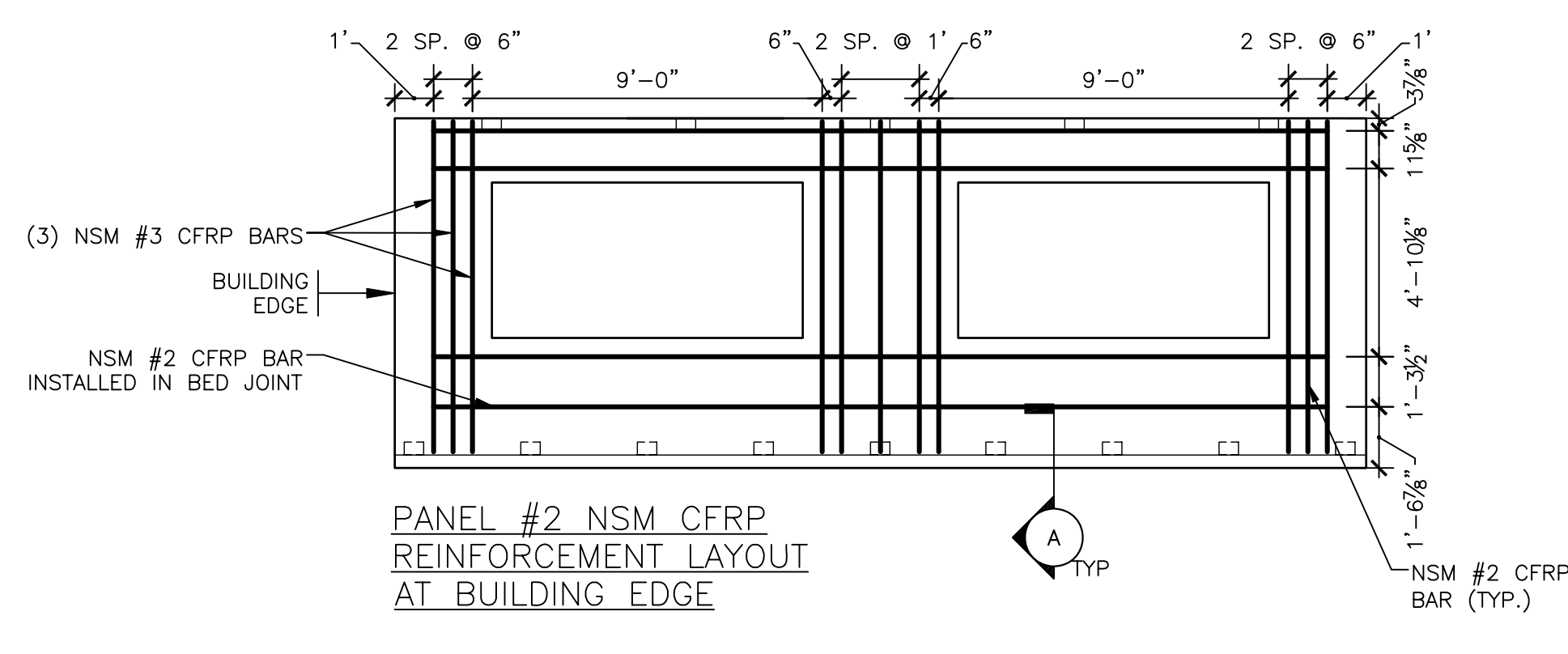
**NSM CFRP
REINFORCEMENT
LAYOUT**

Sheet Title
S101
Sheet No.



