

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

DO WELL-DO GOOD LLC /Cornerstone Building &
Restoration

PERMIT ID: 2013-00175

Located at

10 HOWARD ST

CBL: 014 F016001

has permission to **Restoration/ Renovation Duplex to Single Family Home**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise clsoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

JR 3/1/13

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

PERMIT ID: 2013-00175

Located at: 10 HOWARD ST

CBL: 014 F016001

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00175	Issue Date:	CBL: 014 F016001
--------------------------	-------------	---------------------

Location of Construction: 10 HOWARD ST	Owner Name: DO WELL-DO GOOD LLC	Owner Address: 10 HOWARD ST PORTLAND, ME 04101	Phone:
Business Name:	Contractor Name: Cornerstone Building & Restoration	Contractor Address: 44 Coyle Street Portland ME 04101	Phone (207) 775-9085
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	Zone: R6
Past Use: Duplex	Proposed Use: Single Family Home	Permit Fee: \$575.00	Cost of Work: \$47,500.00
Proposed Project Description: Restoration/ Renovation Duplex to Single Family Home		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A <i>w/conditions</i> Signature: <i>Capt. Patone</i>	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC, 2009</i> <i>(MDOEC)</i> Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: LDOBSON	Date Applied For: 01/28/2013	Zoning Approval
-----------------------------	---------------------------------	------------------------

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied</p> <p><i>ok with conditions</i> Date: <i>1/29/13</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
---	---	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

2013-00175


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 10 Howard Street, Portland Maine		
Total Square Footage of Proposed Structure/Area 2,600 sf (actual) (1,972 sf per Assessor)		Square Footage of Lot 3,198 sf (actual) (3,218 sf per Assessor)
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 014 F0 16001	Applicant *must be owner, Lessee or Buyer* Name DO WELL -DO GOOD LLC Address 100 Congress Street City, State & Zip Portland, ME 04101	Telephone: 207-939-0185
Lessee/DBA (If Applicable) NA RECEIVED JAN 28 2013 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name NA Address City, State & Zip	Cost Of Work: \$ \$47,500.00 C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Two-Family</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: Restoration/renovation of existing house, currently a two-family, to restore building to original use as single family. No additions or changes to exterior or. to building structure. Work is more restoration than renovation.		
Contractor's name: <u>Cornerstone Building & Restoration</u> Address: <u>44 Coyle Street</u> City, State & Zip <u>Portland ME 04101</u> Telephone: <u>207-939-0185</u> Who should we contact when the permit is ready: <u>Tom Landry</u> Telephone: <u>207-939-0185</u> Mailing address: <u>100 Congress Street, Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 1-28-13

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer: Reiter Architecture & Design
 Date: January 21, 2013
 Job Name: 10 Howard Street
 Address of Construction: 10 Howard Street, Portland, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year NA / 1879 Use Group Classification (s) Residential (R3)
 Type of Construction "Old Style" per Assessor (Wood frame)
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No
 Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) NA

Structural Design Calculations NA (no change to structure)

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
 _____ Basic wind speed (1809.3)
 _____ Building category and wind importance Factor, I_w
 table 1604.5, 1609.5)
 _____ Wind exposure category (1609.4)
 _____ Internal pressure coefficient (ASCE 7)
 _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
 _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
 _____ Seismic use group ("Category")
 _____ Spectral response coefficients, S_D s & S_{D1} (1615.1)
 _____ Site class (1615.1.5)

