

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080429

This is to certify that NAPOLITANO FRANCIS & ETALS / William Hall & S

has permission to Renovate basement into a living area connected to the first floor unit & extend front entry porch & relocate stairs

AT 208 EASTERN PROMENADE 014 N009001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is opened or service closed-in. 4
 YOUR NOTICE REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. JUN - 3 2008

Appeal Board _____

Other _____

Department Name

James Burke 6/3/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0429	Issue Date:	CBL: 014 N009001
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Location of Construction: 208 EASTERN PROMENADE	Owner Name: NAPOLITANO FRANCIS W & ET	Owner Address: 182 EASTERN PROMENADE	Phone:
Business Name:	Contractor Name: William Hall & Sons	Contractor Address: 334 A Granite St Yarmouth	Phone 2078465042
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: C-6

Past Use: Multi - Family 5 unit	Proposed Use: Multi - Family 5 unit - Renovate a basement into a living area extend front deck connected to first floor apartment & extend front porch legal use - 5 d.u. (permit 06-0101)	Permit Fee: \$200.00	Cost of Work: \$18,000.00	CEO District: 1
Proposed Project Description: Renovate a basement into a living area extend front deck connected to 1st floor apartment. - extend front porch & relocate stairs		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied See conditions	INSPECTION: Use Group: R2 Type: SB IPCL-2003 Signature: JMB 6/30/08	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Idobson	Date Applied For: 04/28/2008	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/14/08 ABM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

JUN - 3 2008

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0429	Date Applied For: 04/28/2008	CBL: 014 N009001
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Location of Construction: 208 EASTERN PROMENADE	Owner Name: NAPOLITANO FRANCIS W & ET	Owner Address: 182 EASTERN PROMENADE	Phone:
Business Name:	Contractor Name: William Hall & Sons	Contractor Address: 334 A Granite St Yarmouth	Phone (207) 846-5042
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi - Family 5 unit - Renovate basement into a living area connected to the first floor unit & extend front entry porch & relocate stairs	Proposed Project Description: Renovate basement into a living area connected to the first floor unit & extend front entry porch & relocate stairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/14/2008

Note:**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a five family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/03/2008

Note:**Ok to Issue:**

- 1) An elevation shall be submitted prior to issuance showing the permanent platform to bring the egress window sill height below 44".
- 2) The beam spec shall be submitted prior to issuance of the permit. Per Brian H. And the engineer, it will be 14' and will point load onto an existing lally.
- 3) The finished ceiling shall be 7' per IEBC 2003, Sec.601.(4)
- 4) The existing finished room in the basement with the bay bump out is not approved for a sleeping room due to inadequate egress. This room is habitable but access must be maintained to the egress window in the newly finished room, or provide access to the bulkhead.
- 5) All work that disturbs floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 or 2 hour fire rated assembly.
- 6) All penetrations through rated assemblies must be protected by an approved firestop system installed as tested in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 7) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 05/14/2008

Note:**Ok to Issue:**

- 1) Furnace room to be separated from living area with 1 hr. Rated construction

Comments:

5/9/2008-amachado: Spoke to Brian Hall, contractor. He confirmed that the rooms in the basement will be part of the first floor unit. Told him that the proposed expansion of the front porch and steps does not meet the 10' right side setback or the 10' front setback. He might be able to average the front yard but we would need that information.

Location of Construction: 208 EASTERN PROMENADE	Owner Name: NAPOLITANO FRANCIS W & ET	Owner Address: 182 EASTERN PROMENADE	Phone:
Business Name:	Contractor Name: William Hall & Sons	Contractor Address: 334 A Granite St Yarmouth	Phone (207) 846-5042
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

5/13/2008-amachado: Spoke to Brian Hall. At this point he just wants to move forward with the internal changes in the basement. He sent me an email confirming this. He will apply to change the front entry at a later date.

5/21/2008-amachado: Brian Hall submitted new plans for the front porch & stairs so they are part of the permit again.

5/29/2008-jmb: Spoke to Mike C. Designer he will submit revisions on beam sizing, footer for point load, winder code & stair headroom, sill height for egress windows (8x8 headers already exist), fire separation spec for areas opened up between units. Need to call Brian about basement finished ceiling height.

5/30/2008-jmb: Brian came in and we discussed the ceiling height in the basement. We scaled the section and it show 7'-2". The finished ceiling shall be a minimum of 7'. Also, discussed egress requirements for the living/sleeping rooms.

6/2/2008-jmb: Mike C. Submitted revised plans, the only outstanding issues are the sill height at the egress window and the engineers beam calcs. I called Brian H. And he will submit when he picks up the permit.

