

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 101070

PERMIT ISSUED

This is to certify that Trevor L. Coyne & Joseph P. DiGrossi, Jr. Design

has permission to Change and rebuild front and side entry / porches on main unit # 101.

AT 125 Morning St City of Portland 014 N018001 SEP 29 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2. HOOR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CHIEF R. Sautreau

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1070	Issue Date:	CBL: 014 N018001
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Location of Construction: 125 Morning St	Owner Name: Trevor L. Coyne & Joseph P. Piergr	Owner Address: 125 Morning Street	Phone:
Business Name:	Contractor Name: Quality Design	Contractor Address: 5 Depot Rd. Gray	Phone: 2077561724
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: RL

Past Use: Commercial / Multi Units (6)	Proposed Use: Multi Units / Change and rebuild front and side entry / porches only on unit # 125	Permit Fee: \$60.00	Cost of Work: \$4,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: R-2 Type: 5B IBC, 2003	

Proposed Project Description: Change and rebuild front and side entry / porches only on unit # 125.	Signature: <i>(KG)</i>	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 08/30/2010	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/condition</i></p> <p>Date: <i>9/2/10 ABN</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABN</i></p> <p>Date:</p>
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PERMIT ISSUED

SEP 29 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1070	Date Applied For: 08/30/2010	CBL: 014 N018001
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Location of Construction: 125 Morning St	Owner Name: Trevor L. Coyne & Joseph P. Piergr	Owner Address: 125 Morning Street	Phone:
Business Name:	Contractor Name: Quality Design	Contractor Address: 5 Depot Rd. Gray	Phone: (207) 756-1724
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Units / Change and rebuild front and side entry / porches only on unit # 125	Proposed Project Description: Change and rebuild front and side entry / porches only on unit # 125.
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Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 09/02/2010

Note: The footprint of the front porch is slightly bigger but it will bring it up to code. Ok to Issue:

- 1) This property shall remain a six family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jonathan Rioux Approval Date: 09/29/2010

Note: Ok to Issue:

- 1) Front entrance stairs okay under Sec. 3403.4 "Rebuild of existing stairs".
- 2) Fastener schedule per the IBC 2003
- 3) The existing porch roof(s) shall be inspected for adequate fasteners and bearing for spans, and modifications may be required
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gautreau Approval Date: 09/08/2010

Note: Ok to Issue:

- 1) Stairs must comply with the building code. (rise, run, guards, railings)
- 2) No means of egress shall be affected by this renovation
- 3) The entire structure shall comply with Chapter 10 of the Portland City Code for "Existing Apartments." Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 4) All construction shall comply with City Code Chapter 10.

Comments:

9/27/2010-jrioux: Called Contractor for framing detail.

9/29/2010-jrioux: Met with Owner and Contractor, framing detail was sketched out; site inspection will verify frost protection and existing framing about new porches.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

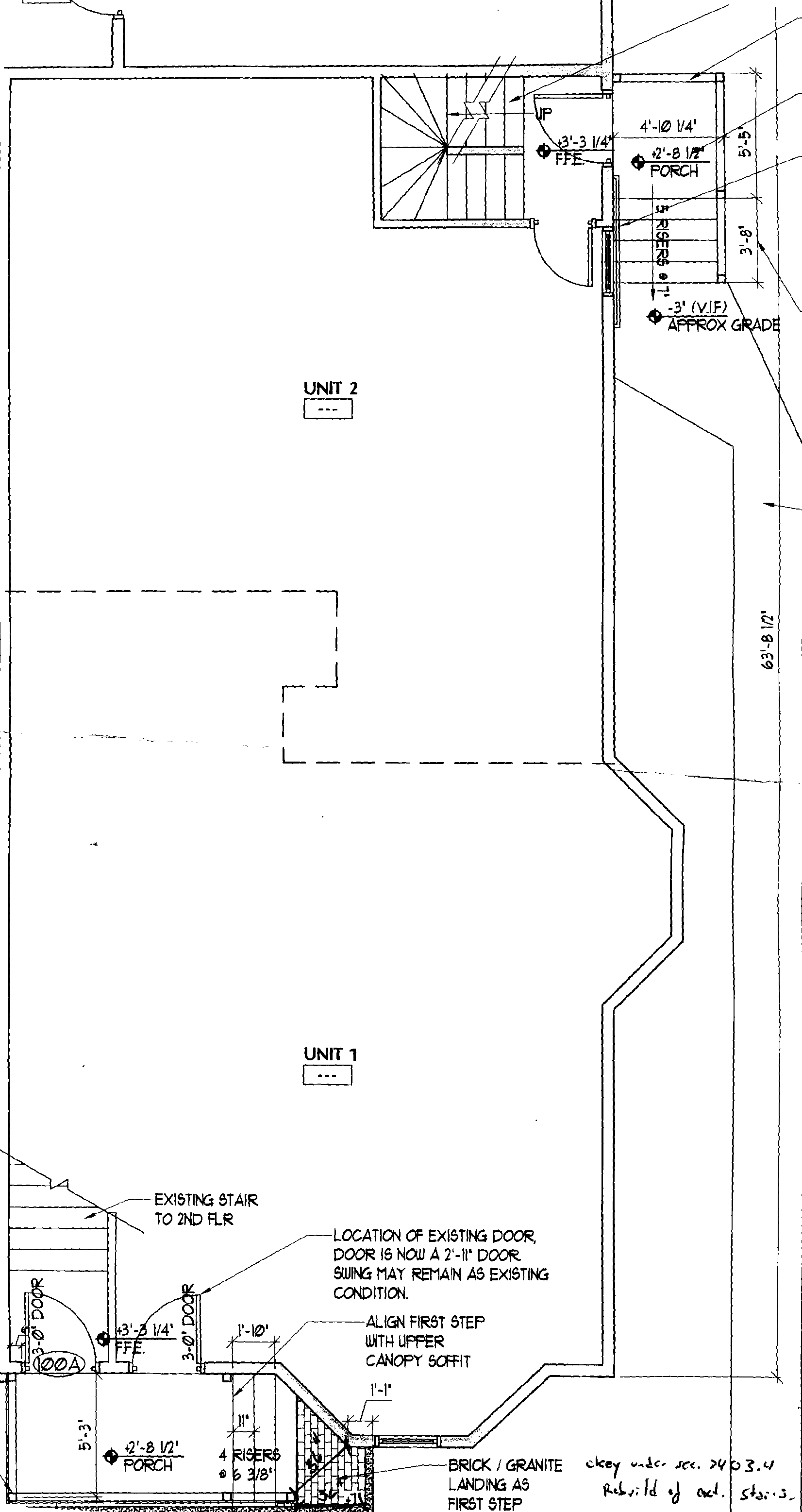
- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing and final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