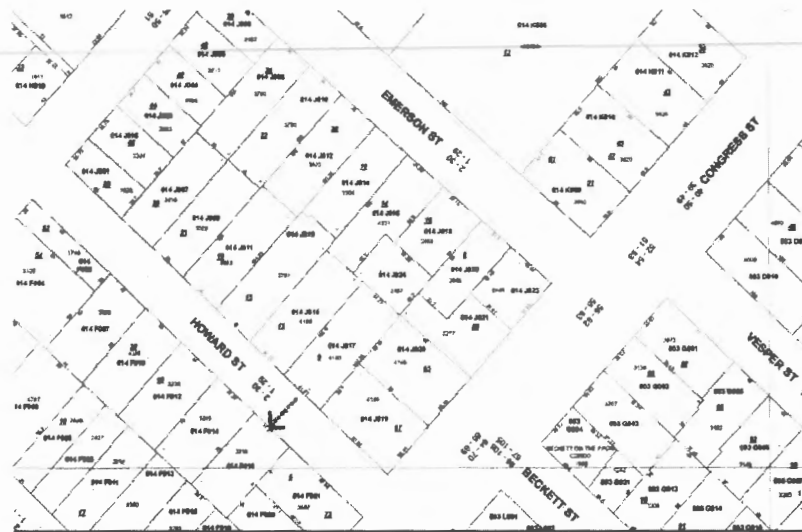
_____ Live load reduction
 _____ Roof *live* loads (1603.1.2, 1607.11)
 _____ Roof snow loads (1603.7.3, 1608)
 _____ Ground snow load, P_g (1608.2)
 _____ If $P_g > 1$ psf, flat roof snow load, I_f
 _____ If $P_g > 10$ psf, snow exposure factor, C_e
 _____ If $P_g > 10$ psf, snow load importance factor, I_s
 _____ Roof thermal factor, C_t (1608.4)
 _____ Sloped roof snowload, P_s (1608.4)
 _____ Seismic design category (1616.3)
 _____ Basic seismic force resisting system (1617.6.2)
 _____ Response modification coefficient, R_f and
 deflection amplification factor, C_d (1617.6.2)
 _____ Analysis procedure (1616.6, 1617.5)
 _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

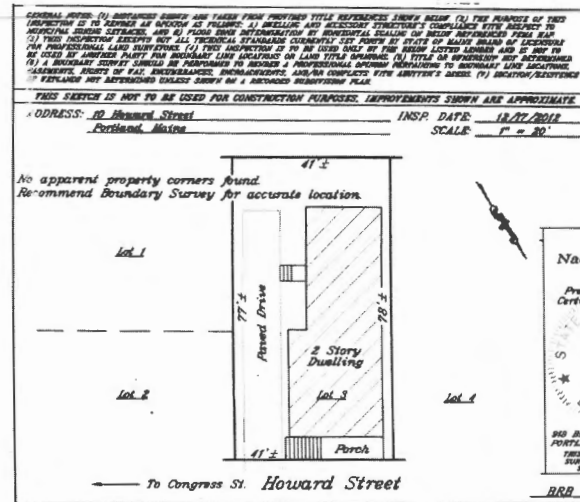
_____ Flood Hazard area (1612.3)
 _____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
 _____ Partition loads (1607.5)
 _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)



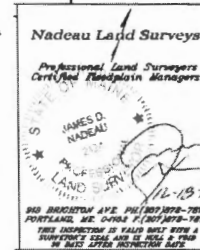
PORTLAND TAX ASSESSOR'S PLAN showing 10 Howard Street, Portland, Maine



PROPERTY PLAN / Note: This is not a Boundary Survey/ not for recording

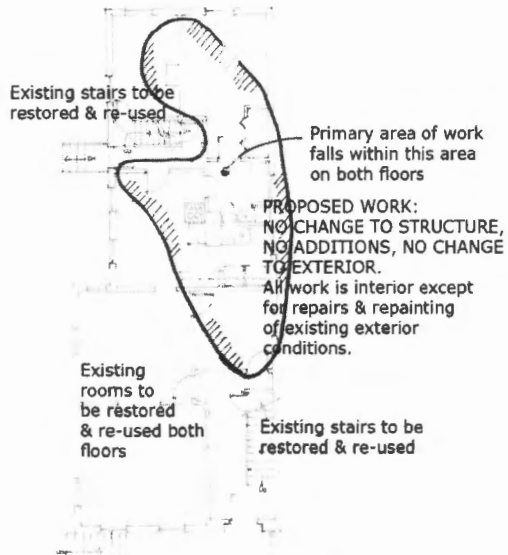
Proposed Renovations @ 10 Howard Street Portland, ME January 21, 2013

Reiter Architecture & Design
PO Box 275 Brooklin, ME 04616
207-359.2300 / laurenjreiter@yahoo.com






GENERAL NOTES:

1. Permits must be obtained for all aspects of the work, including but not limited to: General Building, Plumbing, HVAC & Electrical work.
2. All work must conform to local, State and/or Federal codes as applicable and as having jurisdiction.
3. This renovation shall restore this building to a single-family residence from a two-family residence.
4. All work must be done in good workmanlike manner.
5. Protect all areas not called to receive new work and/or to remain. Damage to any existing portion of the house or property that is called to remain is to be repaired to be in equal or superior condition.
6. Protect building interior from weather at all times.
7. Contractor to verify all dimensions and existing conditions and to alert Architect of any conditions which conflict with proposed work.
8. Remove any items not specifically called to be removed which conflict with new work.
9. Monitor all areas of demolition to ensure no loss of structural integrity. Identify to architect any items which appear to be in conflict with new work that present a problem in removing.
10. All new interior walls to be 2x4 wood studs with painted 5/8" gyp.bd. both sides U.O.N. Use water proof gyp. bd. at all wet areas.
11. All new walls, ceilings, doors, windows and trim to be painted U.O.N, minimum one coat primer, two finish coats. Provide minimum two coats of paint at existing walls, windows, doors and other interior surfaces called to remain.
12. Provide new interior base, trim and door trim at all new areas to match existing. Where new materials meet existing, tie materials together for minimal joints and seamless appearance. Where existing sections of base, trim or similar materials are too small to be stable, replace entire section(s).
13. Salvage all interior doors for potential re-use.
14. All interior lighting fixtures shall be new. Allow 3-way switching at rooms with 2 or more entrances.
15. Coordinate all electrical outlets and other requirements with new appliances. All kitchen and bathroom electrical outlets to be GFI.



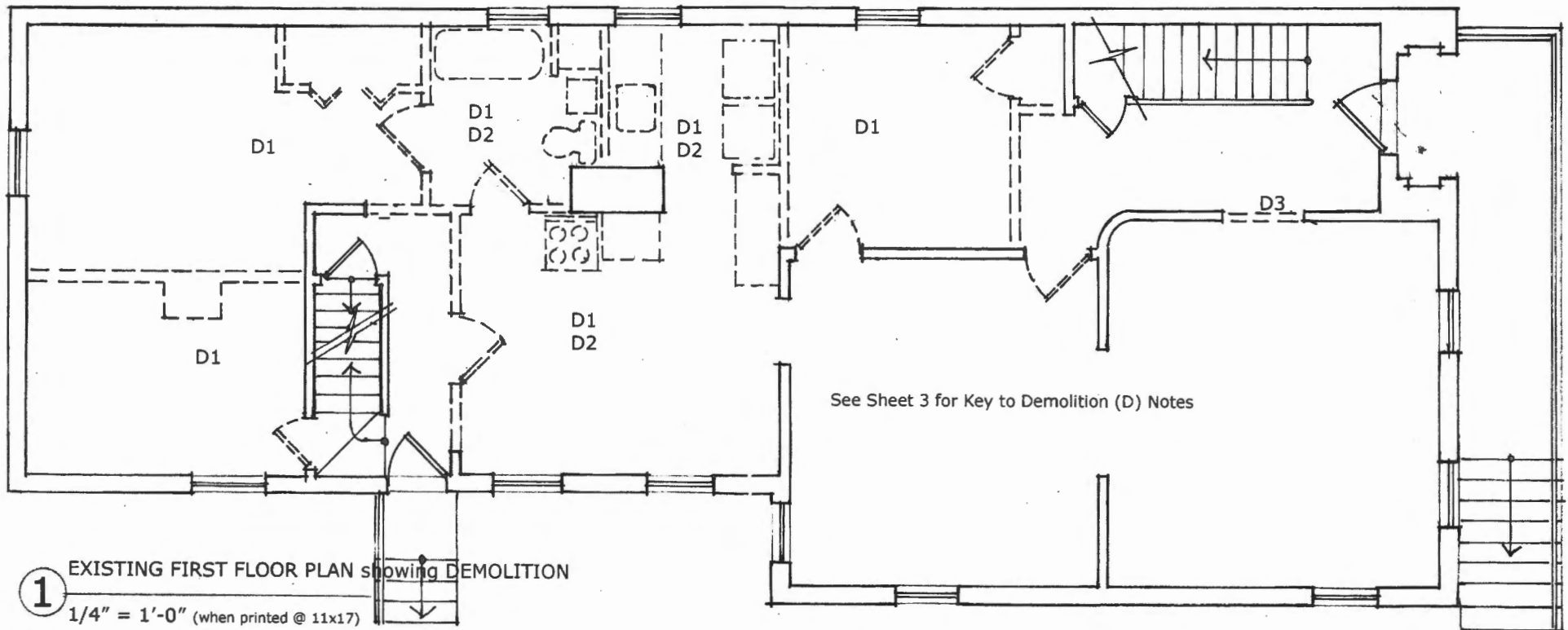
CONCEPT SCOPE of WORK diagram, showing 1st Floor not to scale

LEGEND of SYMBOLS for Sheets 2-5

-  Existing walls and/or doors to remain
-  Existing walls and/or doors to be removed. Save doors for potential re-use.
-  New walls and/or doors. Walls to be 5/8" gyp. bd. each side on 2x4 wood studs @ 16" OC, U.O.N. Use WR gyp. @ kitchen & bathrooms. Door size as noted.