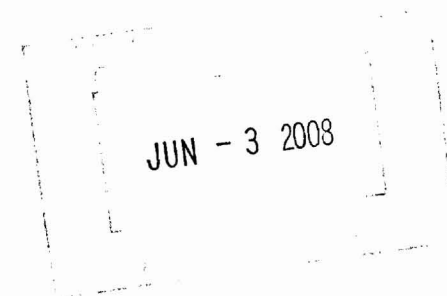


CIVIL & STRUCTURAL ENGINEERING

424 Fore St., Portland, ME 04101 Phone 207.842.2800 Fax 207.842.2828

June 2, 2008

Mr. Brian Hall
334-A Granite Street
Yarmouth, ME 04096



Re: Napolitano Residence – Second floor beam design

Project Number: 8052

Dear Brian:

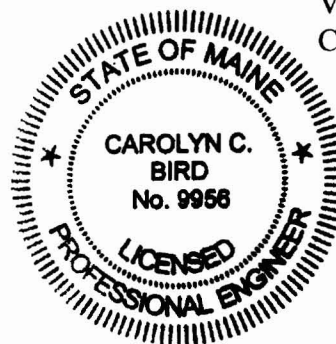
This letter is to confirm that we have analyzed a proposed second floor support beam, 7"x14" LVL, approximately 14'-6" long, to replace a portion of bearing wall. The beam was analyzed in accordance with the IBC International Building Code, Structural loads chapter, for the appropriate residential loading.

Please contact us if you have any additional questions or concerns.

Sincerely,

Eric Dube
President
Casco Bay Engineering

Carolyn C. Bird, P.E.
Vice President
Casco Bay Engineering

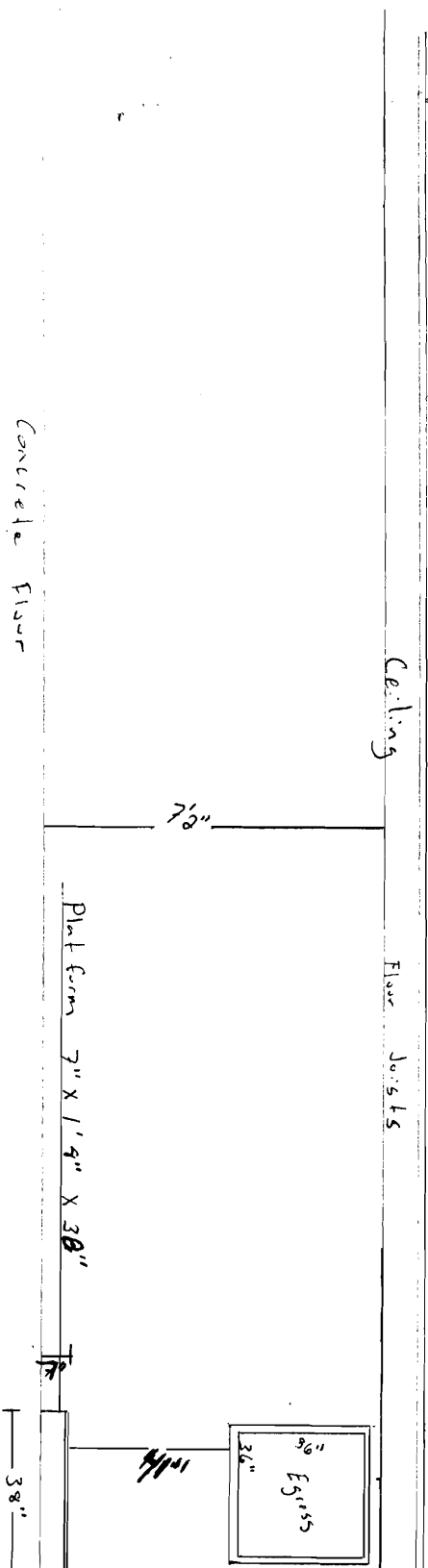


208 Eastern Promenade

Egress Window Detail Platform

Scale: 1/4" = 1'

JUN - 3 2008



Wall next to
Closest



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>208 Eastern Prom</u>		
Total Square Footage of Proposed Structure/Area <u>776 sq. ft.</u>		Square Footage of Lot <u>8,706 sq ft.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>14</u> Block# <u>N</u> Lot# <u>9</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Tony Napolitano</u> Address <u>208 Eastern Promenade</u> City, State & Zip <u>Portland Me. 04101</u>	Telephone: <u>207-541-1990</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>18,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>single family Sunit 1st floor & Basement</u> If vacant, what was the previous use? <u>basement</u> Proposed Specific use: <u>Living Area</u> <u>B. H.</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Renovate a basement into a living area</u> <u>(Extend front Deck) - not part of permit - see cancelled status</u> <u>changes MIB</u>		
Contractor's name: <u>Wm. S. Hall & Sons</u>		
Address: <u>334 A Granite St</u>		
City, State & Zip <u>Yarmouth Me. 04096</u>		Telephone: <u>(202) 816-5042</u>
Who should we contact when the permit is ready: <u>Brian Hall</u>		Telephone: <u>(202) 899-6835</u>
Mailing address: <u>334 A Granite St. Yarmouth Me.</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 4/21/08

