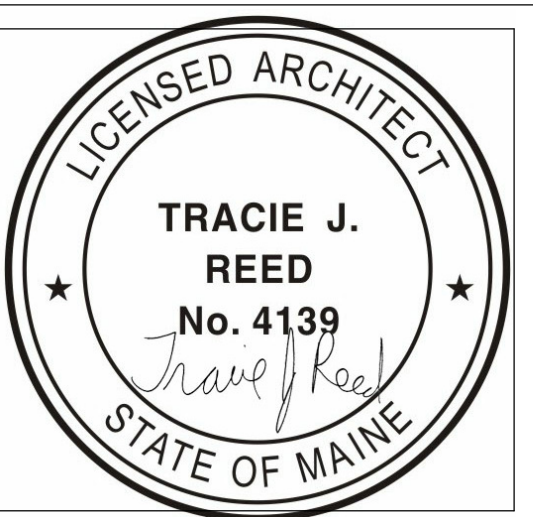




Reviewed for Code Compliance
 Permitting and Inspections Department
 Approved with Conditions
 12/07/2018



75 Quebec Street
 RENOVATION | 4-UNIT CONDO

OWNER
 PRICE & OAKIE JONES
 75 QUEBEC STREET LLC
 154 MORTON RD
 YARMOUTH ME 04096



**DEXTRIOUS
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GENERAL CONTRACTOR
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No.	Description	Date

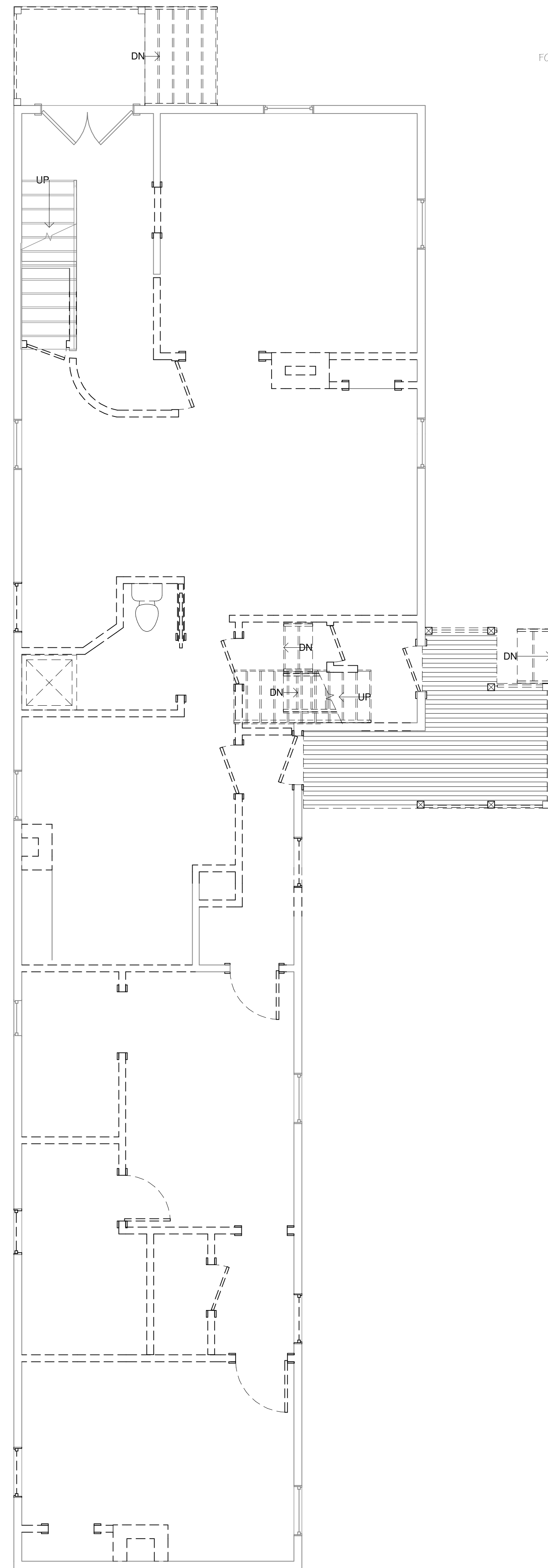
First Floor Plans

Project number 18-07_75 Quebec
 Date 08.14.18
 Drawn by T.J.R.
 Checked by T.J.R.

A-1.1

Scale 1/4" = 1'-0"