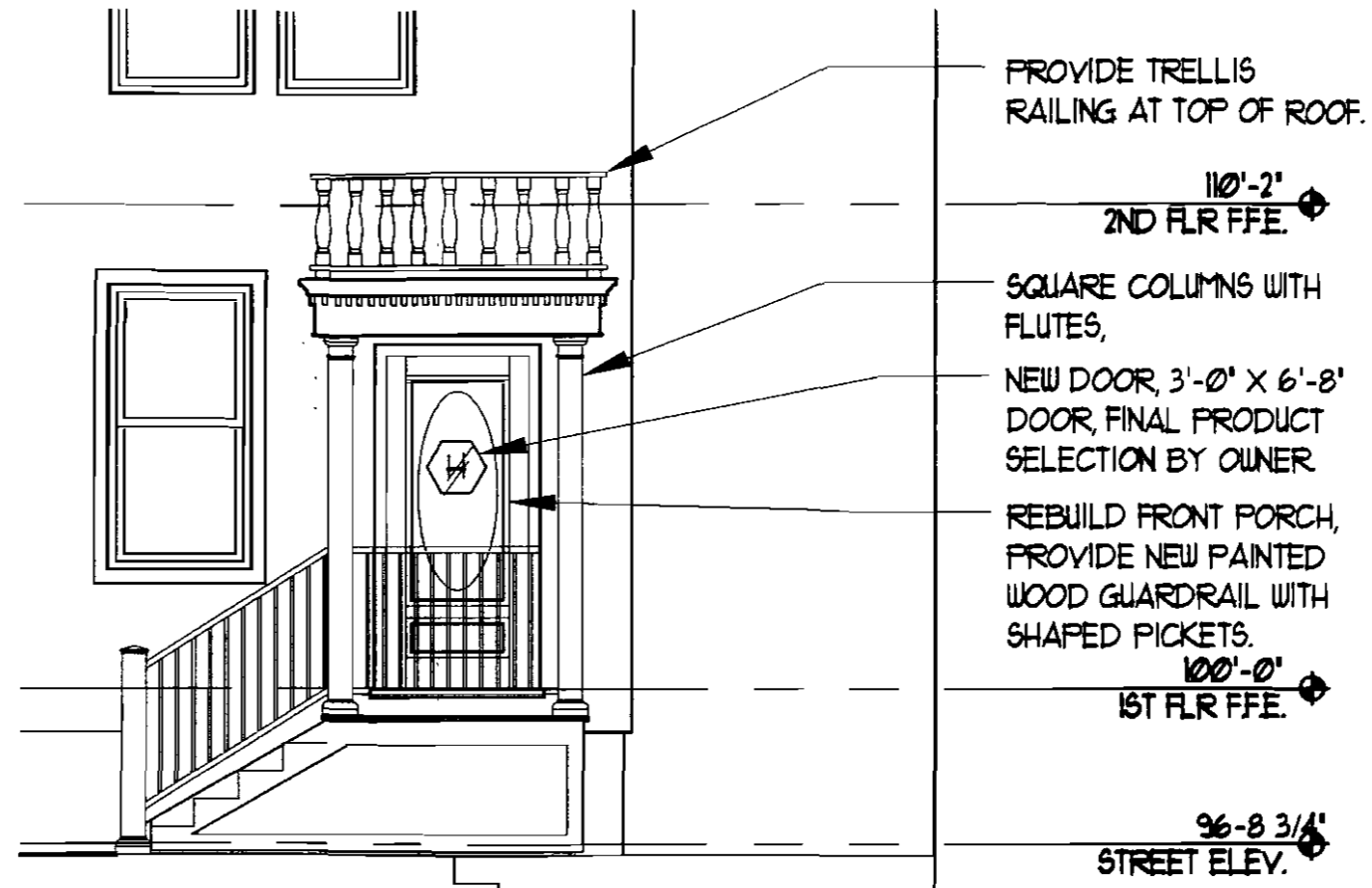


7 HANDRAIL DETAIL

SCALE: 1 1/2" = 1'-0"