This is not a permit; you may not commence ANY work until the permit is issue

Property line 87'
Garden S

Lot is 8700 sq ft. R6
lot size = 8176
→ front setback 10' or average new deck = 3.5'
→ side - 10' - 8' given
OK 1,000 sq ft per dv -
lot coverage = 53%
= 4088
proposed - 2035.31

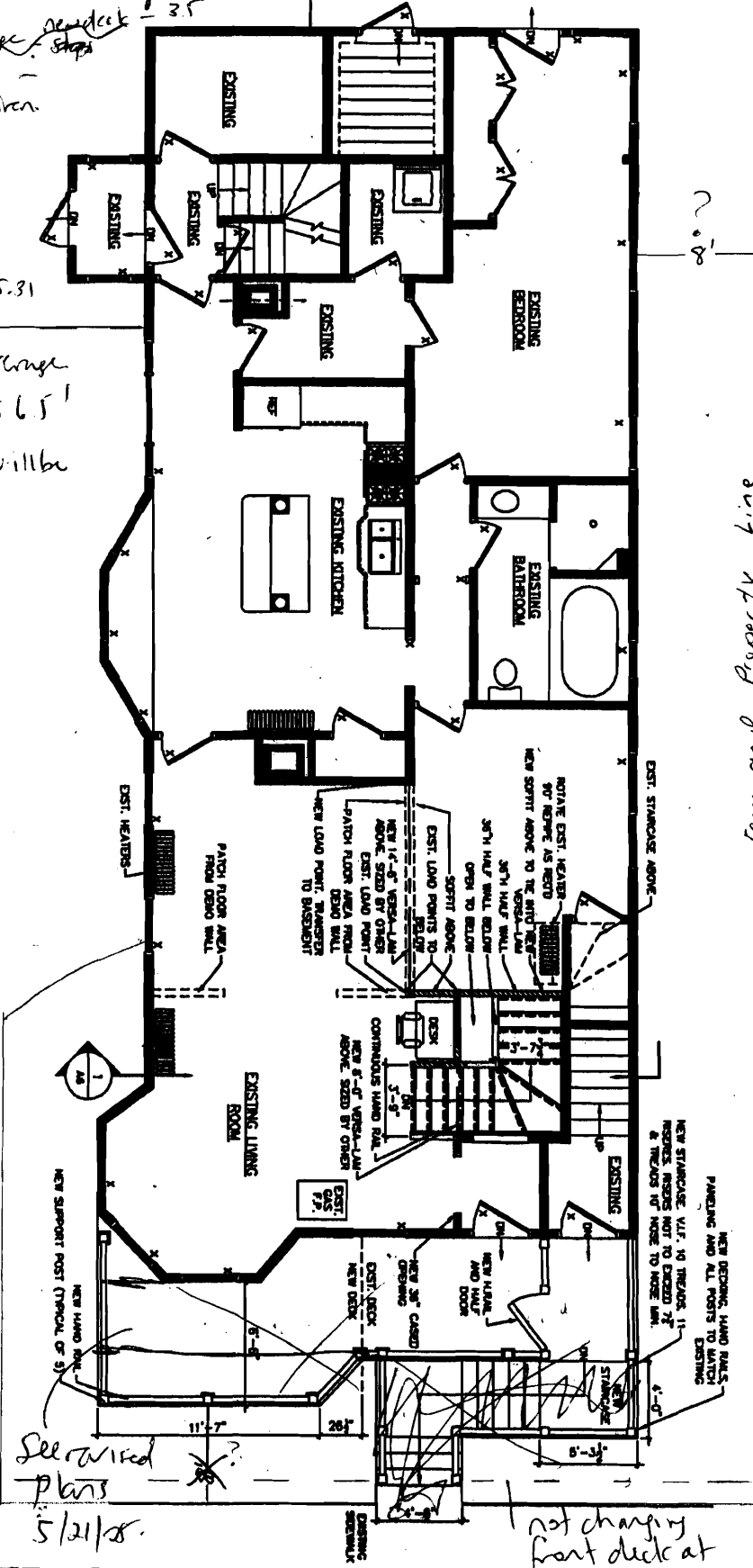
56'0"
- front 10' or average
average is 6.5'
OK new deck will be
7.5'

