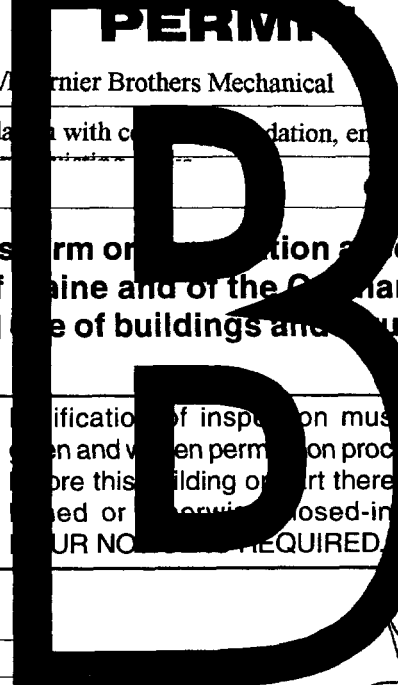


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number. 061161



This is to certify that FOURNIER LOUIS G JR / Fournier Brothers Mechanical
has permission to replace cinder block foundation with concrete foundation, enlarge a portion of each deck to increase living area
AT 125 MORNING ST PORTLAND, OR 97232 014 N018001

PERMIT ISSUED
AUG 11 2006

provided that the person or persons who perform or supervise the construction of this work shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland, Oregon, relating to the construction, maintenance and repair of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4
OUR NO. IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Carr
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jaime Burke 9/5/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1161	Issue Date:	CBL: 014 N018001
-----------------------	-------------	---------------------

Location of Construction: 125 MORNING ST	Owner Name: FOURNIER LOUIS G JR	Owner Address: 85 OAKDALE ST	Phone:
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Business Name:	Contractor Name: Fournier Brothers Mechanical	Contractor Address: 85 Oakdale Street Portland	Phone: 2072524222
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Lease/Buyer's Name	Phone:	Permit Type:	Zone:
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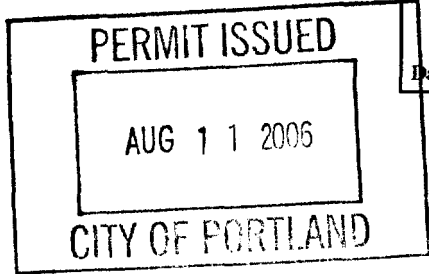
Past Use: Multi - Family <i>leg. use: 6 dwelling units</i>	Proposed Use: Multi - Family / replace cinder block foundation with concrete foundation, enclose a portion of each deck to increase living area on all three floors & reframe existing decks	Permit Fee: \$370.00	Cost of Work: \$35,000.00	CEO District: 1
--	---	-------------------------	------------------------------	--------------------

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: R2 Type: SB IBC-2003
Signature: <i>Craig Carr</i>	Signature: <i>JMB 9/5/06</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature: _____ Date: _____	

Proposed Project Description:
replace cinder block foundation with concrete foundation, enclose a portion of each deck to increase living area on all three floors & reframe

Permit Taken By: Idobson	Date Applied For: 08/08/2006	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland <i>all wet within existing footprint</i></p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/ conditions</i> Date: 8/25/06 <i>JMB</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABU</i></p> <p>Date: _____</p>
--	---	---	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12/13/06 - Checked Footings forms/rebar - OK -
Setbacks OK (in same footprint) OK to pour
Cement. Jim M

12/20/06 - Backfill - OK to backfill. Jim

03/26/07 - NO inspection - went to SITE
& doors locked to unit #5 - No one on
SITE - Reschedule - called twice and left
messages - no return call.

3/26/07 - went to site w/ Jim M
in PM - NO issues seen - needed plate for plate
taken care of - OK to close in unit #5.

Jim M

7-7-10

all Junk to be removed
Furn: to be removed
Electric boxes
Front horizontal + bollards
Take Panel off fence
adjust closer
Secure 2nd floor railing

Deck outdoor
fixture

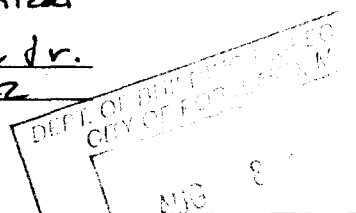
GFI outlet on Medicine Cabinet
Sider whether protect back deck
elec box ^{box} 2nd floor
check bottom in Sinks
timber in Sinks
sink & 3rd back bedroom
if the floor skylite on beam over
vent stack through roof