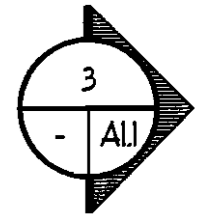
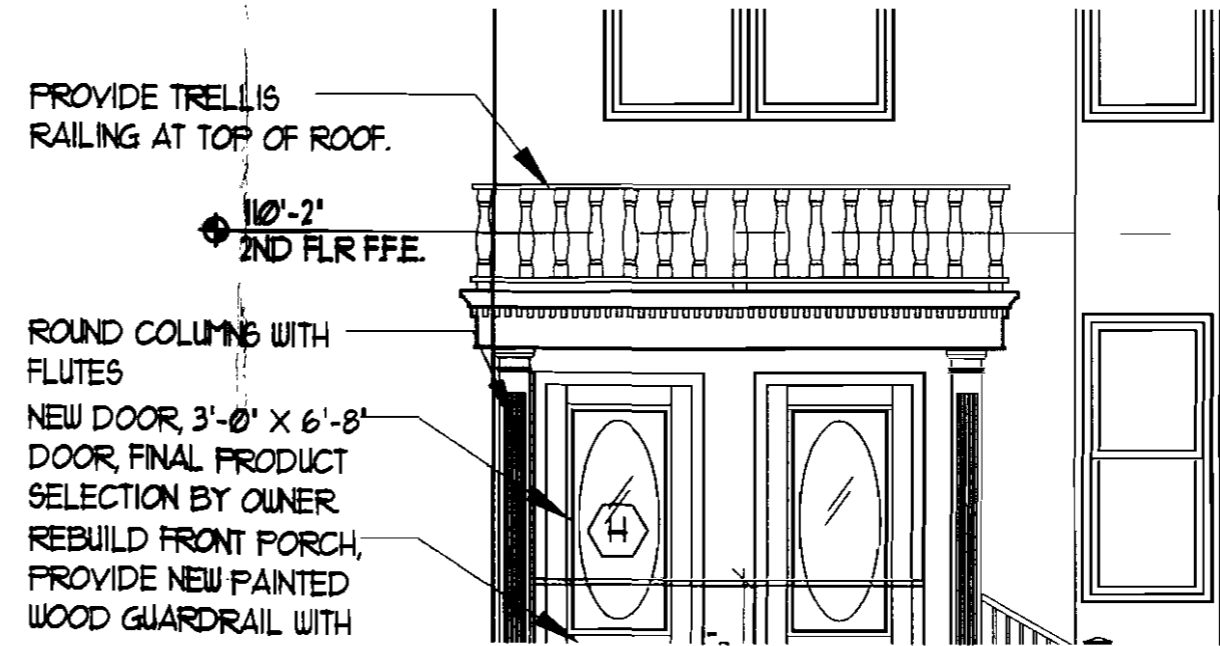
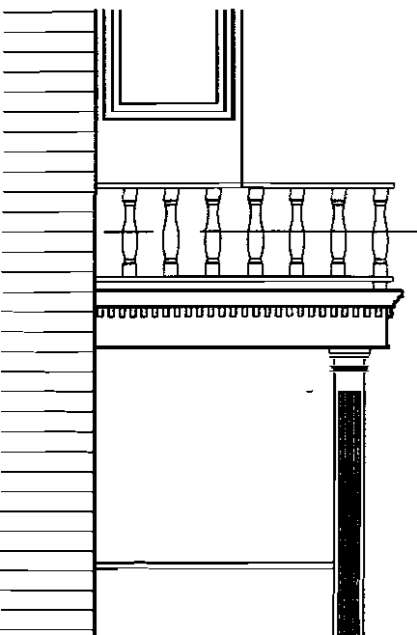
5 STAIR LANDING DETAIL

SCALE: 1 1/2" = 1'-0"



4 PARTIAL NORTH ELEVATION (SIDE ENTRY)

SCALE: 1/4" = 1'-0"



POST W/ TRIM
 CENTERED ON SOFFIT
 ABOVE, TYPICAL
 VERIFY COLUMN
 SHAPE DETAIL W/
 OWNER (ROUND)

EXISTING GRANITE CURB
 CONTINUE ACROSS DE
 MORNING.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>125 Morning St</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>2,800 sq</u>	Number of Stories <u>3 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>014 N 018</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Proquasi / Coyne</u> Address <u>125 Morning St</u> City, State & Zip <u>Portland, Me</u>	Telephone:
Lessee/DBA (If Applicable) RECEIVED AUG 30 2010	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>4,000-</u> C of O Fee: \$ _____ Total Fee: \$ <u>60.00</u>
Dept. of Building Inspections Current legal use (i.e. single family) <u>Multi</u> Number of Residential Units <u>6</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same / Multi</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Change + Rebuild front + side Entry + Porches</u> <u>only on units # 100 only front + side porch + just 1st floor</u>		
Contractor's name: <u>Quality Design Inc</u>		
Address: <u>5 Depot Rd</u>		
City, State & Zip: <u>Gray, ME 04039</u>		Telephone: <u>756-1724</u>
Who should we contact when the permit is ready: <u>Terry Hour</u>		Telephone: <u>756-1724</u>
Mailing address: <u>5 Depot Rd Gray, Me 04039</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

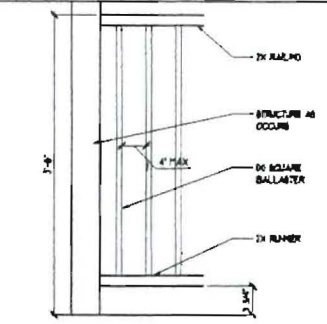
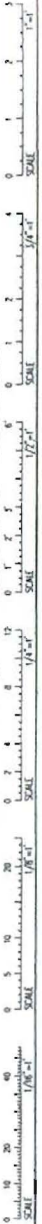
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