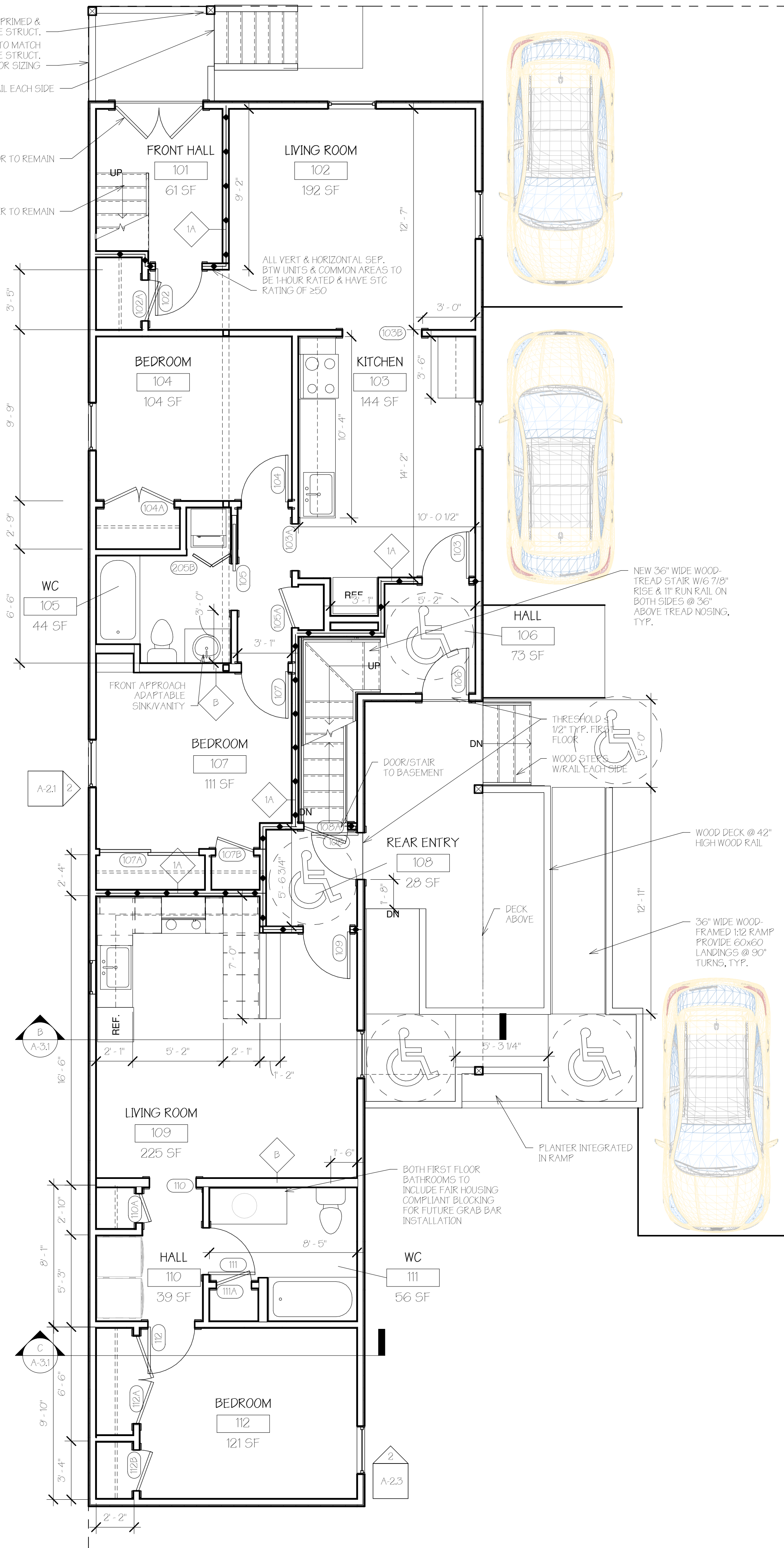
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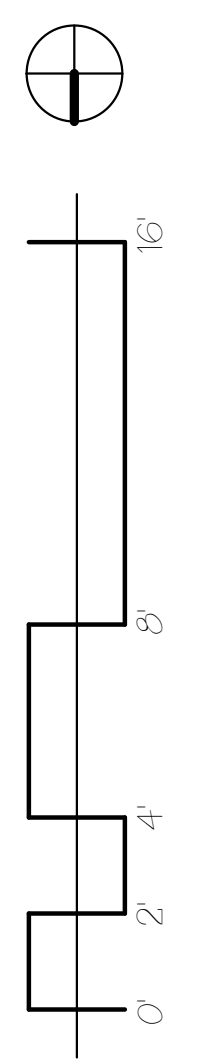
(A) First Floor Existing/Demo
 1/4" = 1'-0"

ENGINEERED POSTS WRAPPED W/PRE-PRIMED & PAINTED TRIM, TYP. SEE STRUCT.
 NEW WOOD-FRAMED ENTRANCE PORCH W/42" HIGH RAIL TO MATCH FOOTPRINT OF EXISTING W/SECOND FLOOR BALCONY ABOVE. SEE STRUCT. FOR SIZING.
 NEW WOOD-FRAMED STAIRS W/HANDRAIL EACH SIDE

EXISTING ENTRANCE DOOR TO REMAIN
 EXISTING STAIR TO REMAIN

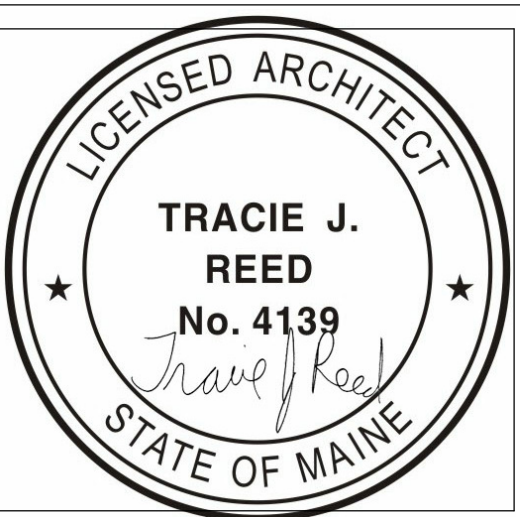


(B) First Floor
 1/4" = 1'-0"