Property line 100'
Garden S

Parking

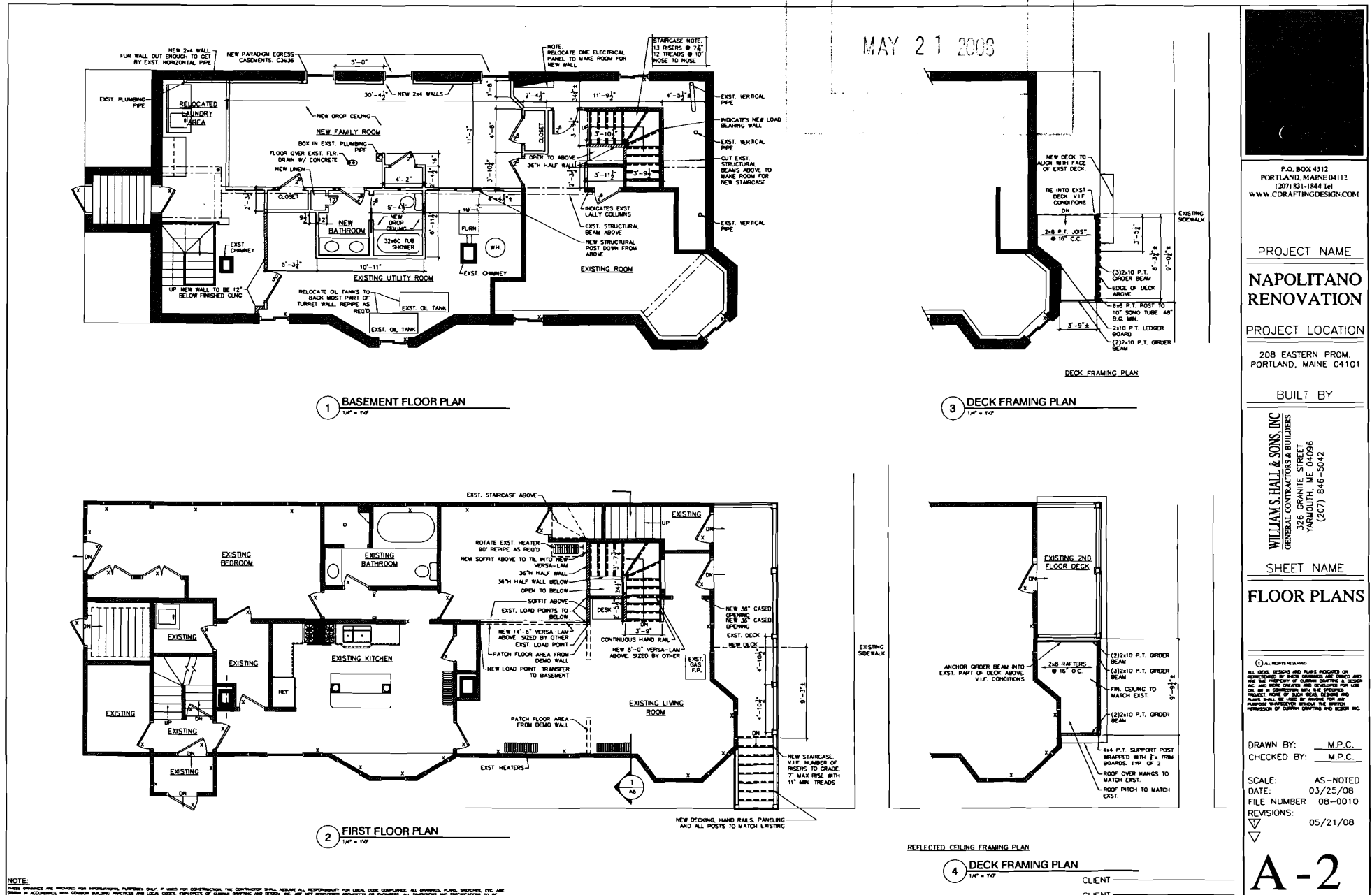
Drive way

Fence and property line



See revised plans
5/21/08.

not changing front deck at this time



NOTE:
 THESE SPECIFICATIONS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL REQUIREMENTS FOR LOCAL CODE COMPLIANCE. ALL DIMENSIONS, PLANS, SECTIONS, ETC., ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, PLANS, SECTIONS, ETC., ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, PLANS, SECTIONS, ETC., ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS AND LOCAL CODES.