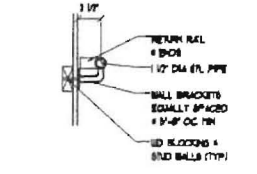
Signature: _____ Date: 8/30/2010

This is not a permit; you may not commence ANY work until the permit is issue

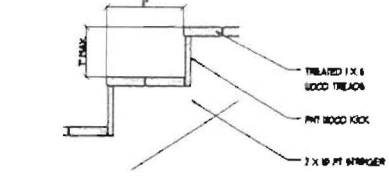
IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



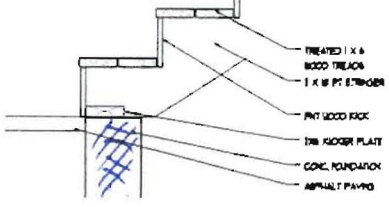
8 GUARDRAIL DETAIL
SCALE: 1/2" = 1'-0"



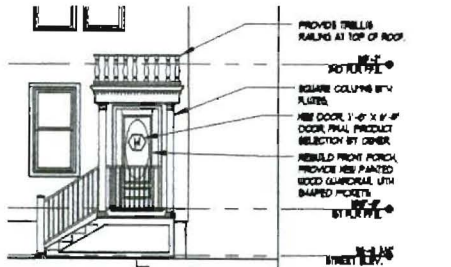
7 HANDRAIL DETAIL
SCALE: 1/2" = 1'-0"



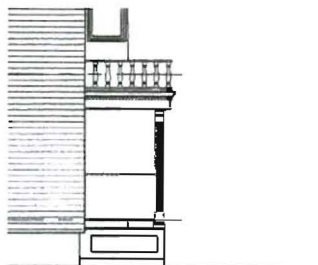
6 STAIR DETAIL
SCALE: 1/2" = 1'-0"



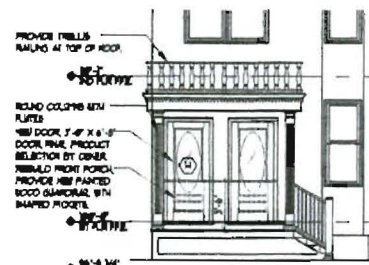
5 STAIR LANDING DETAIL
SCALE: 1/2" = 1'-0"



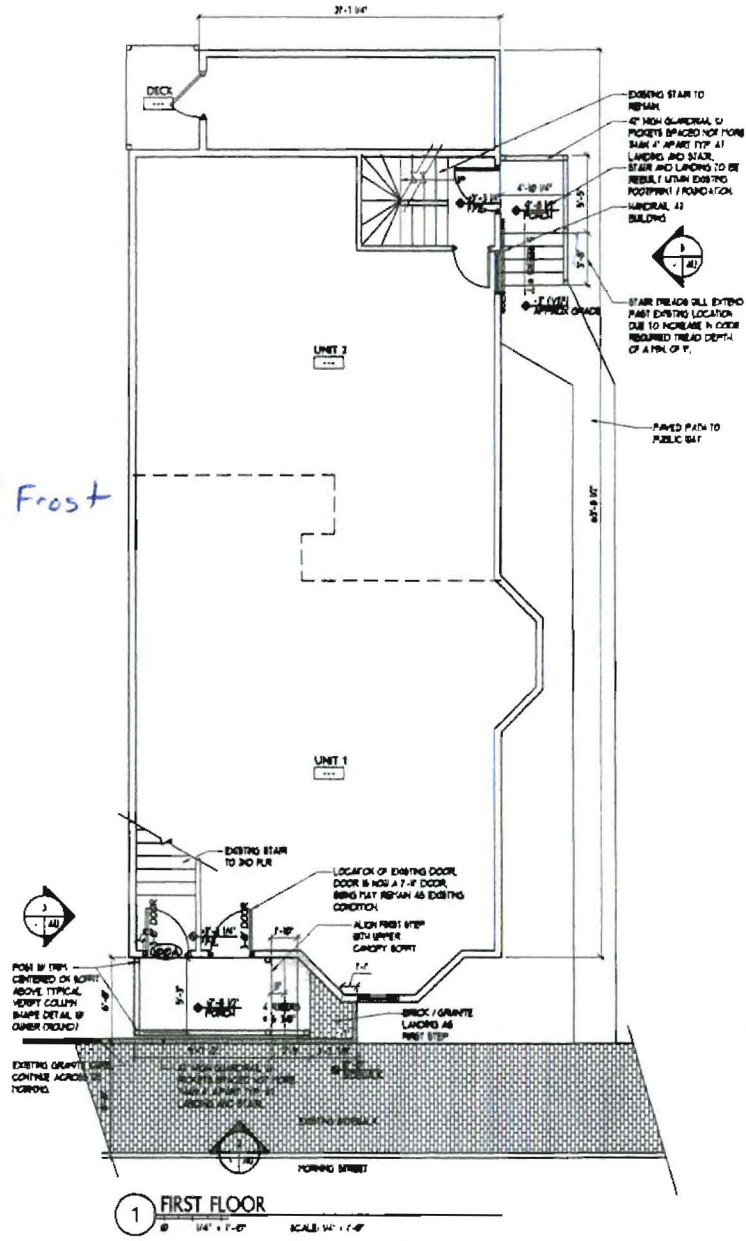
4 PARTIAL NORTH ELEVATION (SIDE ENTRY)
SCALE: 1/4" = 1'-0"



3 PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 MORNING ST. ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

PORT CITY ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 207.761.9000
 fax: 207.761.2010
 info@portcityarch.com