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12/07/2018



75 Quebec
Street
RENOVATION 1 4-UNIT CONDO

OWNER
JAYE & OAKIE JONES
75 QUEBEC STREET LLC
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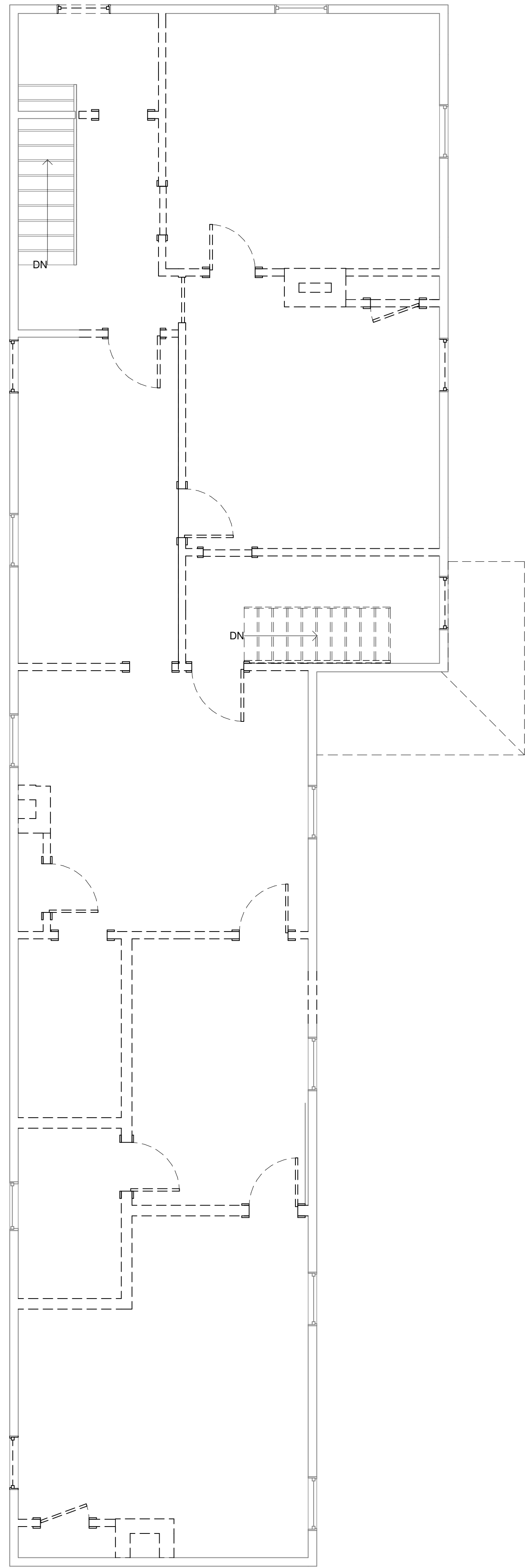
No.	Description	Date

**Second Floor
Plans**

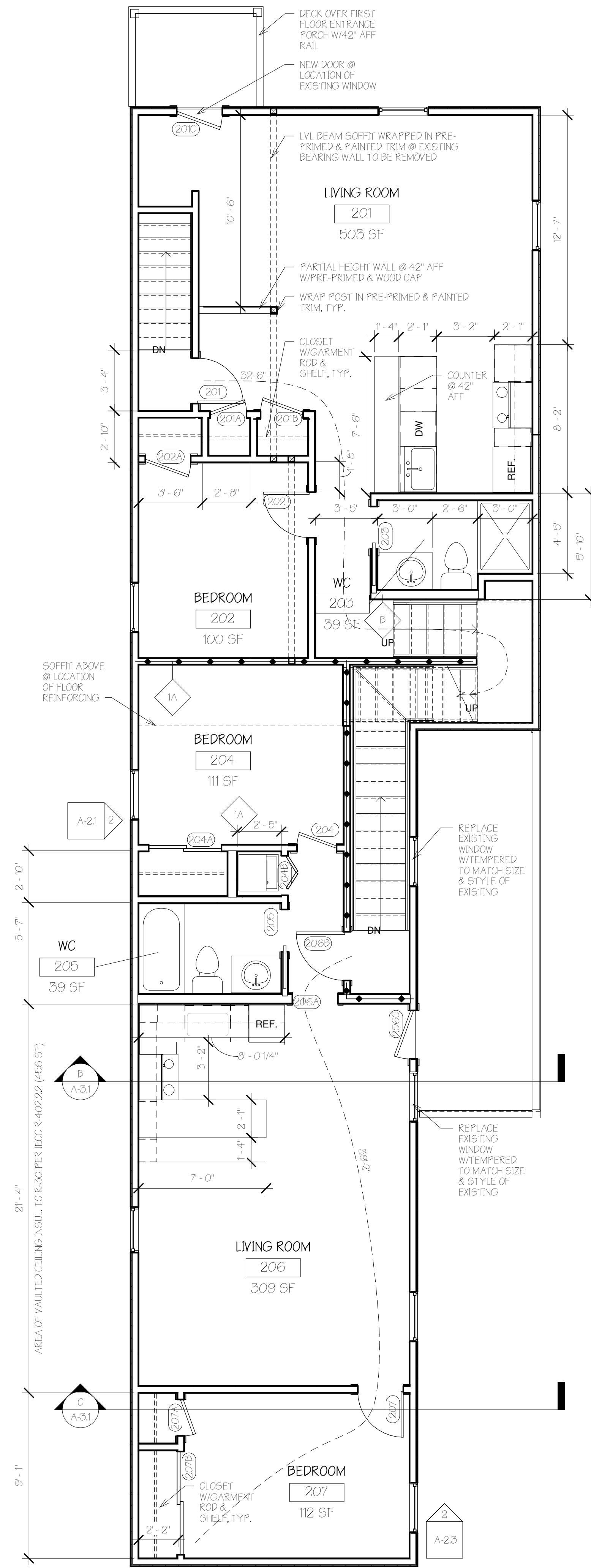
Project number 18-07_75 Quebec
Date 08.14.18
Drawn by TJR
Checked by TJR