Proposed Renovations
 @ 10 Howard Street
 Portland, ME Jan. 21, 2013

Reiter Architecture & Design
 PO Box 275 Brooklin, ME 04616
 207-359.2300 / laurenjreiter@yahoo.com



RECEIVED

FEB 21 2013

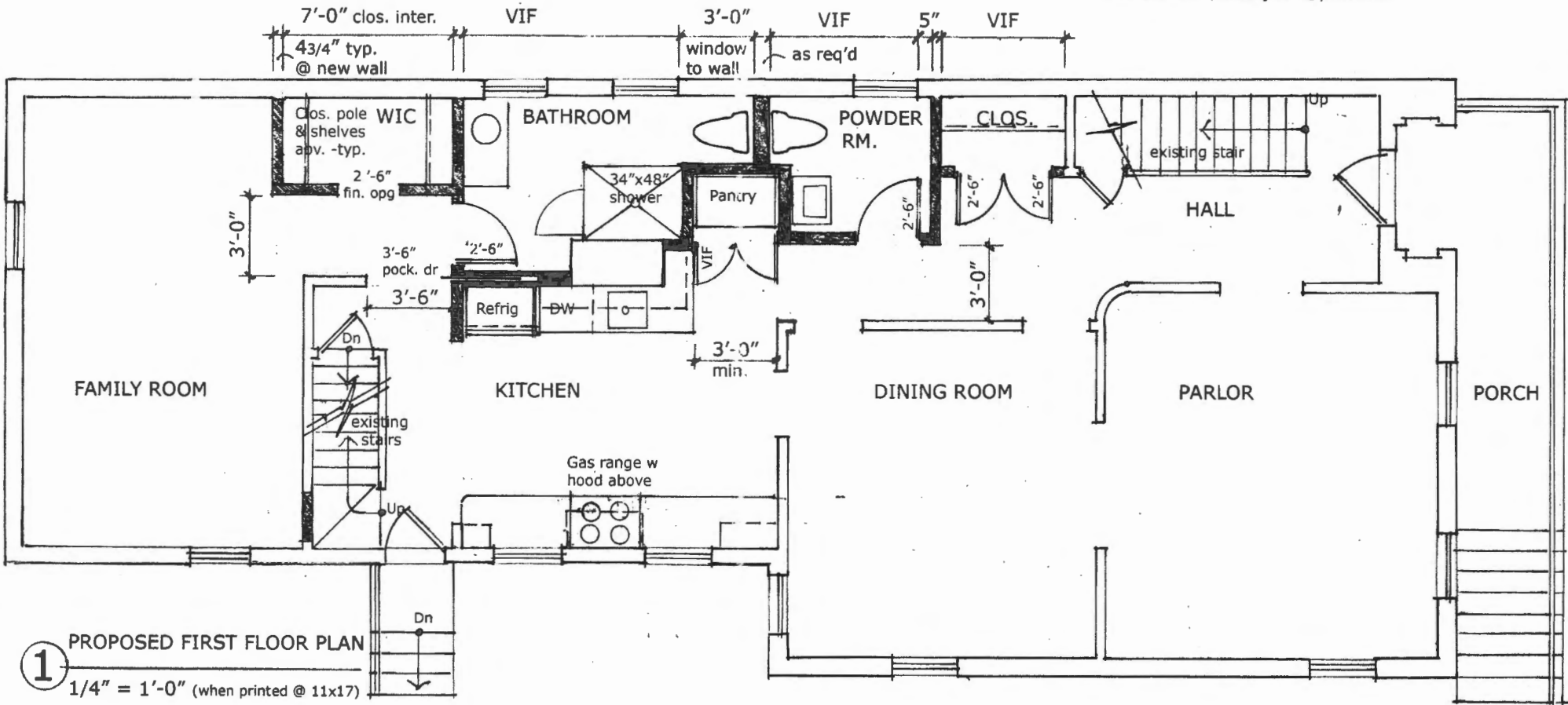
Dept. of Building Inspections
City of Portland Maine

Note: All new doors: size as noted. All doors to be min. 6'-8" high.