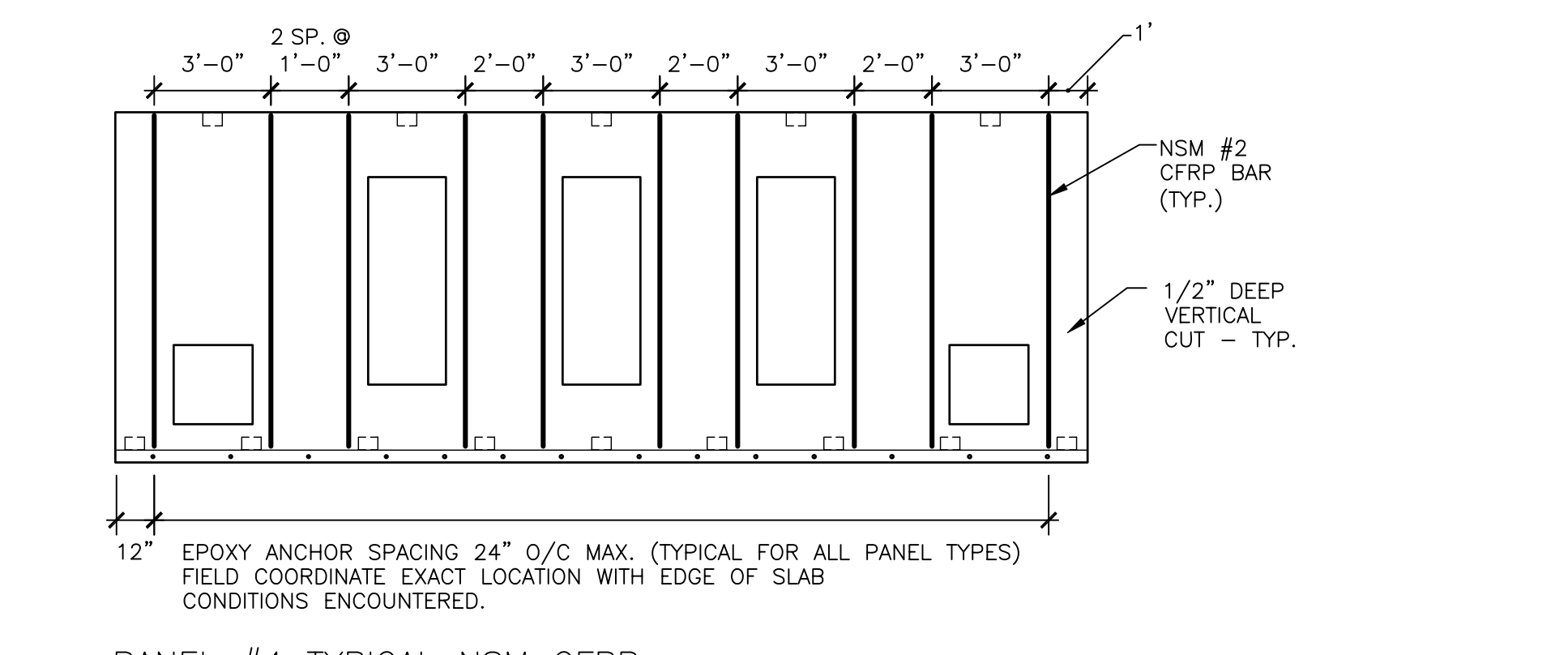
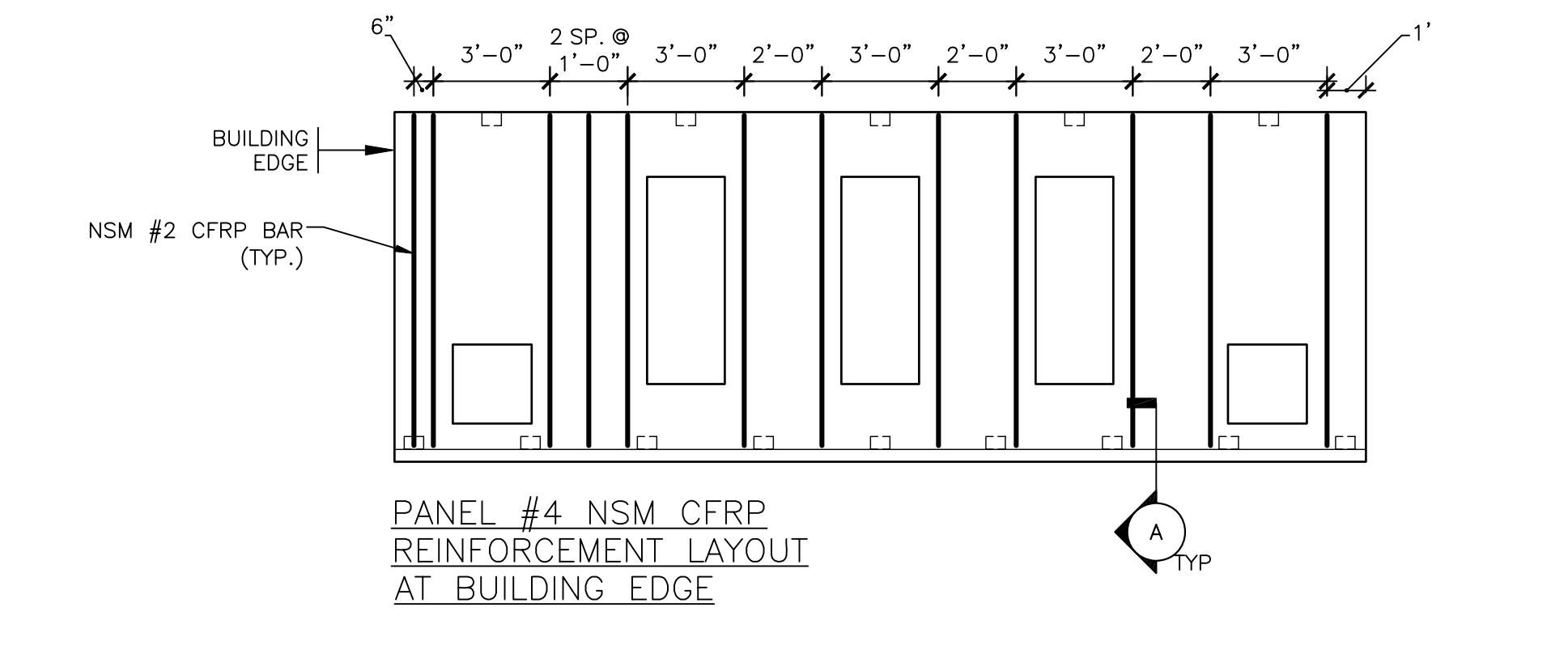