P.O. BOX 4512
 PORTLAND, MAINE 04112
 (207) 831-8484 Tel
 WWW.CRAFTINGDESIGN.COM

PROJECT NAME

**NAPOLITANO
 RENOVATION**

PROJECT LOCATION

208 EASTERN PROM.
 PORTLAND, MAINE 04101

BUILT BY

WILLIAMS, HALL & SONS, INC.
 GENERAL CONTRACTORS & BUILDERS
 326 GRANITE STREET
 YARMOUTH, ME 04096
 (207) 846-5042

SHEET NAME

FLOOR PLANS

ALL REVISIONS SHOWN
 ALL SECTIONS AND PLANS INDICATED ON
 PROJECT BY THIS OFFICE ARE OPEN AND
 ARE THE PROPERTY OF WILLIAMS, HALL &
 SONS, INC. ANY CHANGES AND REVISIONS FOR THE
 PROJECT MUST BE MADE BY REVISING THIS SET
 OF PLANS. NO PART OF THESE PLANS OR ANY
 INFORMATION CONTAINED HEREIN IS TO BE
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 BY ANY MEANS, WITHOUT THE WRITTEN
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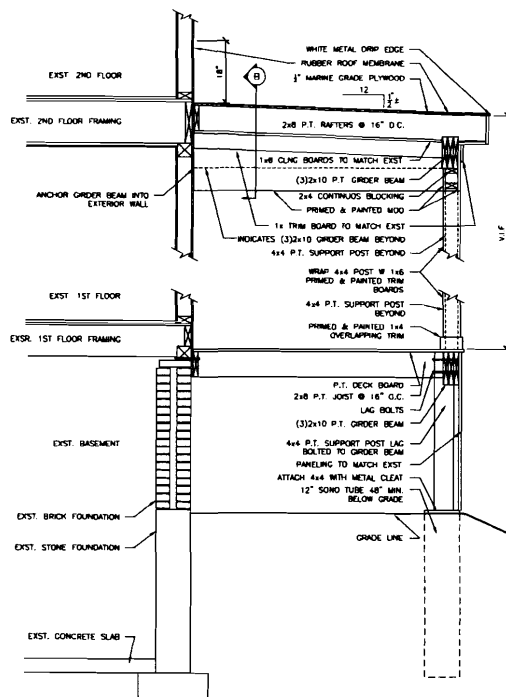
DRAWN BY: M.P.C.

CHECKED BY: M.P.C.

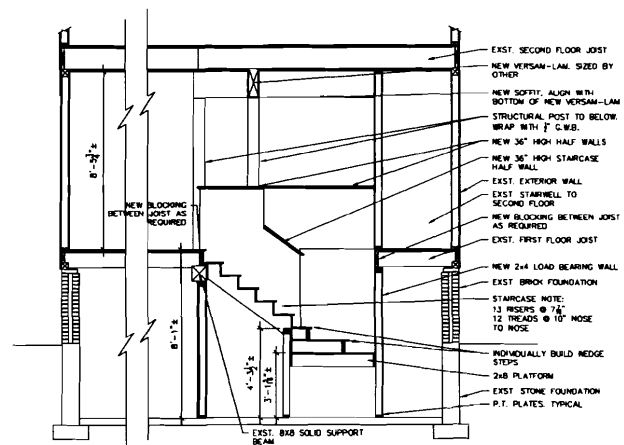
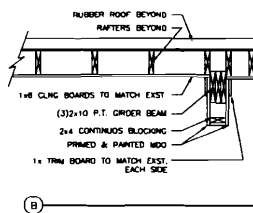
SCALE: AS-NOTED
 DATE: 03/25/08
 FILE NUMBER: 08-0010
 REVISIONS: 05/21/08

A-2

CLIENT _____
 CLIENT _____



2 PORCH CROSS SECTION
1/4" = 1'-0"



1 HOUSE CROSS SECTION
3/8" = 1'-0"

P.O. BOX 4512
 PORTLAND, MAINE 04112
 (207) 831-1844 Tel
 WWW.CDRAFTINGDESIGN.COM

PROJECT NAME

**NAPOLITANO
 RENOVATION**

PROJECT LOCATION

208 EASTERN PROM.
 PORTLAND, MAINE 04101

BUILT BY

WILLIAMS HALL & SONS INC
 GENERAL CONTRACTORS & BUILDERS
 1706 GRANITE STREET
 YARMOUTH, ME 04095
 (207) 846-5042

SHEET NAME

**CROSS
 SECTIONS**

ALL NOTES REQUIRED
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 PROJECT: HOME OF BUCK SEAL DESIGN AND
 PLANS SHALL BE USED BY OTHERS FOR ANY
 PURPOSE WITHOUT THE WRITTEN
 PERMISSION OF WILLIAMS HALL & SONS INC.

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 CHECKED BY: M.P.C.