A-1.2

Scale 1/4" = 1'-0"



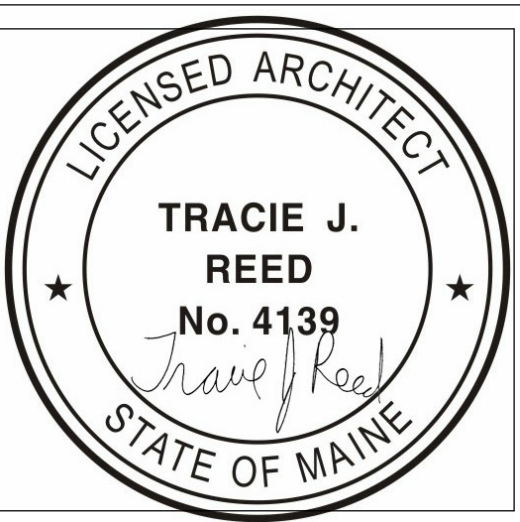
(A) Second Floor Existing/Demo
1/4" = 1'-0"



(B) Second Floor
1/4" = 1'-0"



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
12/07/2018



75 Quebec
Street
RENOVATION 1 4-UNIT CONDO

OWNER
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154 MORTON RD
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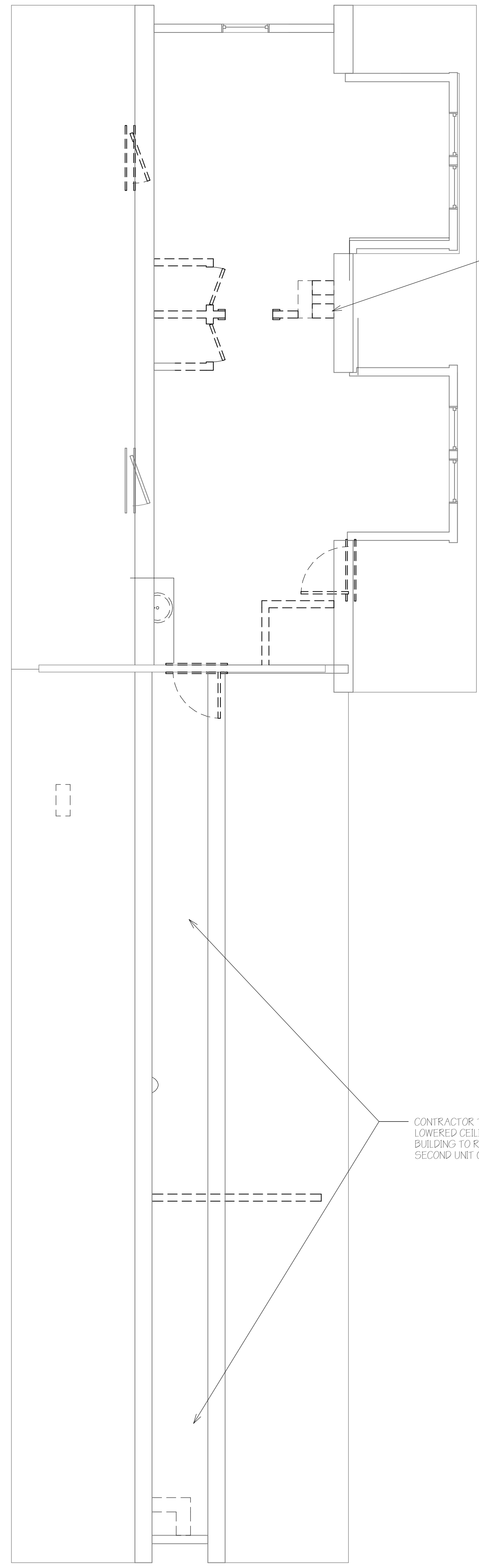
No.	Description	Date