Proposed Renovations
@ 10 Howard Street
Portland, ME Jan. 21, 2013

Reiter Architecture & Design

PO Box 275 Brooklin, ME 04616
207-359.2300 / laurenjreiter@yahoo.com



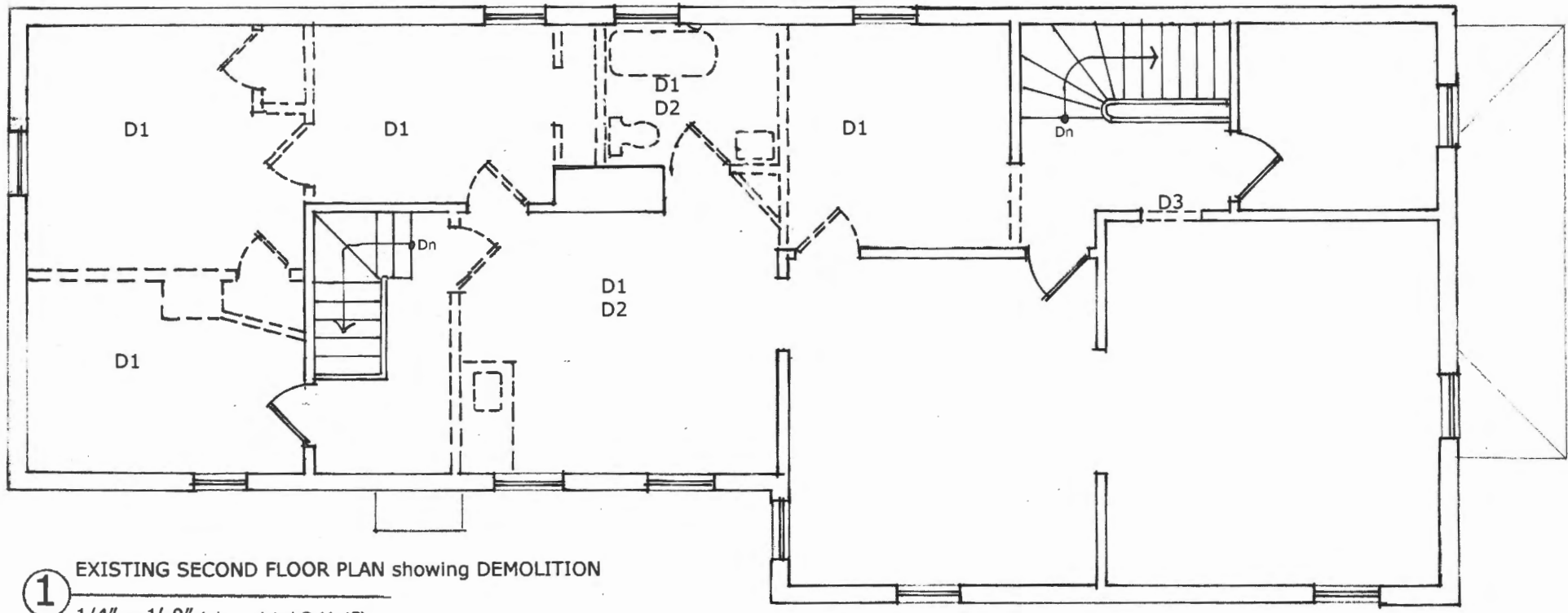
First Floor Plan/Proposed
Sheet 4 of 5

Proposed Renovations
@ 10 Howard Street
Portland, ME Jan. 21, 2013

Reiter Architecture & Design
PO Box 275 Brooklin, ME 04616
207-359.2300 / laurenreiter@yahoo.com

KEY to DEMOLITION NOTES

- D1 Remove walls & doors shown in dotted lines: remove related accessories & finishes. Provide shoring as/if req'd. Remove finish floor if not scheduled to remain. Protect adjacent walls, windows, finishes, etc. called to remain.
- D2 Remove plumbing fixtures, appliances and/or equipment. Remove cabinet work.
- D3 Remove infilled wall at original door opening; restore or replace original trim around opening.