Piengross/Coyne RESIDENCE
 125 MORNING STREET
 PORTLAND, MAINE

DATE	DESCRIPTION
09/24/10	REVISED
09/24/10	ISSUED
09/24/10	REVISED

SHEET NAME
ENTRY PORCH PLANS

Drawn By: JAP
 Checked By: JCC

A11

Quality Design Inc
 756-1724

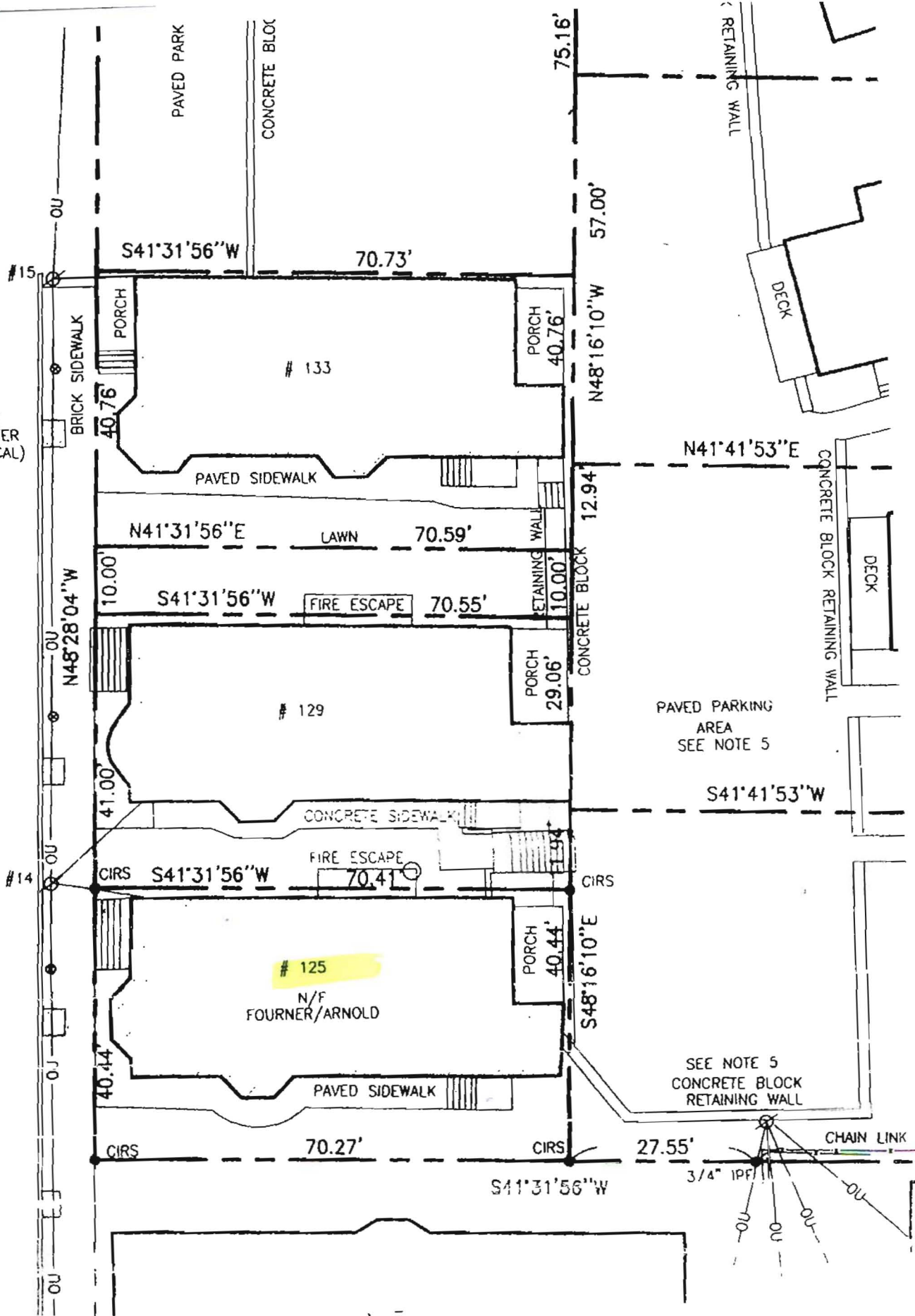
COPYRIGHT: None or reproduction of the contents of this document is not permitted without the permission of PORT CITY ARCHITECTURE, P.A.

Quality Design F.W.C.

MORNING STREET

PAVED - PUBLIC

BRICK PLANTER (TYPICAL)



ESTHER ALBERT REALTY LLC

13748 331

20

125 Morning Street, Portland

TRUE & CORRECT COPY

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that **LOUIS G. FOURNIER, JR.** of Portland, Maine, for consideration paid, grant to **TREVOR L. COYNE** and **JOSEPH P. PIERGROSSI, JR.**, individuals with a mailing address of P.O. Box 10427, Portland, Maine 04104, as joint tenants, with **WARRANTY COVENANTS**, the land in Portland, County of Cumberland and State of Maine, bounded and described as follows:

A certain lot or parcel of land with the buildings thereon, situated on the easterly side of Morning Street, in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

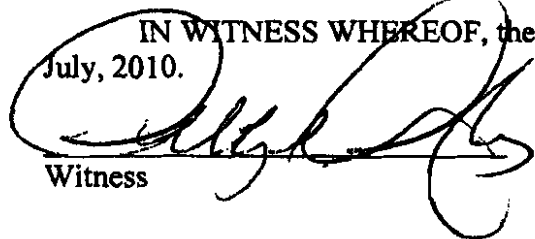
Beginning at a stake on said easterly side of Morning Street at the northerly corner of land formerly owned by the heirs of Henry Deering, said stake being distant one hundred sixty-two and five-tenths (162.5) feet from Congress Street; thence northerly by said easterly side of Morning Street forty and forty-four hundredths (40.44) feet to an iron stake; thence easterly at right angles to said Morning Street seventy and forty-one hundredths (70.41) feet to land formerly owned by Moses Gould; thence southerly by said Gould land and land now or formerly owned by A.G. Peterson forty and forty-four hundredths (40.44) feet to land of said Deering heirs; thence westerly by land of said Deering heirs seventy and twenty-seven hundredths (70.27) feet to the point of beginning.