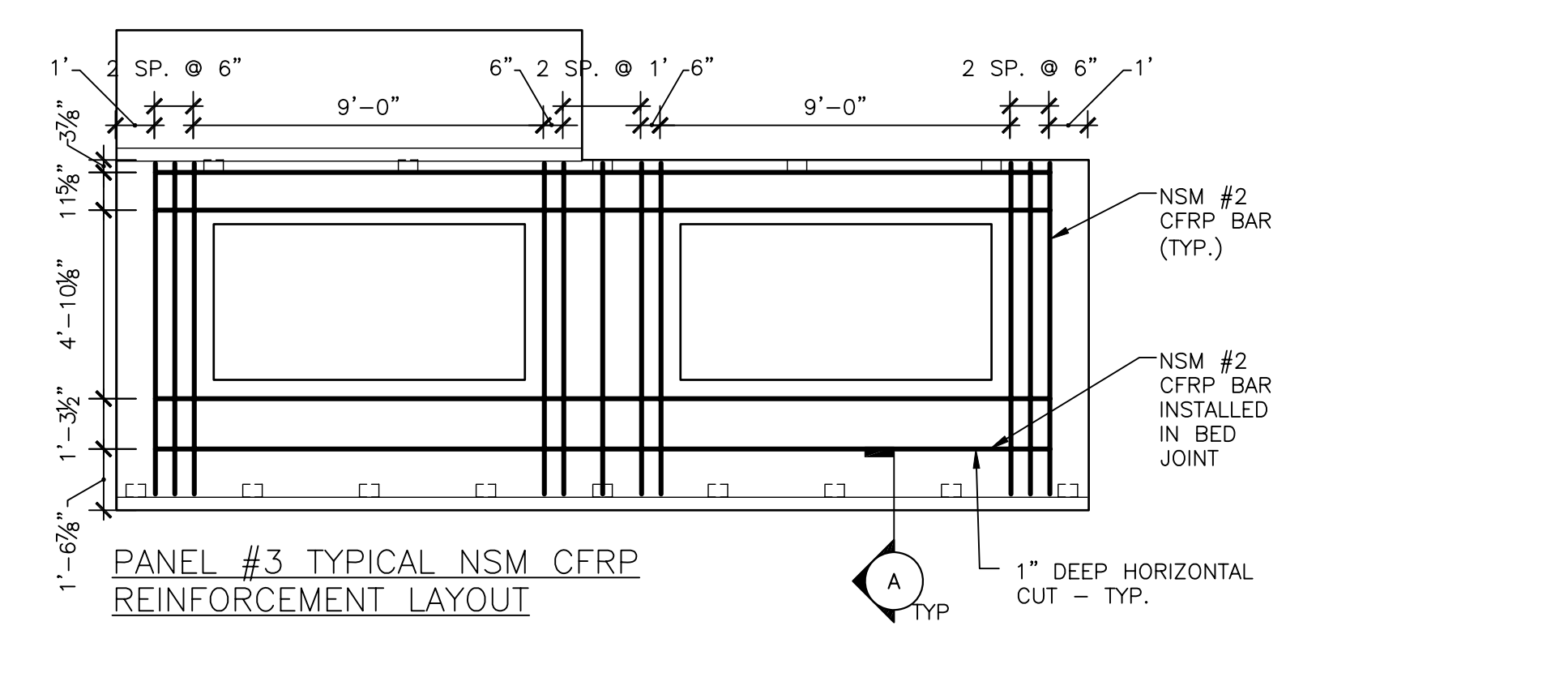
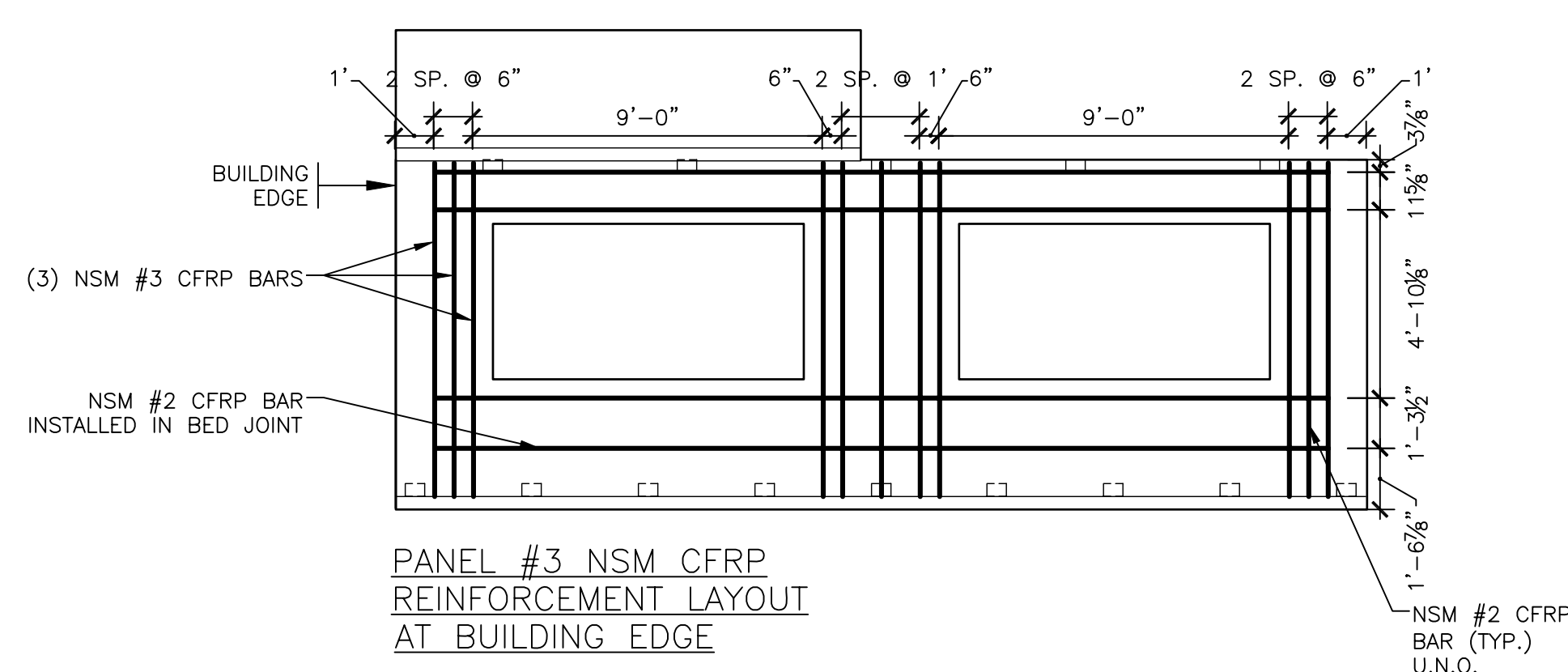
ELEVATION OF DUR-O-WALL REINFORCEMENT