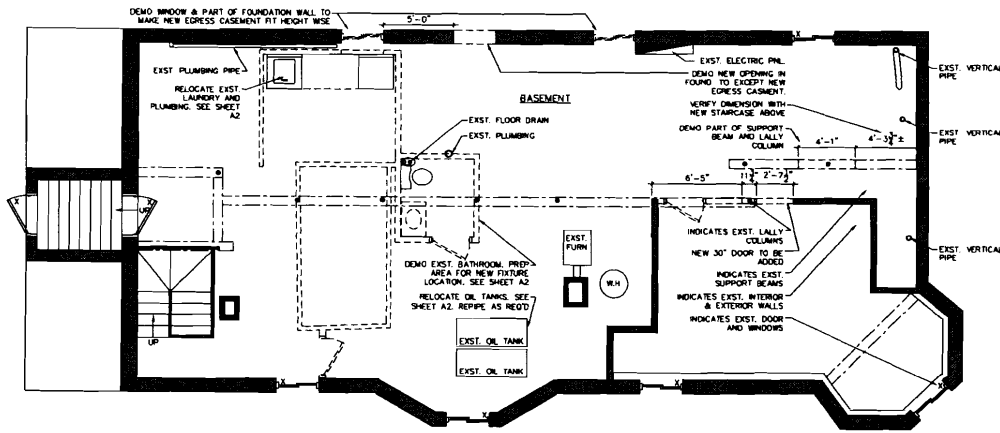
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 DATE: 03/25/08
 FILE NUMBER 08-0010
 REVISIONS: 05/21/08

A-3

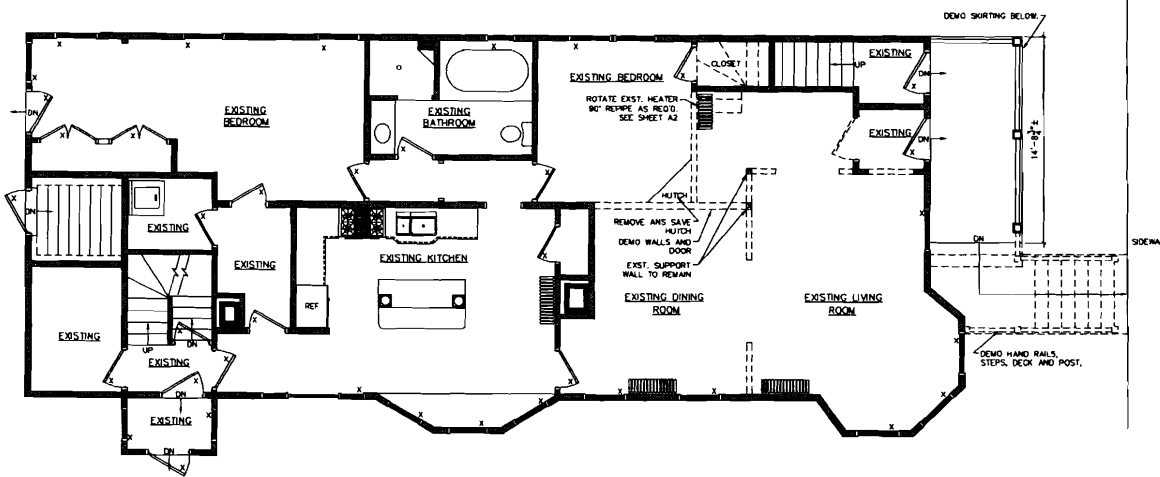
CLIENT
 CLIENT

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MAY 21 2008



1 BASEMENT DEMO PLAN
1/4" = 1'-0"



2 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"

MAY 21 2008

P.O. BOX 4512
PORTLAND, MAINE 04112
(207) 83-1844 Td
WWW.CORRAFTINGDESIGN.COM

PROJECT NAME

NAPOLITANO
RENOVATION

PROJECT LOCATION

208 EASTERN PROM.
PORTLAND, MAINE 04101

BUILT BY

WILLIAMS, HALL & SONS, INC.
GENERAL CONTRACTORS & BUILDERS
326 GRANITE STREET
YARBOURTH, ME 04096
(207) 846-5042

SHEET NAME

DEMO PLANS

Ⓞ ALL RIGHTS RESERVED

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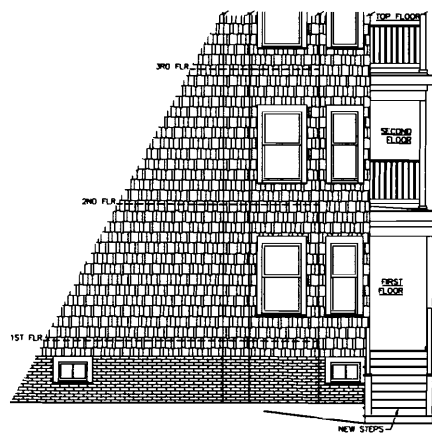
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CHECKED BY: M.P.C.

