

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number 061226

This is to certify that MONAGHAN NANCE M. & BRUCE A BAILEY ITS/The detail

has permission to Repair & extend Dormer add new deck

AT 25 CONGRESS ST L 014 N015001

provided that the person or persons firm or person accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED
SEP 20 2006
CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission produced before this building or part thereof is opened or service closed-in. 4
OUR NOTICE REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Jay Kelley P.F.D. 9/7/06

Health Dept. _____

Appeal Board _____

Other _____
DepartmentName

James Burke 9/19/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

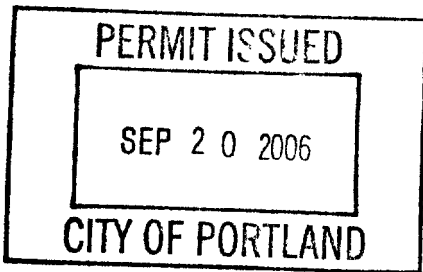
Permit No: 06-1226	Issue Date:	CBL: 014 N015001
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Location of Construction: 25 CONGRESS ST	Owner Name: MONAGHAN NANCE M & BRUC	Owner Address: 25 CONGRESS ST	Phone:
Business Name:	Contractor Name: The Dovetail Group	Contractor Address: 824 Roosevelt Trail Windham	Phone: 2074158604
Lessee/Buyer's Name	Phone:	Zone: R-6	

Past use: Multi-Family - 3 family D.U.	Proposed Use: Multi -3 Family- D.U. Repair & extend Dormer add new deck	Permit Fee: \$280.00	Cost of Work: \$26,000.00	CEO District: 1
Proposed Project Description: Repair & extend Dormer add new deck		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: SB IBC-2003	
		Signature: <i>[Signature]</i>	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (PAD)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: idobson	Date Applied For: 08/21/2006
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Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <i>1A-436</i> <input type="checkbox"/> Flood Zone <i>may 2006 AP</i> <input type="checkbox"/> Subdivision <i>showing 14' expansion at this time</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/5/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1226	Date Applied For: 08/21/2006	CBL: 014 N015001
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Location of Construction: 25 CONGRESS ST	Owner Name: MONAGHAN NANCE M & BRUC	Owner Address: 25 CONGRESS ST	Phone:
Business Name:	Contractor Name: The Dovetail Group	Contractor Address: 824 Roosevelt Trail Windham	Phone (207) 415-8604
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	
Proposed Use: Multi -3 Family- D.U. Repair & extend Dormer add new deck		Proposed Project Description: Repair & extend Dormer add new deck	

Comments:

09/18/2006-jmb: Left vm w/Chris G. For more details per the notes with the permit

09/19/2006-jmb: Chris G. Called back to confirm details as noted on plans, ok to issue.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>25 Congress St Portland Me. 04101</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>14</u> <u>N</u> <u>15</u>	Owner: <u>Nancy Menaghan.</u>	Telephone: <u>838-3111</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>The Doveetail Group Inc</u> <u>824 Roosevelt Trail # 106</u> <u>Windham Me</u> <u>041062</u>	Cost Of Work: \$ <u>26000</u> Fee: \$ <u>20</u> C of O Fee: \$ _____
Current Specific use: <u>Multi Unit</u> If vacant, what was the previous use? _____ Proposed Specific use: _____		
Project description: <u>Repair Dana & extend. then new deck.</u>		
Contractor's name, address & telephone: <u>Ch The Doveetail Group Inc.</u>		
Who should we contact when the permit is ready: <u>Chris Greenlaw</u> Mailing address: _____ Phone: <u>207-415-8604</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representatives shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Chris Greenlaw</u>	Date: <u>8-21-06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

This page contains a detailed description of the Parcel ID you selected. Press the New Search button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 014 N015001
Location 25 CONGRESS ST
Land Use THREE FAMILY

Handwritten initials 'R-6'

Owner Address MONAGHAN NANCE M & BRUCE A BAILEY JTS
25 CONGRESS ST
PORTLAND ME 04101

Book/Page 14-N-15
Legal CONGRESS ST 25
E PROM
7838 SE
7838 SE

Current Assessed Valuation

Land \$247,800 Building \$283,300 Total \$531,100

Property Information

Year Built 1890 Style Old Style Story Height 2 Sq. Ft. 4967 Total Acres 0.18
Bedrooms 9 Full Baths 3 Half Baths Total Rooms 18 Attic Full Fin./wh Basement Full

Outbuildings

Type Quantity Year Built Sire Grade Condition

Sales Information

Date 09/01/2002 Type LAND + BLDING Price Book/Page 18120-157
09/01/2002 LAND + BLDING 18120-154

Picture and Sketch

Picture Sketch Tax Map

Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice in order to schedule an inspection:

you understand

By initialing at each inspection time, you are agreeing that the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below,

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill any
- Framing/Rough Plumbing/Electrical: Prior to insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

~~COC~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

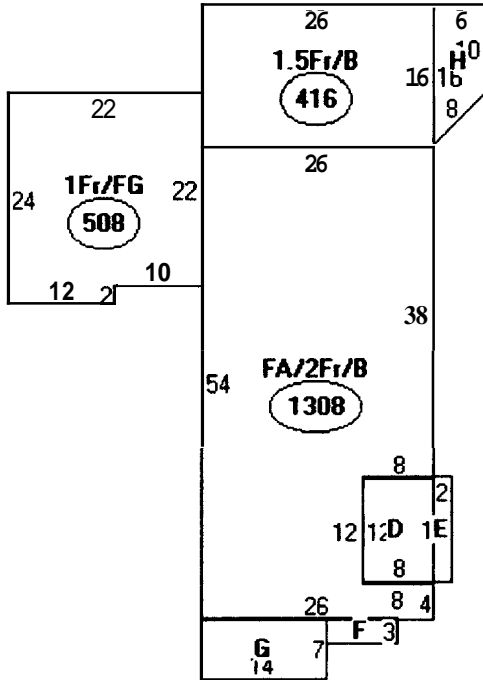
~~N/A~~ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Chris Scudder
Signature of Applicant/Designee
Donna Martin Admin
Signature of Inspections Official

Date
9-20-06
Date

CBL: 14 N 015 Building Permit #: 061226

1st floor footprint



Descriptor/Area

- A: FA/2Fr/B
1308 sqft
- B: 1Fr/FG
508 sqft
- C: 1.5Fr/B
416 sqft
- D: WD/2Fr/B
96 sqft
- E: WD
24 sqft
- F: 2FBAY/B
24 sqft
- G: OFF
98 sqft
- H: FOH/1Fr
78 sqft

1308
508
416
96
24
24
98
78

2552

using 14-436 which prohibits more than 80% (has lot size for # of D.U) expansion of the 1st floor footprint — but doesn't have setbacks

showing a total of 365.5 # expansion (deck & partial dormer)

$$\frac{365.5}{2552 \#}$$

14% expansion used on this project