Third Floor Plans

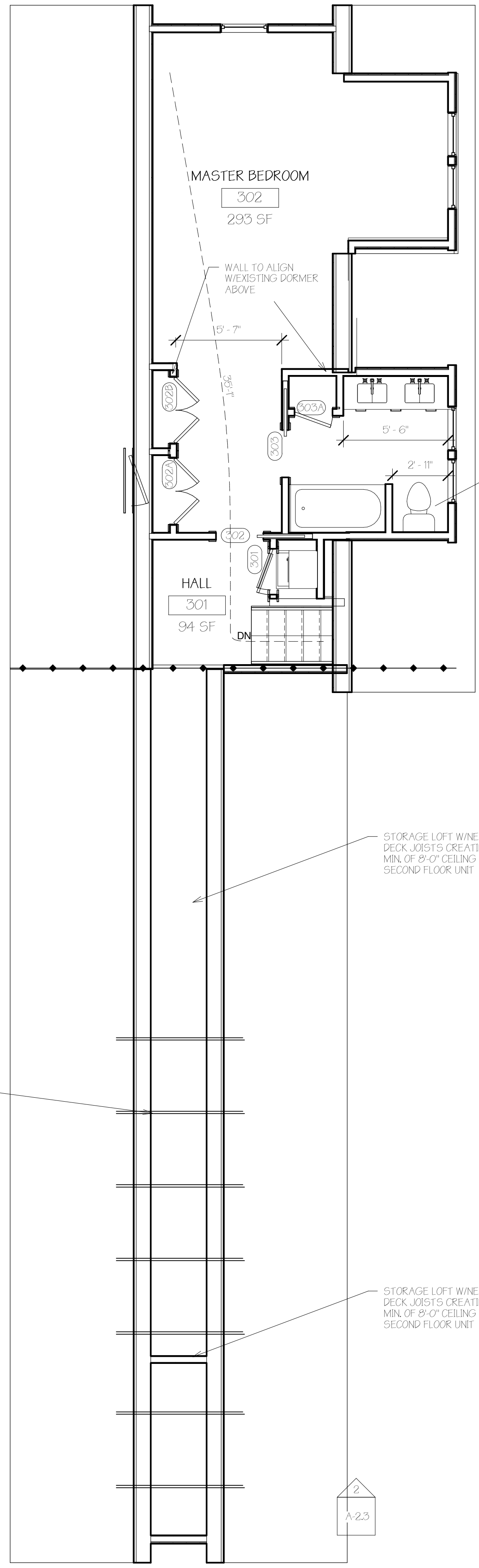
Project number 18-07_75 Quebec
Date 08.14.18
Drawn by T.J.R.
Checked by T.J.R.

A-1.3

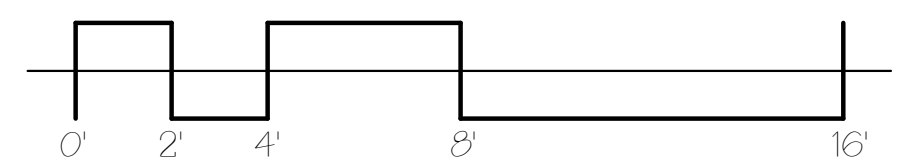
Scale 1/4" = 1'-0"



(A) Third Floor Existing/Demo
1/4" = 1'-0"

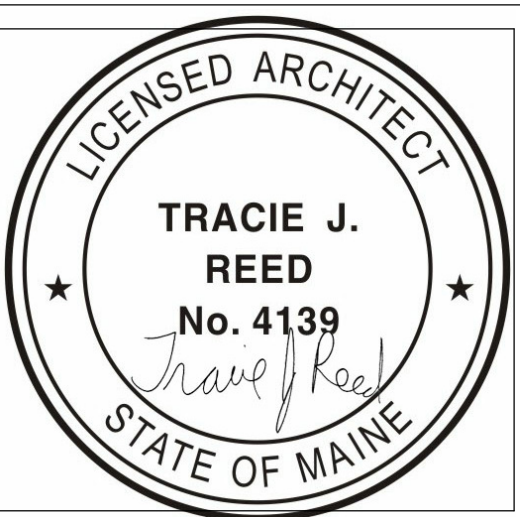


(B) Third Floor
1/4" = 1'-0"





Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
A-22: 12/07/2018



75 Quebec
Street
RENOVATION 1 4-UNIT CONDO

OWNER
DAVE & OAKIE JONES
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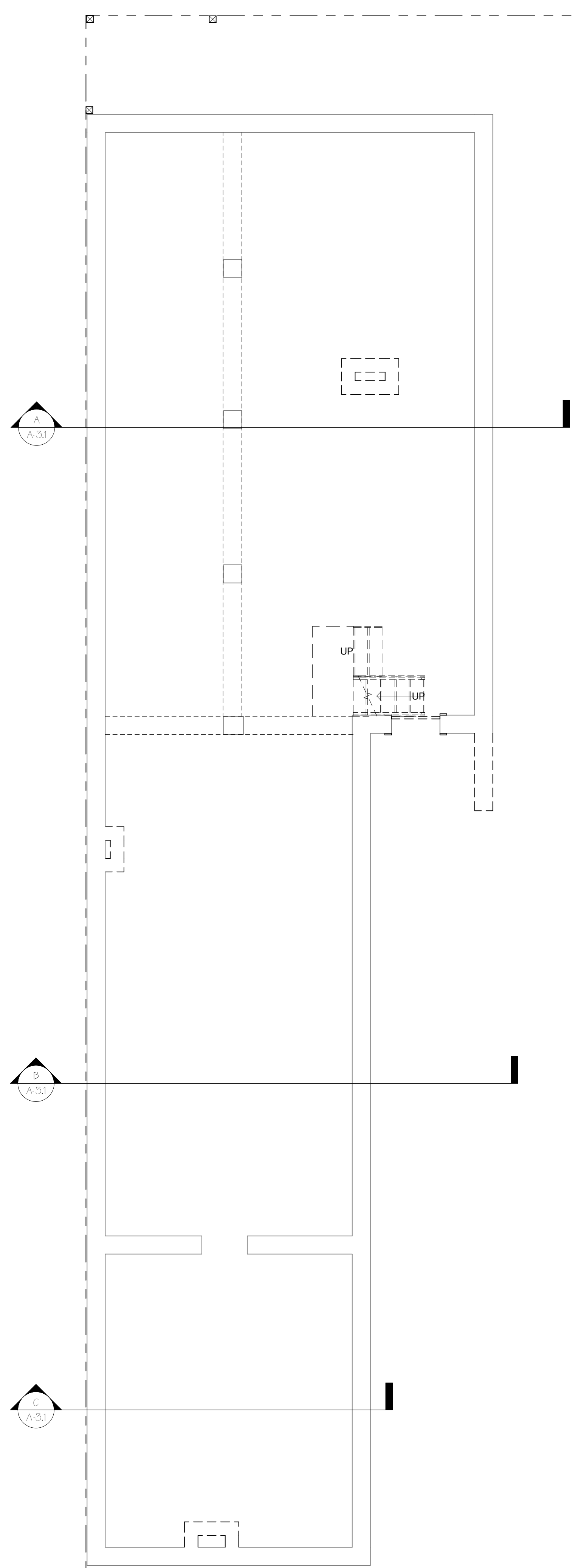
No.	Description	Date

Basement Plans

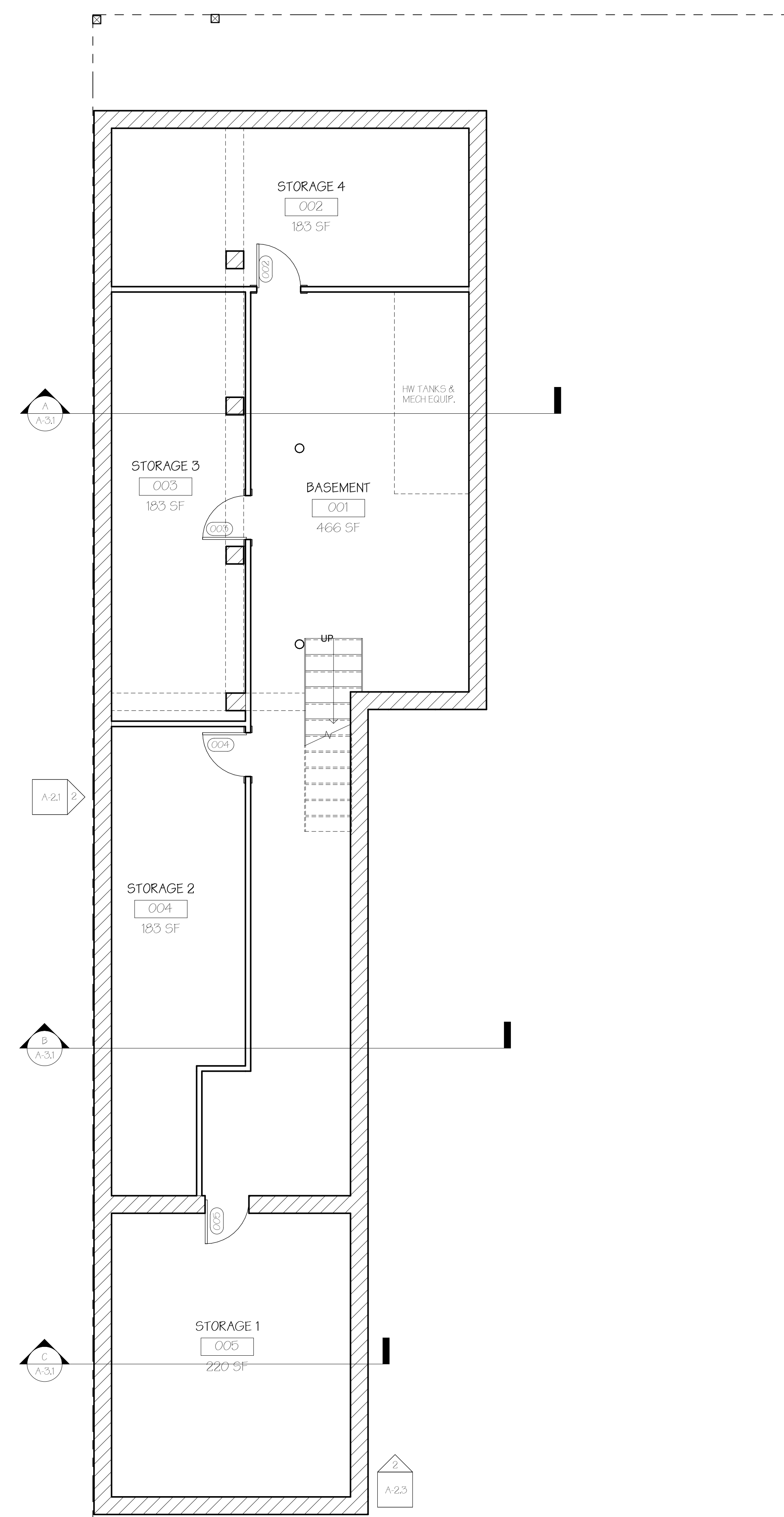
Project number	18-07_75 Quebec
Date	08.14.18
Drawn by	Author
Checked by	Checker