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted,

M	
Total Square Footage of Proposed Structure	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>14</u> Block# <u>N</u> Lot# <u>18</u>	Owner: <u>Louis Fournier</u> <u>Taya Arnold</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Louis Fournier</u> <u>85 Oakdale St.</u> <u>Portland Me 04103</u>
	Telephone: <u>(207)252-4222</u>
	Cost Of Work: \$ <u>35,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Unit rental (residential)</u> If vacant, what was the previous user? <u>N/A</u> Proposed Specific use: <u>Same</u>	
Project description: <u>Remove existing cinderblock foundation, pour a new 10" Concrete foundation. Expand Interior living space into existing deck area, per plans submitted. Reframe existing deck to plans specifications.</u>	
Contractor's name, address & telephone: <u>Fournier Bros. Mechanical</u> <u>85 Oakdale St.</u>	
Who should we contact when the permit is ready: <u>Louis Fournier Jr.</u> Mailing address: _____ Phone: <u>(207)252-4222</u>	



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Louis Fournier Jr.</u>	Date: <u>8/8/06</u>
---	---------------------

This is not a permit; you may not commence ANY work until the permit is issued.



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine,

01197
CITY OF PORTLAND, ME

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish in all the following building structure equipment in accordance with the Laws of the State of Maine the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications

Location Within Fire Limits? Dist. No.
Owner's name and address Telephone
Lessee's name and address Telephone
Contractor's name and address Telephone
Architect Specifications Plans No. of sheets
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$

General Description of New Work

To construct fire escape from third floor to second floor, from second floor to ground as per plan

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
RECEIVED

Sent to Fire Dept 9/26/72
Rec'd 10/2/72

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
HU septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or lull size? Corner posts Sills
Size Girder Columns under girders Size Max on centers
Studs (outside walls and carrying partition) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Eric, CON. 10-2-72
OK E.R. 10/2/72

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Y.S.S.

Robert Jackman

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewer? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____ Yes _____

APPROVED: _____

_____ 16-8-72

O.K. E.H. 19/2/72

CS 201

INSPECTION COPY Signature of owner BY: Robert Jadic



R6 RESIDENCE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine

Sept. 26, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 202 Cornish, St. Within Fire Limits? _____ Dist. No. _____

Owner's name and address Guy Nichols, Telephone _____

Contractor Robert Jackson, Telephone _____

Location of name and address 58 Cross St.

Contractor's name and address _____ Telephone _____

Architect _____ Plans _____ No. of sheets _____

Proposed use of building 5 ft. No. families _____

Last use _____ No. families _____

Material _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 1200. Fee \$ _____

General Description of New Work

To construct fire escape from third floor to second floor, from _____ ground as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** _____ contractor _____

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewer? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

sent to city Dept. 9/26/72
 10/9/72

This page contains a detailed description of the Parcel ID you selected. Press the New Search button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	014 N018001
Location	125 MORNING ST
Land Use	FIVE TO TEN FAMILY
 Owner Address	 FOURNIER LOUIS G JR 85 OAKDALE ST PORTLAND ME 04103
 Book/Page	 23892/065
Legal	14-N-18 MORNING ST 123-125 <u>2846 SF</u>

Current Assessed Valuation

Land	Building	Total
\$90,000	\$209,400	\$299,400

Building Information

Bldg #	Year Built	# units	Bldg Sq. Ft.	Identical Units
1	1915	6	0	1

Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
0.065	0		APARTMENT - GARDEN	

Exterior/Interior Information

Section	Levels	Size	Use
1	B1/B1	1504	SUPPORT AREA
1	01/01	1504	APARTMENT
1	02/03	1504	APARTMENT

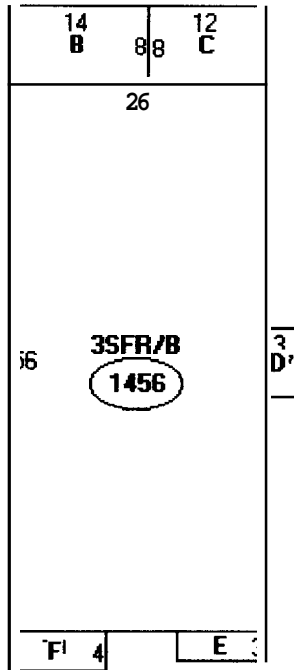
Height	Walls	Heating	A/C
7		NONE	NONE
10	FRAME	HW/STEAM	NONE
10	FRAME	HW/STEAM	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

Building Other Features

Line	Structure Type	Identical Units
2	PORCH - COVERED	1
2	PORCH - ENCL	1
2	PORCH - COVERED	1
3	PORCH - COVERED UPPER	2
3	PORCH - ENCL UPPER	

Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
------------	----------------	-------------------	---------



Descriptor/Area

A: 3SFR/B
1456 sqft

B: 3SOFP
112 sqft

C: 3SEFP
96 sqft

D: 3SFRBAY/B
21 sqft

E: 3SFRBAY/B
27 sqft

F: OFF
40 sqft

RESIDENCE ZONE

PERMIT ISSUED

AUG 29 1972

01019

CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, July 20, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, ME

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 125 Morning St. Within Fire Limits? Dist. No.