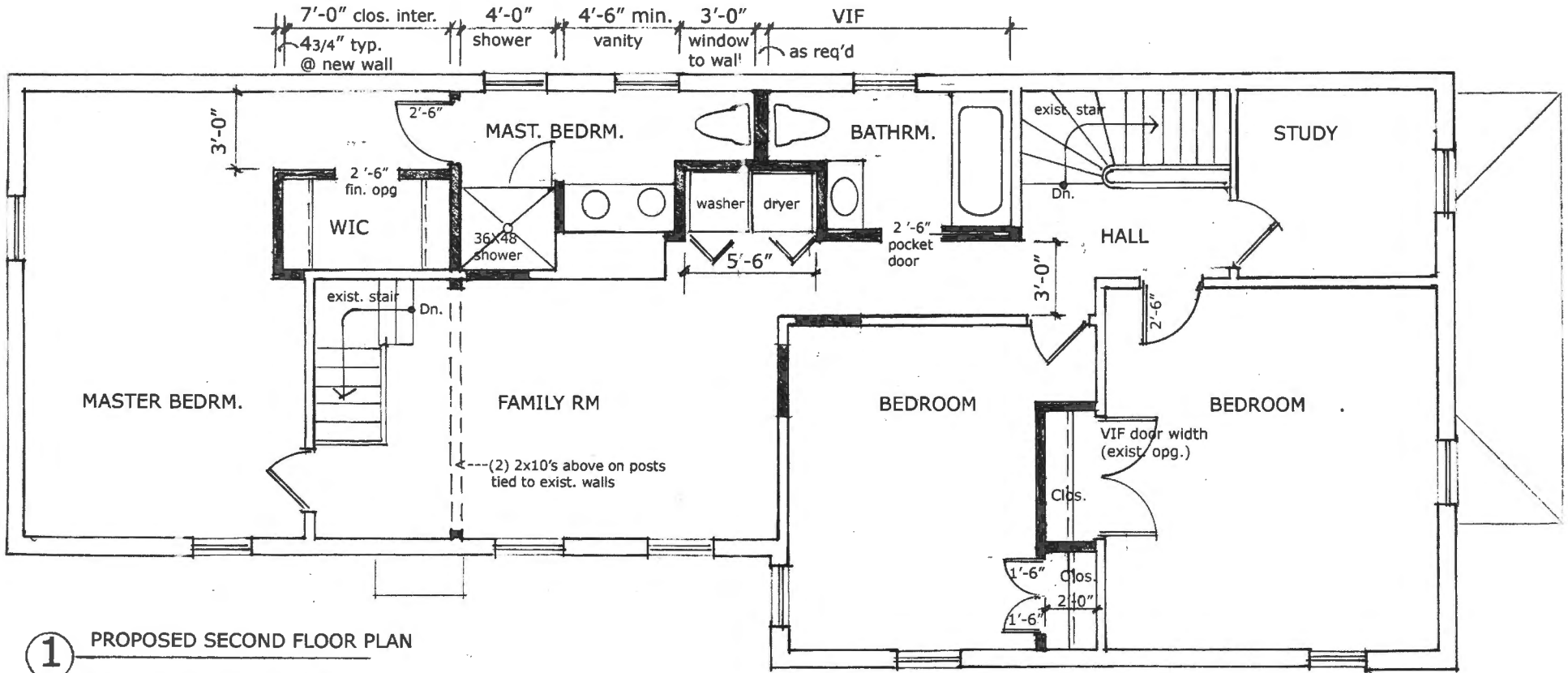


1 EXISTING SECOND FLOOR PLAN showing DEMOLITION
1/4" = 1'-0" (when printed @ 11x17)

RECEIVED
 FEB 21 2013
 Dept. of Building Inspections
 City of Portland Maine

Proposed Renovations
 @ 10 Howard Street
 Portland, ME Jan. 21, 2013

Reiter Architecture & Design
 PO Box 275 Brooklin, ME 04616
 207-359.2300 / laurenjreiter@yahoo.com



1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0" (when printed @ 11x17)




Accessibility Building Code Certificate

Designer: Reiter Archtitecture & Design

Address of Project: 10 Howard Street, Portland ME

Nature of Project: Restoration/Renovations to Two Family Residence to restore building to Singe Family. NO change to structure or exterior.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: 