A-1.4

Scale: 1/4" = 1'-0"



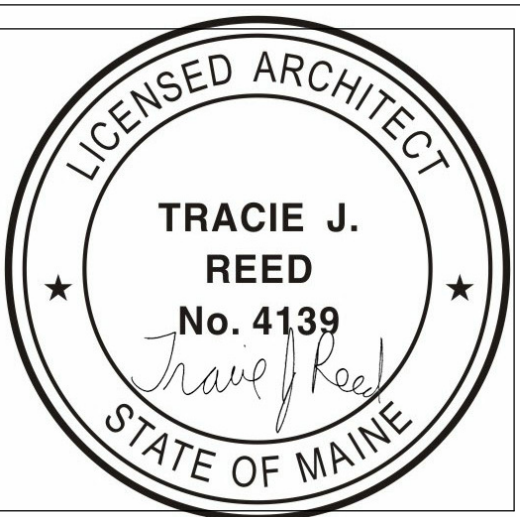
(A) Basement Plan Existing/Demo
1/4" = 1'-0"



(B) Basement Plan
1/4" = 1'-0"



Reviewed for Code Compliance
Permitting and Inspections Department
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12/07/2018



75 Quebec
Street
RENOVATION 1 4-UNIT CONDO

OWNER
PITKE & OAKIE JONES
75 QUEBEC STREET LLC
154 MORTON RD
YARMOUTH ME 04096



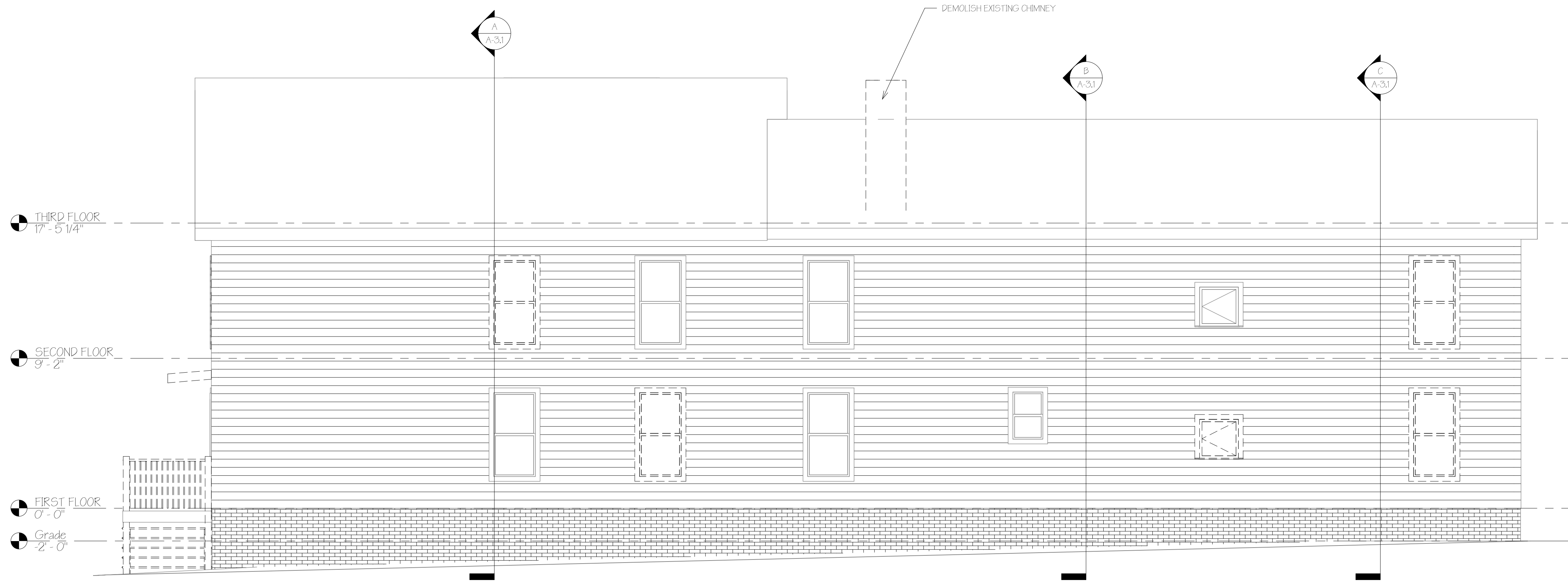
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TRACIE REED, ARCHITECT
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traciereed@dextrouscreative.com
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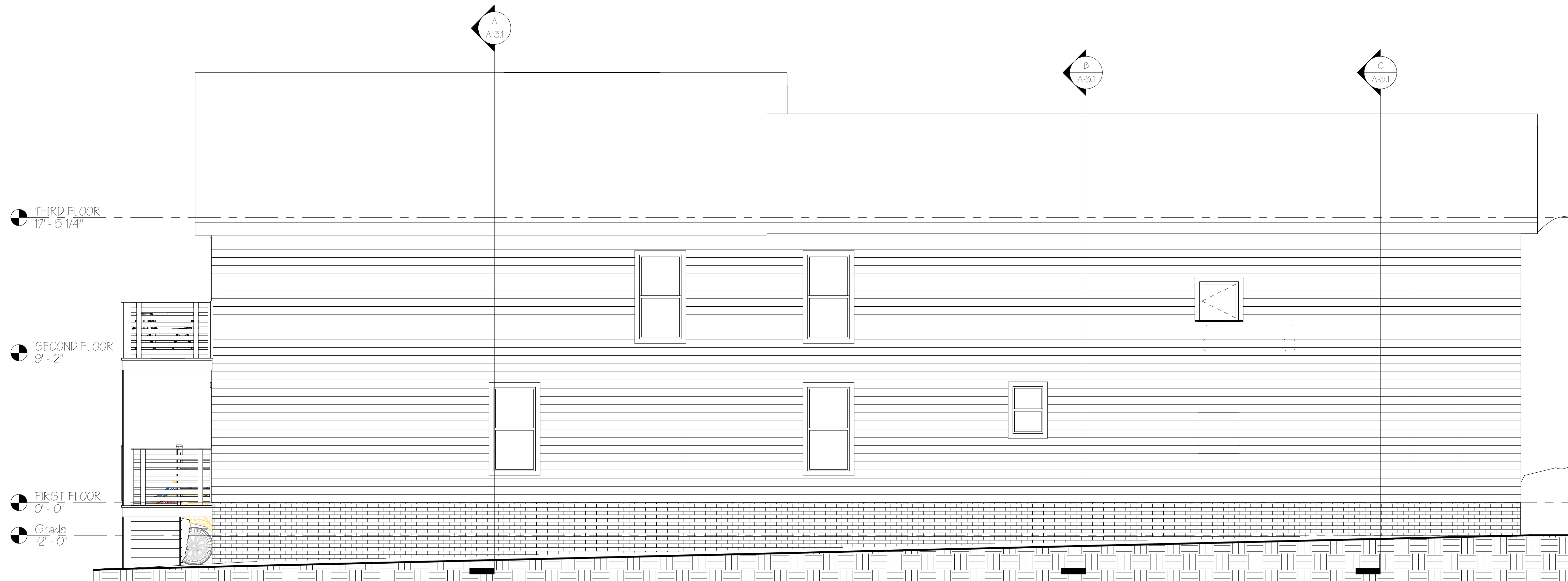
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② East Elevation Existing/Demo
1/4" = 1'-0"