Owner's name and address G.L. Nichols, 44 Belfield St., Portland Telephone

Lessee's name and address Telephone

Contractor's name and address owner Telephone

Architect Specifications Plans No. of sheets

Proposed use of building apt. house No. families 6

Last use " No. families 3

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost \$ 7,000. Fee \$ 21.

General Description of New Work

To chdngo from three family apt. to 6 family apt. - plans to follow.

PERMIT ISSUED WITH LETTER

Sent to Fire Dept. 8/23/72 Rec'd from Fire Dept. 8/28/72

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO RE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Site. front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness. top bottom. cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat (fuel

Framing Lumber-Kind Dressed or full size? Corner ~ ~ ~ Sills

Size Girder Columns under girders Size Max on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor... 2nd... 3rd... roof

On centers: 1st floor... 2nd... 3rd... roof.

Maximum span: 1st floor... 2nd... 3rd... roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated.

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED: O.K.E.S. 8/28/72

Miscellaneous

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1161	Date Applied For: 08/08/2006	CBL: 014 N018001
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Location of Construction: 125 MORNING ST	Owner Name: FOURNIER LOUIS G JR	Owner Address: 85 OAKDALE ST	Phone:
Business Name:	Contractor Name: Fournier Brothers Mechanical	Contractor Address: 85 Oakdale Street Portland	Phone (207) 252-4222
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi - Family / replace cinder block foundation with concrete foundation, enclose a portion of each deck to increase living area on all three floors & reframe existing decks.	Proposed Project Description: replace cinder block foundation with concrete foundation, enclose a portion of each deck to increase living area on all three floors & reframe existing decks.
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/25/2006**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 4) This permit is being issued with the understanding that all the work is being done within the existing footprint since the building is legally nonconforming to setbacks.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/05/2006**Note:** **Ok to Issue:**

- 1) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 2) All floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 50 STC.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

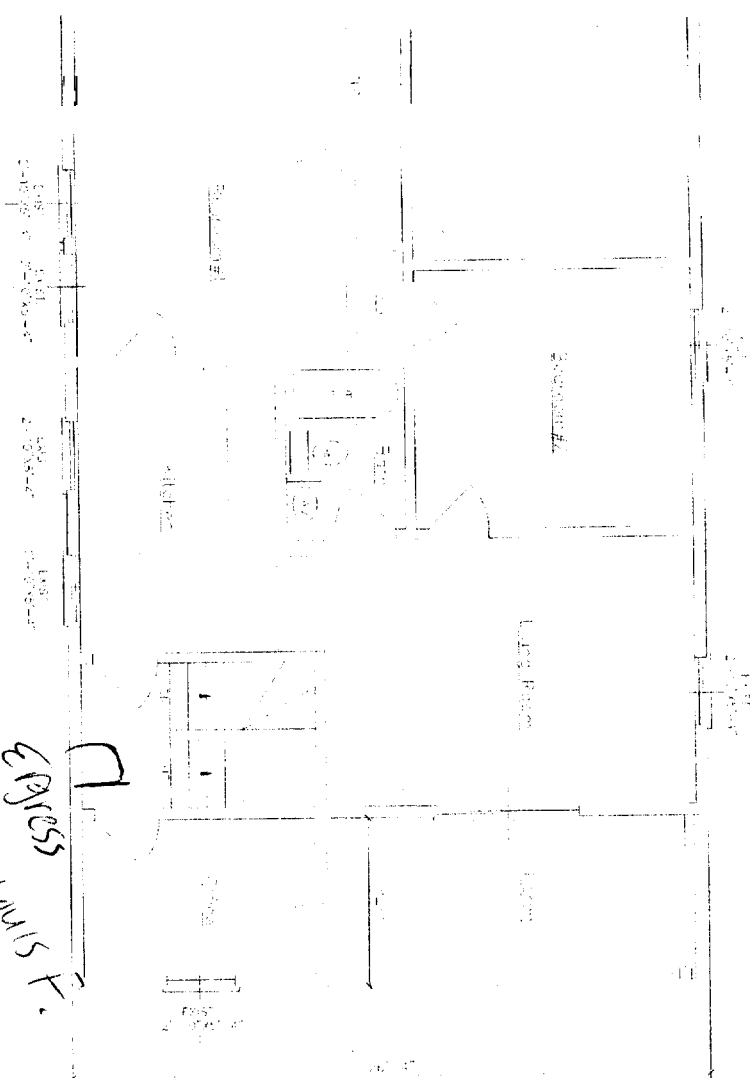
Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 09/01/2006**Note:** Met w/ owner 09-01-06 window's at or under Fire escape shall be rated as each unit is refurbished. G.C. **Ok to Issue:**

- 1) Fire escape shall be refurbished
- 2) Fire alarm system per NFPA 101

Comments:

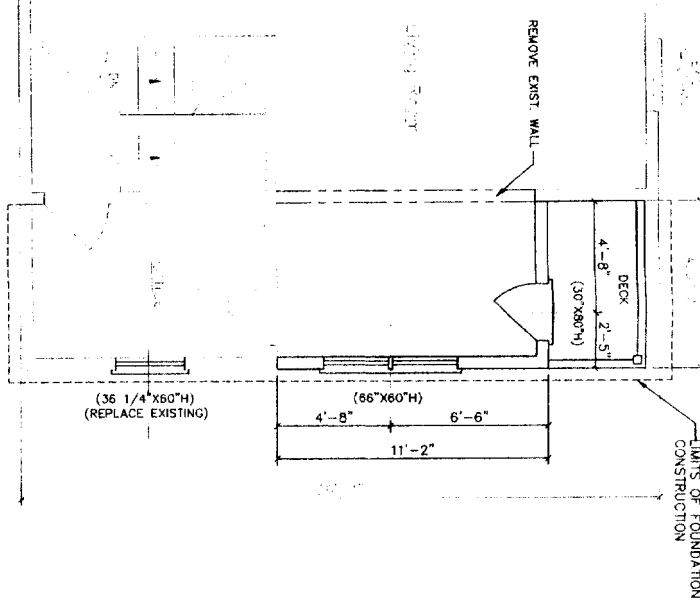
08/24/2006-amachado: Left message with Louis Fournier. Need a plot plan & set of reduced plans.

08/25/2006-amachado: Received plot plan and reduced plans.

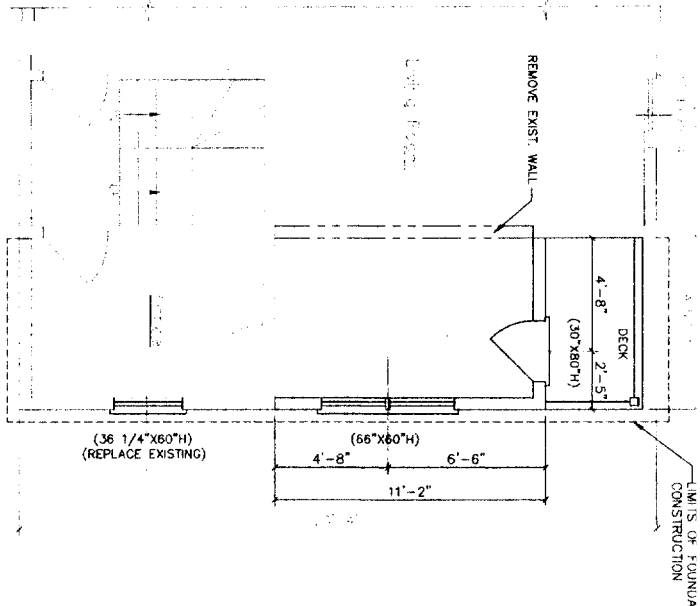


TYPICAL FLOOR PLAN-EXISTING CONDITIONS
SCALE: 1/4"=1'-0"

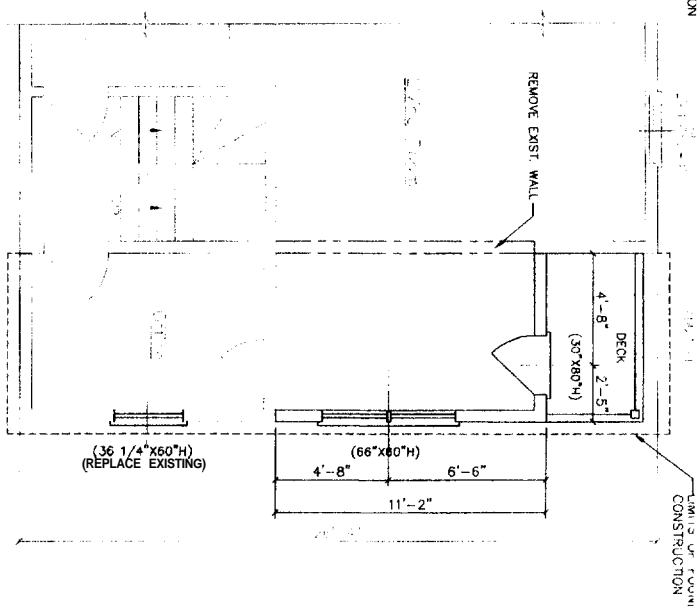
*Express
Per Louis F.*



FLOOR PLAN-FIRST FLOOR ALTERATIONS
SCALE: 1/4"=1'-0"