SCALE: AS-NOTED
DATE: 03/25/08
FILE NUMBER 08-0010
REVISIONS: 05/21/08

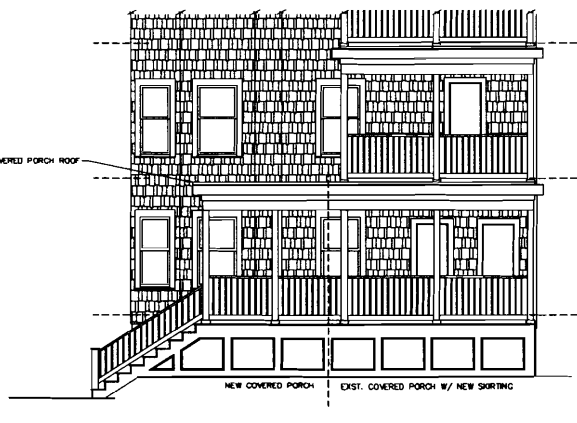
D-1

NOTE:
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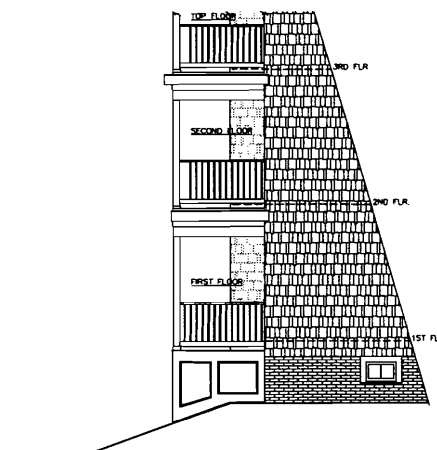
CLIENT _____
CLIENT _____



2 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



4 RIGHT SIDE ELEVATION
1/4" = 1'-0"

12 WHITE PINE WAY
FALMOUTH, MAINE 04115
(207) 831-1864 TEL
COO@MAINE.BR.COM

PROJECT NAME

**NAPOLITANO
RENOVATION**

PROJECT LOCATION

208 EASTERN PROM.
PORTLAND, MAINE 04101

BUILT BY

WILLIAMS HALL & SONS INC
GENERAL CONTRACTORS & BUILDERS
326 COUNTRY CLUB STREET
YARMOUTH, ME 04096
(207) 846-5042

SHEET NAME

ELEVATIONS

ALL REVISIONS REQUIRED
ALL REVISIONS AND PLANS INCORPORATED ON
REVISIONS BY THESE DRAWINGS ARE OWNED AND
ARE THE PROPERTY OF CLAYTON GARDNER & SONS
AND SHALL REMAIN THE PROPERTY OF CLAYTON GARDNER &
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INFORMATION STORAGE AND RETRIEVAL SYSTEM,
WITHOUT THE WRITTEN PERMISSION OF
CLAYTON GARDNER & SONS.

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CHECKED BY: M.P.C.

SCALE: AS-NOTED
DATE: 03/25/08
FILE NUMBER 08-0010
REVISIONS: 05/21/08

▽

A-1

CLIENT _____
CLIENT _____

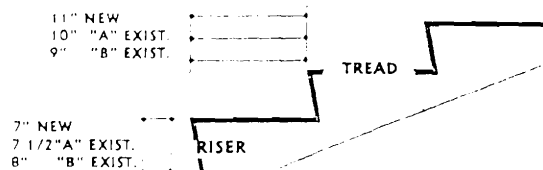
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UNLESS OTHERWISE NOTED. THE CLIENT, BY CONSTRUCTION, CANNOT DENY, AND ACCEPTS, IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS MADE BY THE CLIENT AND/OR CONTRACTOR.

MAY 21 2008

STAIR CONSTRUCTION GUARD CONSTRUCTION

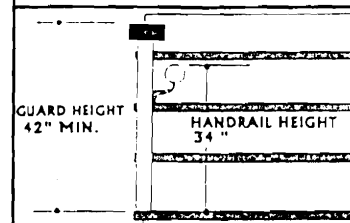
Stairs and guards are important components in the means of egress and proper design and construction will aid in occupants arriving at exits safely. The information contained in this sheet is a pictorial presentation to assist with the proper design of new and the reconstruction of existing components.