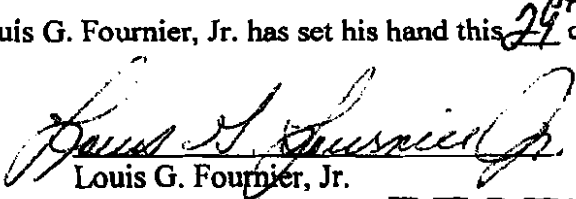
Reference is made to a Restated Easement between Morning Eastern Promenade, LLC and Louis G. Fournier, Jr. to be recorded herewith.

Reference is also made to Boundary Survey on Morning St., Turner Sts and Eastern Promenade, Portland Maine Made for Morning Eastern Promenade, LLC to be recorded herewith.

Being the same premises conveyed to the Grantor herein by Conservator's Deed from Laurence S. Allen, Jr., Conservator for Lulu F. Nichols (a/k/a Lou F. Nichols) dated April 24, 2006 and recorded in the Cumberland County Registry of Deeds in Book 23892, Page 65. Reference is made to an Abstract of Divorce Judgment Regarding Real Estate between Taya L. Arnold, Plaintiff v. Louis G. Fournier, Jr., Defendant, Ninth District Court, Docket No.FM-08-244 granting this property to Louis G. Fournier Jr., the Grantor herein. The Abstract is dated January 19, 2010 and recorded in the Cumberland County Registry of Deeds in Book 27537, Page 211.

IN WITNESS WHEREOF, the said Louis G. Fournier, Jr. has set his hand this ^{29th} day of July, 2010.


Witness


Louis G. Fournier, Jr.

RECEIVED

SEP - 2 2010

Dept. of Building Inspections
City of Portland Maine

STATE OF MAINE
COUNTY OF CUMBERLAND

July 29, 2010

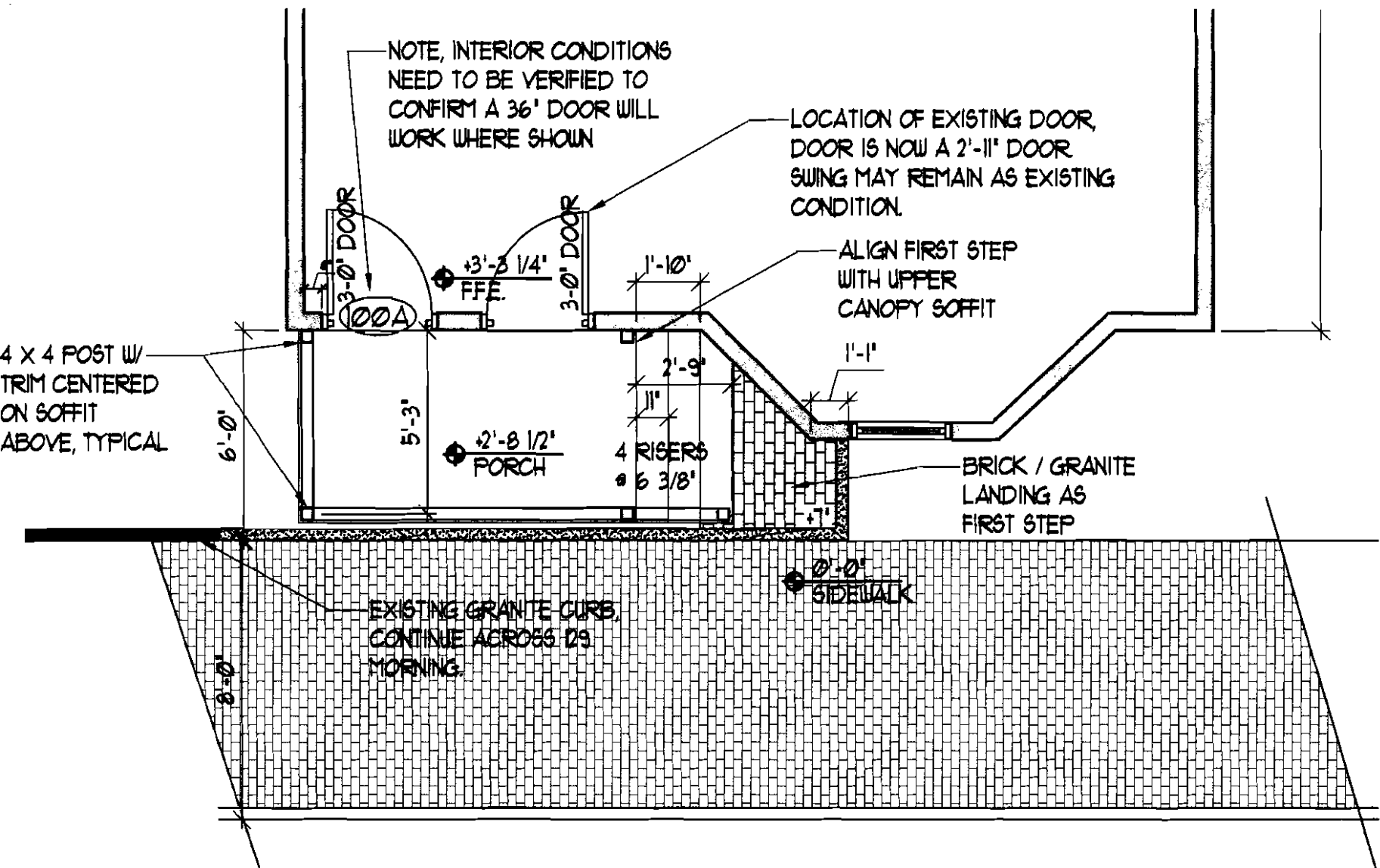
Then personally appeared before me the above named Louis G. Fournier, Jr., and acknowledged the foregoing instrument to be his free act and deed.