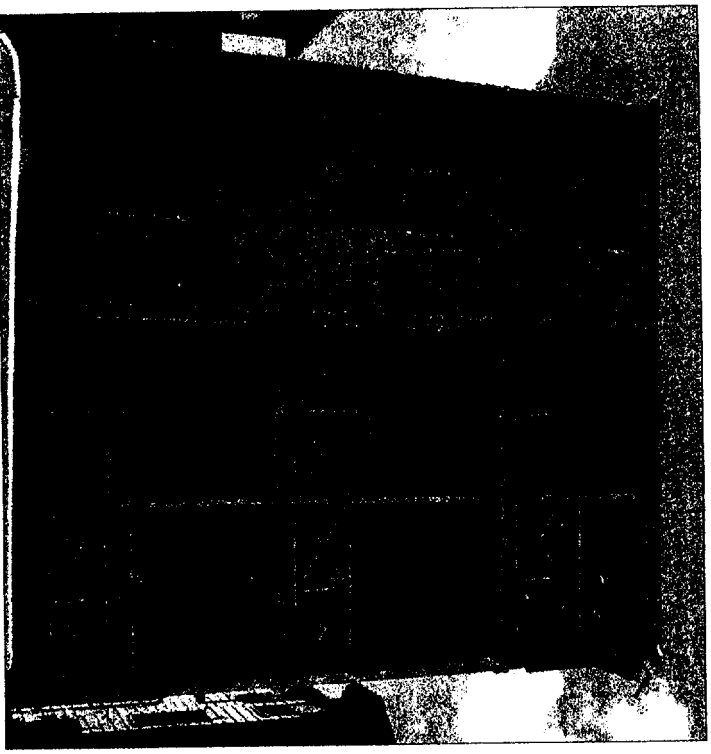
FLOOR PLAN-SECOND FLOOR ALTERATIONS
SCALE: 1/4"=1'-0"



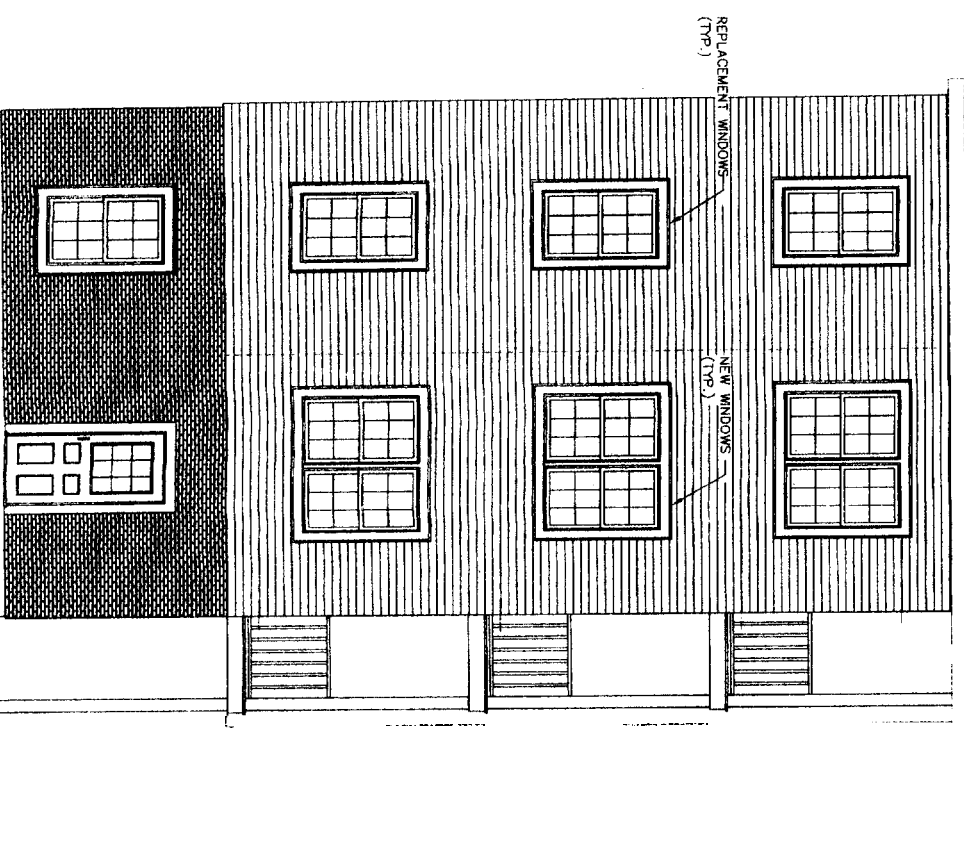
FLOOR PLAN-THIRD FLOOR ALTERATIONS
SCALE: 1/4"=1'-0"

GENERAL CONSTRUCTION NOTES:

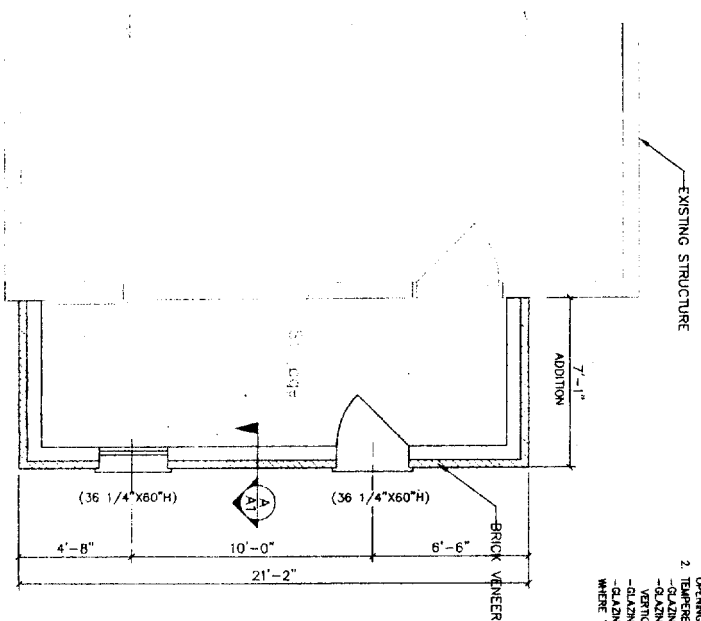
1. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE (THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY, THEY SHOULD NOT BE INTERPRETED AS CODE OR VIEWED AS THE COMPLETE CODE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE TOWN ADOPTED CODE BEFORE ANY CONSTRUCTION BEGINS.)
2. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
3. TAPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS:
 - GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY VERTICAL SURFACE.
 - GLAZING LESS THAN 67" ABOVE ANY SURFACE ADJACENT TO A DOOR WHERE THE NEAREST GLAZING BOTTOM LIES LESS THAN 48" ABOVE THE FLOOR.
 - GLAZING BOTTOM LIES LESS THAN 48" ABOVE THE FLOOR.
 - GLAZING ENCLOSING STAIRWAY LANDINGS OR WITHIN 60" OF TOP & BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE.



ELEVATION-EXISTING CONDITIONS
SCALE: 1/8"=1'-0"

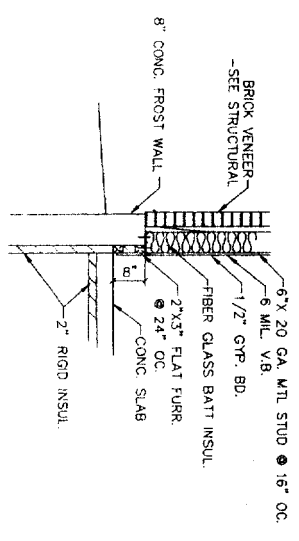


ELEVATION-ALTERATIONS
SCALE: 1/8"=1'-0"



FLOOR PLAN-BASEMENT FLOOR ALTERATIONS
SCALE: 1/4"=1'-0"

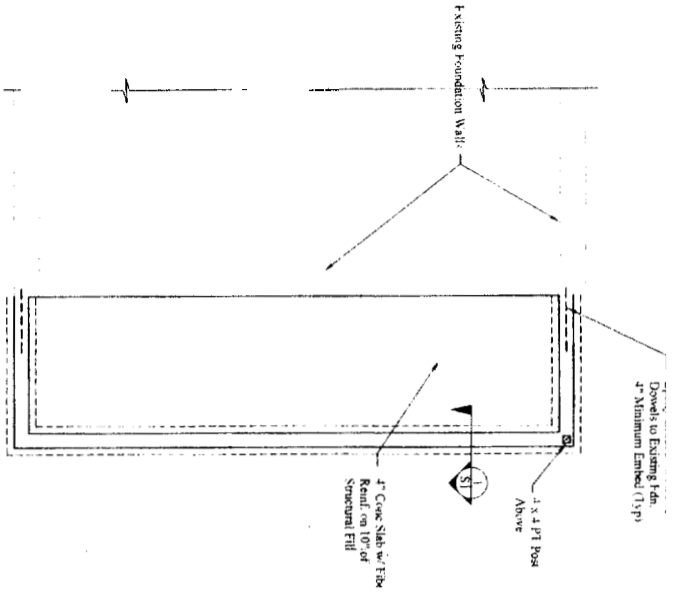
WALL SECTION
SCALE: 1/2"=1'-0"