RISER and TREAD



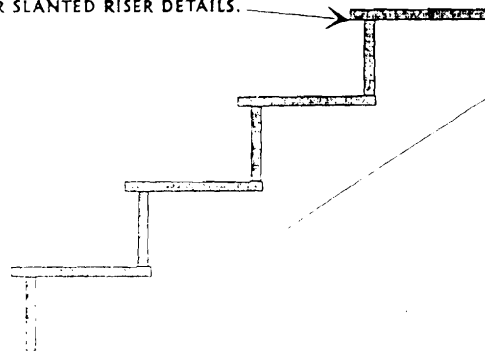
STAIR DIMENSIONS

	NEW
MAX. RISER HEIGHT	7"
MIN. TREAD DEPTH	11"
MIN. WIDTH OF STAIR < 50 OCCUPANTS	36"
WITH 50 OR MORE OCCUPANTS	44"
IF USED FOR UPWARD AREA OF REFUGE	48"
MAX. VERTICAL HEIGHT BETWEEN LANDINGS	12'-0"

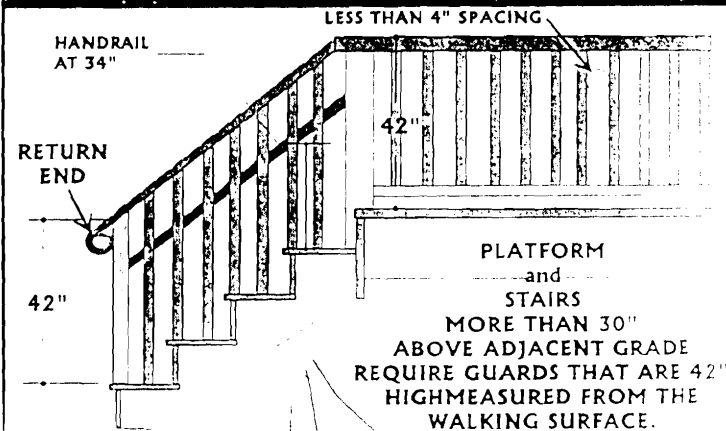


STAIR NOSINGS

PROTRUDING NOSINGS ARE NOT ALLOWED ON NEW STAIRS. THEY FORM TRIPPING HAZARDS. SEE FIGURE 1 FOR SLANTED RISER DETAILS.



GUARD HEIGHTS and BALUSTER SPACING

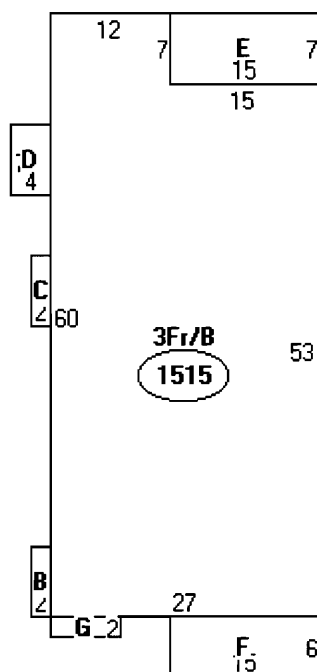


RISER HEIGHT AND TREAD DEPTHS MUST BE UNIFORM IN HEIGHT WITH NO VARIATION GREATER THAN 3/16". GREATER DIFFERENCES CAN CAUSE PEOPLE TO MISJUDGE AND STUMBLE WHILE ASCENDING AND DESCENDING FLIGHTS OF STAIRS. THE TOLERANCE BETWEEN THE LARGER AND SMALLER RISER AND/OR THE LARGER AND SMALLER TREAD SHALL NOT EXCEED 3/8".

FOR MORE DETAILS AND REQUIREMENTS SEE CHAPTER 5 OF THE NATIONAL FIRE PROTECTION ASSOCIATION 101 LIFE SAFETY CODE.

NOTES:





Descriptor/Area

A: 3Fr/B
1515 sqft
B: 3FBAY/B
14 sqft
C: 3FBAY/B
14 sqft
D: EP
28 sqft
E: EP/EP/EP
105 sqft
F: 3sOP
90 sqft
G: 3FBAY/B
14 sqft

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

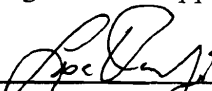
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

6-3-08
Date



Signature of Inspections Official

6/3/08
Date

Congress St.

3' back
from main.

Side Walk

7'

6'

10'
To side
walk

13'

9' From Pin

12'

48'

25 Congress St.

208 Eastern Prom

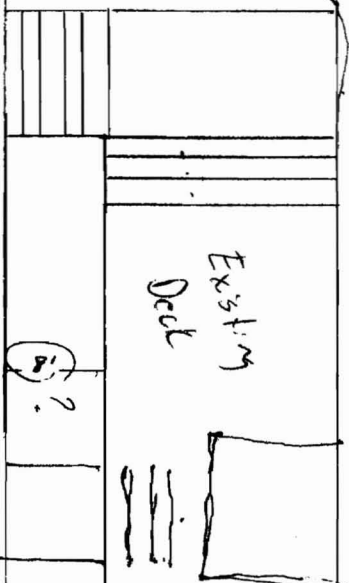
St.

48'

12'

sun pin

side walk



Eastern Promenade