Title: Principal

Firm: Reiter Aqrchitecture & Design

Address: PO Box 275
Brooklin, ME 04616

Phone: 207-359-2300

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: January 21, 2013

From: Reiter Architecture & Design

These plans and / or specifications covering construction work on:

10 Howard Street, Portland, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

Title: Principal

Firm: Reiter Architecture & Design

Address: PO Box 275
Brooklin, ME 04616

Phone: 207-359-2300

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details NA - no change to existing structure
- Detail of any new walls or permanent partitions See description /Symbol Legend - Sheet2
- Floor plans and elevations Plans (Demo & Proposed) shown Sheets 2-5
- Window and door schedules All windows & many doors are existing. New doors noted on plans.
- Complete electrical and plumbing layout. Noted on plans.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review NA (only exist. boiler to be replaced)
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003 NA (no change)
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant. NA for single-family resid.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including: See survey Sheet 1

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet: **See below.**

- Name, address and phone number of applicant **and** the project architect. **As noted on this Application**
- Proposed use of structure (NFPA and IBC classification) **Single Family Residence; NFPA 1-Family D.U.**
- Square footage of proposed structure (total and per story) **2,600 sf (1,300 sf/floor) /IBC R3**
- Existing and proposed fire protection of structure. **NA for existing residential building/minor renovations.**
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required) **NA for existing residential building/minor renovations.**
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers **LS Plan: NA for existing single family residential building/minor renovations. Fire extinguishers to be located in kitchen (1st Floor), & one each in Basement & 2nd Floor. Smoke Detectors shall be located in all sleeping rooms, in hall directly outside bedrooms, and min. one on each level including 1st Floor and Basement.**
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher **NA (no elevator)**

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

From: David Cleaves <dcleaves74@yahoo.com>
To: "jrioux@portlandmaine.gov" <jrioux@portlandmaine.gov>
Date: 2/22/2013 3:24 PM
Subject: 10 Howard