125 Morning St., Portland, Maine
MORIN DRAFTING CORHAM, ME. 893-241

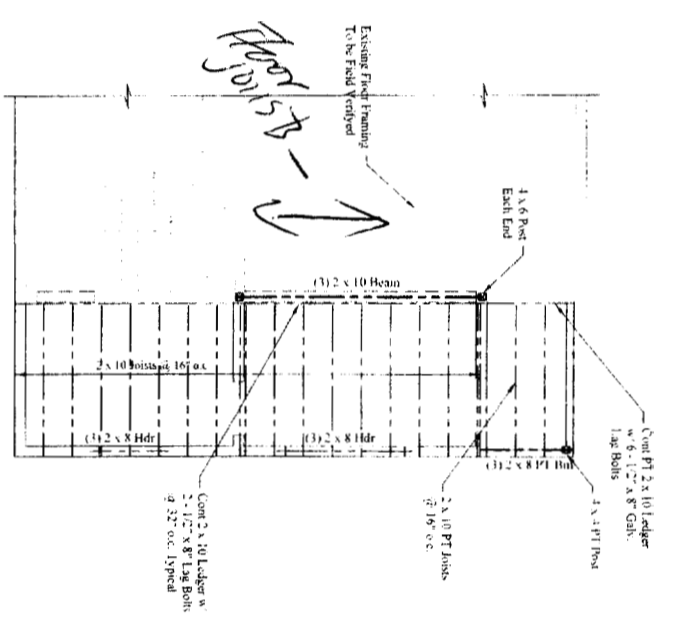
ALTERATIONS PLAN

DRAWN: J. MORIN
SCALE: AS NOTED
DATE: 08-24-18



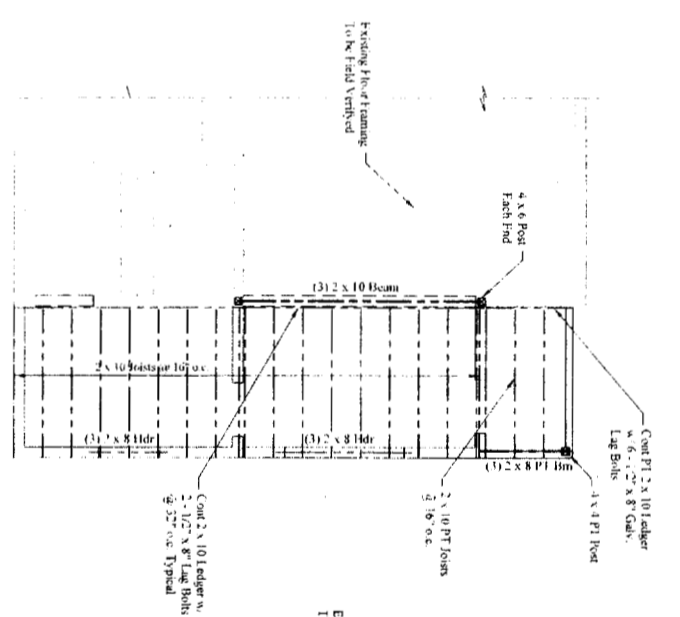
PARTIAL FOUNDATION PLAN

SCALE 1/2"



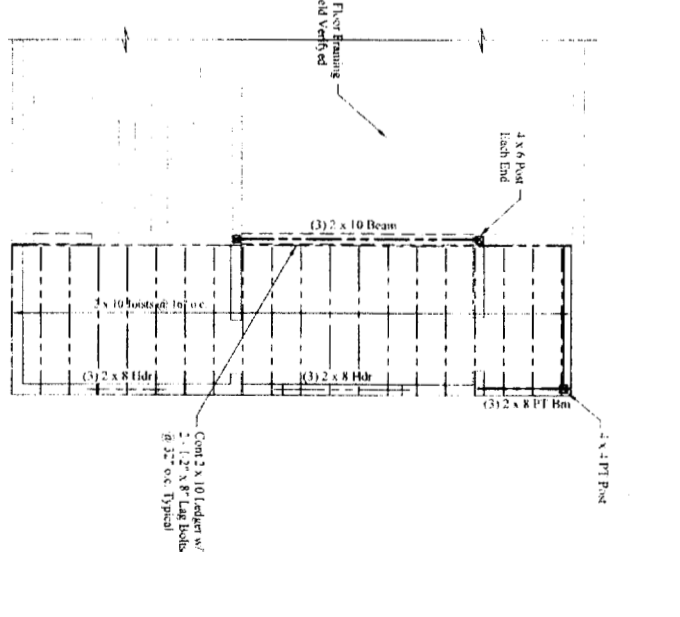
PARTIAL 2nd FLOOR FRAMING PLAN

SCALE 1/2"



PARTIAL 3rd FLOOR FRAMING PLAN

SCALE 1/2"



PARTIAL ROOF FRAMING PLAN

SCALE 1/2"

STRUCTURAL NOTES:

CODE: Comply with the 2018 International Residential Code.

DESIGN LOADS:

- Dead Loads Roof = 15.0 psf, Floor = 10.0 psf
- Live Loads Roof = 15.0 psf (Flat Roof), Floor = 40.0 psf
- Wind Load Building = 35.0 psf

FOUNDATIONS:

1. Bear footing on firm, undisturbed dense soils and at 4" or minimum below adjacent finish or natural grade, whichever is lower.
2. Assumed soil bearing capacity = 2000 psf.
3. Floor foundation encasement only on clean, firm dry bearing material.
4. Engineer shall be notified if more edge or negative clear to found during excavation.