SCALE: 1/4"=1'-0"
NOTE:
FOR BIDDING, ASSUME 10,000 LF OF BED JOINT REPOINTING AT LADDER WIRE LOCATIONS.



REPOINTING DETAIL AT CRACKED HORIZONTAL MORTAR JOINTS

SCALE: 1-1/2"=1'-0"



1 NSM CFRP REINFORCEMENT LAYOUT

SCALE: 1/4" = 1'-0"

- NOTES**
- THESE DRAWINGS ARE INTENDED TO PROVIDE TYPICAL CFRP BAR SIZES AND LOCATIONS ONLY. THESE DRAWINGS DO NOT TAKE THE PLACE OF SHOP DRAWINGS. CONTRACTOR SHALL PREPARE SHOP DRAWINGS.
 - LAYOUT SYMMETRIC FOR PANELS WITH BUILDING EDGE ON OPPOSITE SIDE OF WALL PANEL.
 - MINIMUM GUARANTEED CFRP STIFFNESS 18.0X10⁶ PSI AND 1.7% RUPTURE STRAIN.

- MASONRY PREPARATION NOTES**
- 1/2" DEEP VERTICAL SLOTS TO RECEIVE VERTICAL BARS - TYP.
 - 1" DEEP SLOTS TO RECEIVE HORIZONTAL BARS - TYP.
 - 1" DEEP CUT AT EXISTING DURAWALL.

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