Hi Jon

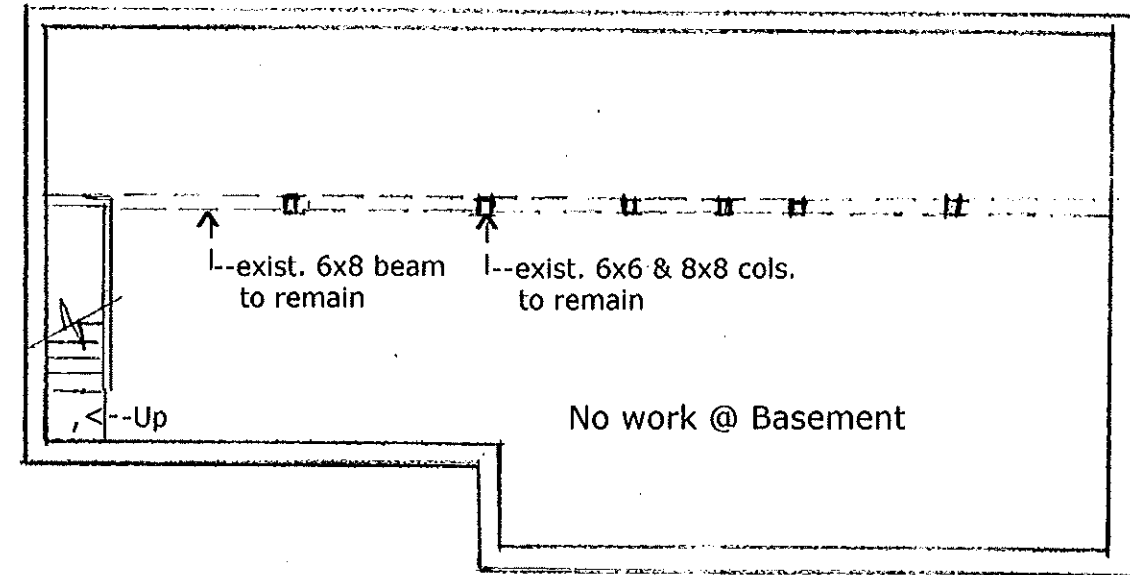
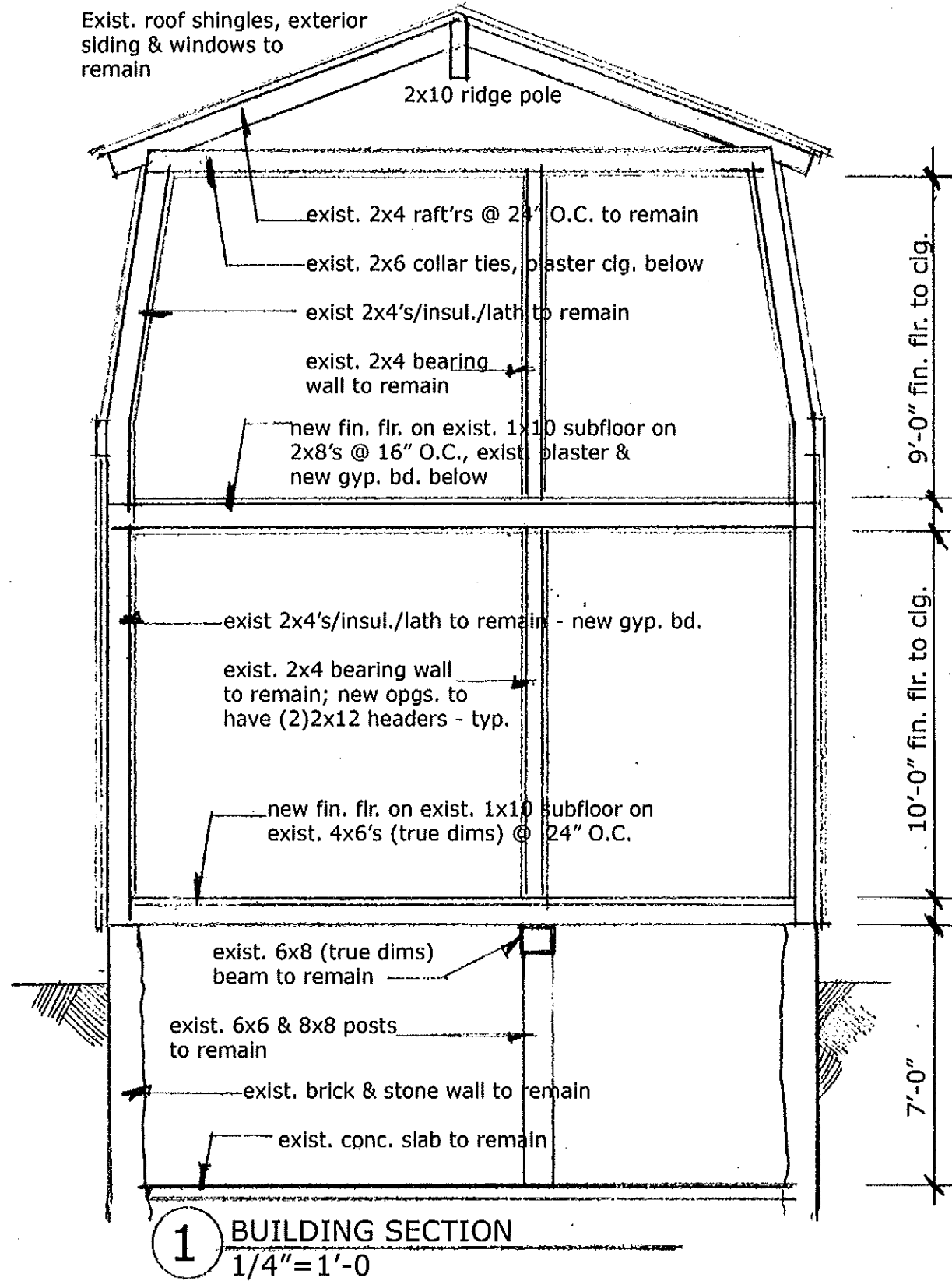
Thanks for looking at this for me the sq ft is 1927 sq ft and we are demoing 800 sq ft we will be adding smoke detectors as well. Do you think we can start demo Monday?

Thanks

Dave

Proposed Renovations @ 10 Howard Street Portland, ME Jan. 21, 2013

Reiter Architecture & Design
PO Box 275 Brooklin, ME 04616
207-359.2300 / laurenjreiter@yahoo.com



2 BASEMENT PLAN
1/8" = 1'-0"

RECEIVED

FEB 21 2013

Dept. of Building Inspections
City of Portland Maine

Building Section & Bsmt. Plan
Sheet 6 of 6