CONCRETE:

1. Concrete regular weight (144 pcf) with Type II cement per ASTM C150, aggregate per ASTM C33, and potable water. No fly ash permitted in floor slab. Aggregate size = 1" for foundations and slabs on grade and 1/2" for exterior slabs and sidewalks.

REINFORCING:

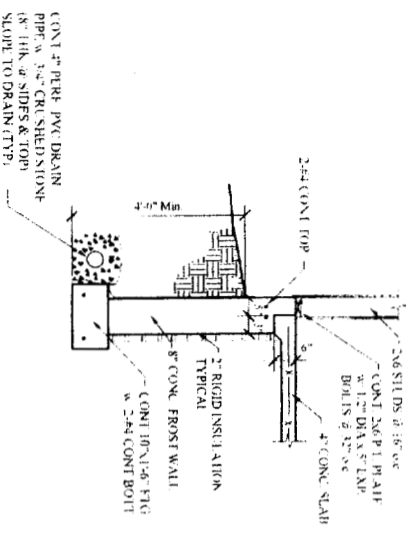
1. ASTM A615 S1 Grade 60 except #2 and #1 bars. ASTM A615 S1 Grade 40.
2. Lap splices in concrete. 42 bar diameter.
3. Provide bent corner reinforcing to match end lap with horizontal reinforcing at corners.
- 2x4 reinforcement of walls, and footings.

WALLS:

1. General:
 - a. Each piece of lumber shall be "S-100" and have the grade stamp of a grading rule agency approved by the American Lumber Standards Committee.
 - b. Double up studs or joists and under beams.
 - c. Do not notch or drill joist, beams or load bearing studs without approval.
2. Connections:
 - a. Nail roof joist with 8d common nails at 6" o.c. at all ends and boundary members and 12" o.c. at intermediate supports.
 - b. Glue floor joist to all framing members and nail with 8d common nail at 6" o.c. at all plywood edges and boundary members and 12" o.c. at intermediate support.
 - c. Nail wall joist with 10d common nails at 6" o.c. at all ends and boundary members and 12" o.c. at intermediate support.
3. Structural Sawn Lumber:
 - a. 2 x 4 floor joist - Spaced per IBC, 2 with 10 repetitive = 1200 psf
 - b. Studs, Splice Plate FR No. 2 with 10 repetitive = 1200 psf
 - c. Framed Veneer Lumber (V.L.) 1 1/2" x 4" = 2000 psf; 1 1/2" x 6" = 2400 psf
4. Roof Sheathing: C10 INT. APA (PSI-4) with exterior glue, 1/2" with identification label, 48 PSF. Lay up with glue joint perpendicular to supports. Stagger joints. Each plywood piece to be continuous over a minimum of two joists with a minimum overlap of 2" unless otherwise provided at all joints.
5. Sub-flooring: C10 INT. APA (PSI-4) with exterior glue, 3/4" with identification label, 48 PSF. Lay up with glue joint perpendicular to supports. Stagger joints. Each plywood piece to be continuous over a minimum of two joists with a minimum overlap of 2" unless otherwise provided at all joints.
6. Wall Sheathing: C10 INT. APA (PSI-4) with exterior glue, 1/2" with identification label, 48 PSF. Lay up with glue joint perpendicular to supports.

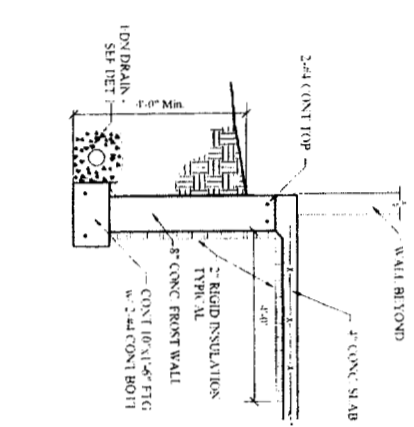
SUPPLEMENTARY NOTES:

1. Verify all dimensions and conditions with additional drawings prior to starting work. Notify the Engineer of any discrepancies or inconsistencies.
2. Provide all necessary temporary bracing, shoring, girding, or other means to avoid excessive deflection and to hold structural elements in place during construction.



FOUNDATION @ STUD WALL

SCALE 1/2"



FDN. @ DOOR

SCALE 1/2"

APARTMENT BLDG REMODEL
125 Morning Street * Portland * Maine

PLANS, DETAILS & NOTES

EDP ENGINEERING DESIGN PROFESSIONALS
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SECTION: L.B.R.V.C./R.O.S.K.I. P.F.
DATE: 01/06
NO: 18 004 006

SHEET: S1