Before me,



~~Notary Public/Attorney-at-Law~~

Donnelly S. Donatas
Printed name of person taking
acknowledgment

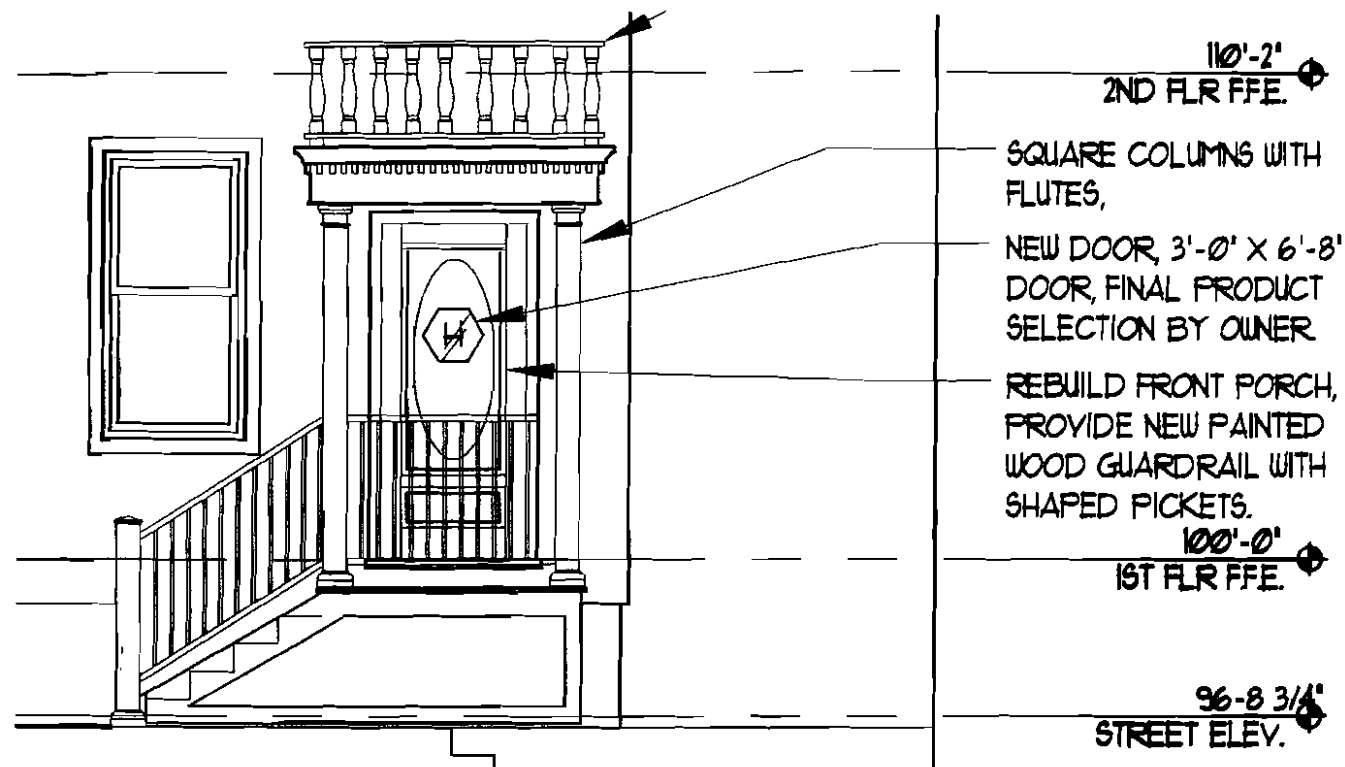


1 FIRST FLOOR

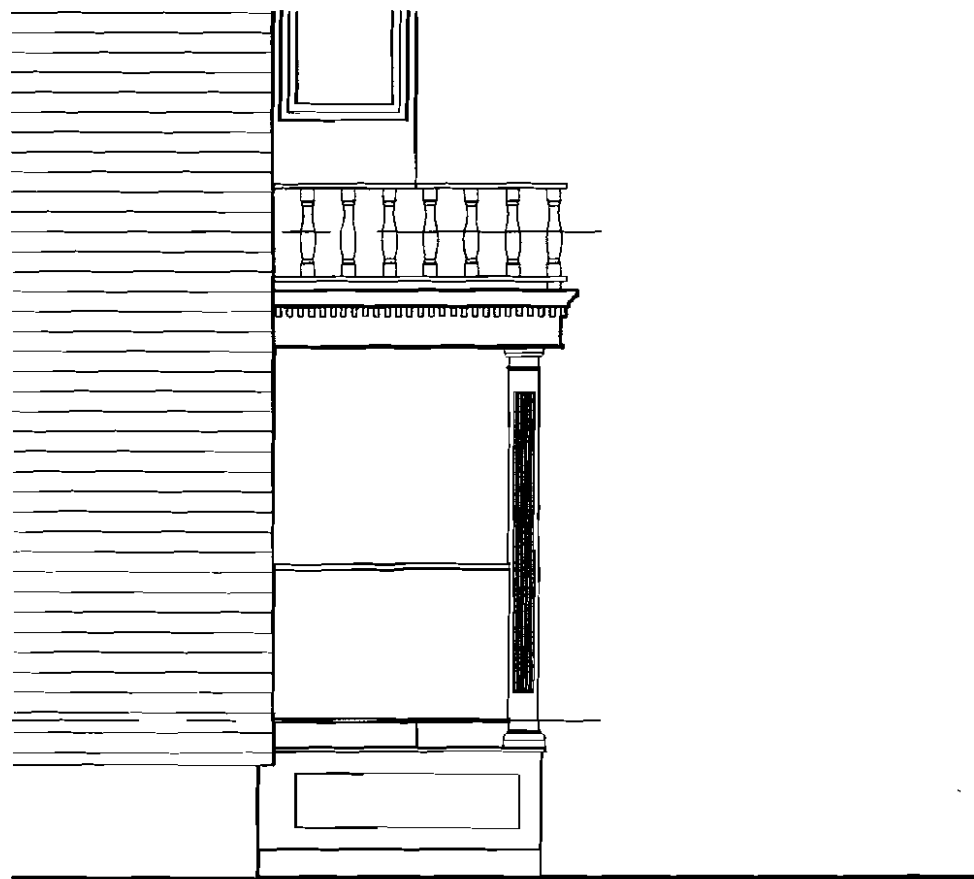
0 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

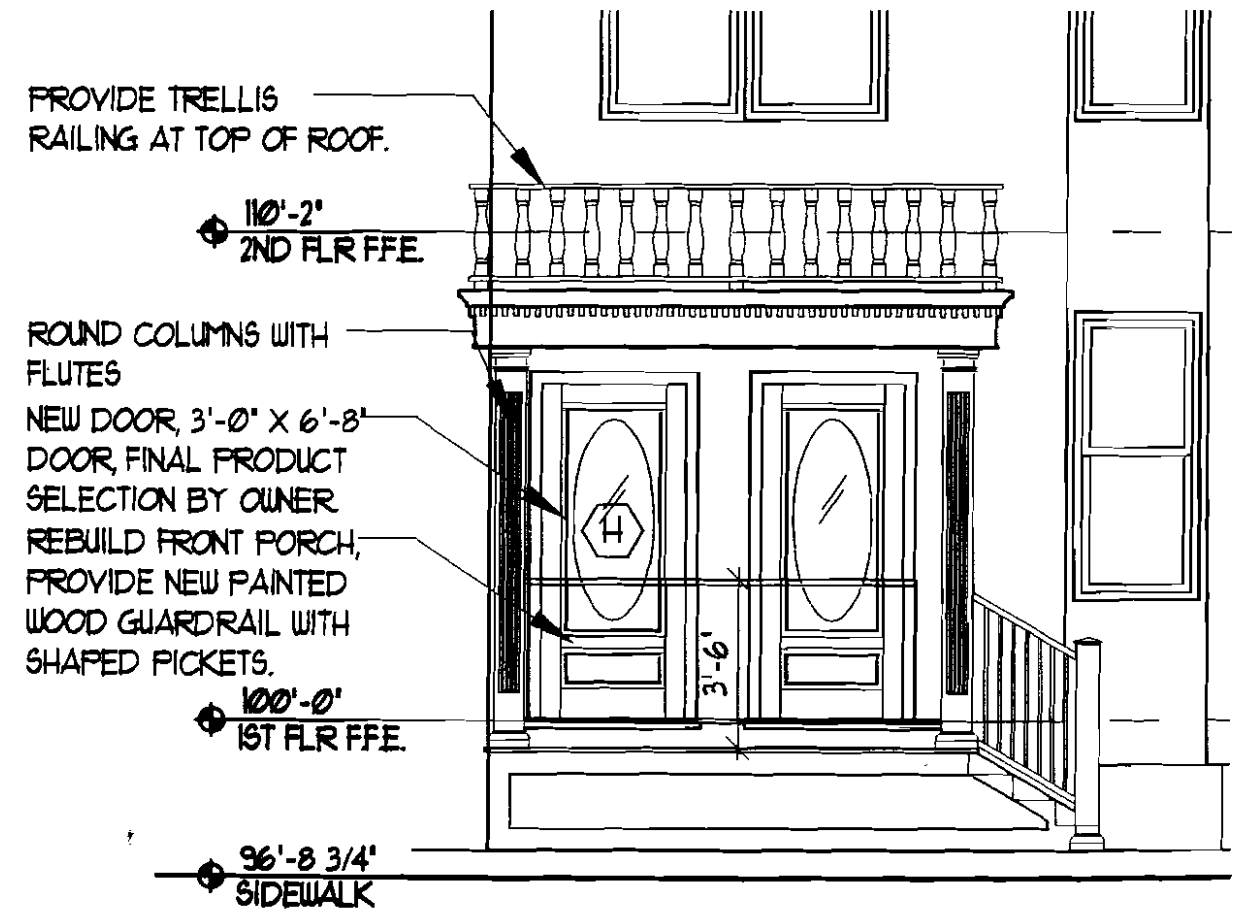
Quality Design Inc
756-1724



4 PARTIAL NORTH ELEVATION (SIDE ENTRY)
0 4'-0" SCALE: 1/4" = 1'-0"



3 PARTIAL SOUTH ELEVATION
0 4'-0" SCALE: 1/4" = 1'-0"



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0 4'-0" SCALE: 1/4" = 1'-0"