① East Elevation
1/4" = 1'-0"

BUILDING CODE NOTES
CONTRACTOR TO ENSURE WINDOWS MEET IBC-2015 REQUIREMENTS IN SECTION 2406, SAFETY GLAZING. NEW WINDOWS TO MEET ICC-2009 U-FACTORS AND SHGC RATINGS. NOTE THAT GLAZING IN SHOWER AREAS MUST MEET SAFETY GLAZING STANDARD.

CONTRACTOR TO ENSURE MIN. OF (1) BEDROOM WINDOW TO MEET OR EXCEED ESCAPE & RESCUE OPENING REQ. OF 5.7 SF OF NET CLEAR OPENING PER IBC 1030.2 WITH THE CLEAR OPENING UNDER 44" FROM THE FINISHED FLOOR PER 1030.3 IN EACH SLEEPING ROOM.

No.	Description	Date

East Elevation

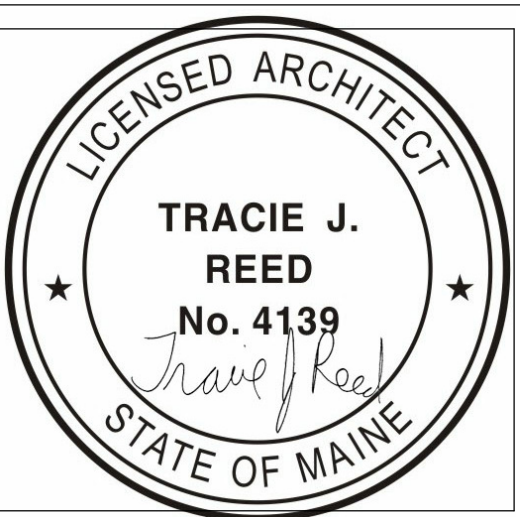
Project number	18-07_75 Quebec
Date	08.14.18
Drawn by	TJR
Checked by	TJR

A-2.1

Scale 1/4" = 1'-0"



Reviewed for Code Compliance
Permitting and Inspections Department
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12/07/2018



75 Quebec
Street
RENOVATION 1 4-UNIT CONDO

OWNER
TRACIE & OAKIE JONES
75 QUEBEC STREET LLC
154 MORTON RD
YARMOUTH ME 04096



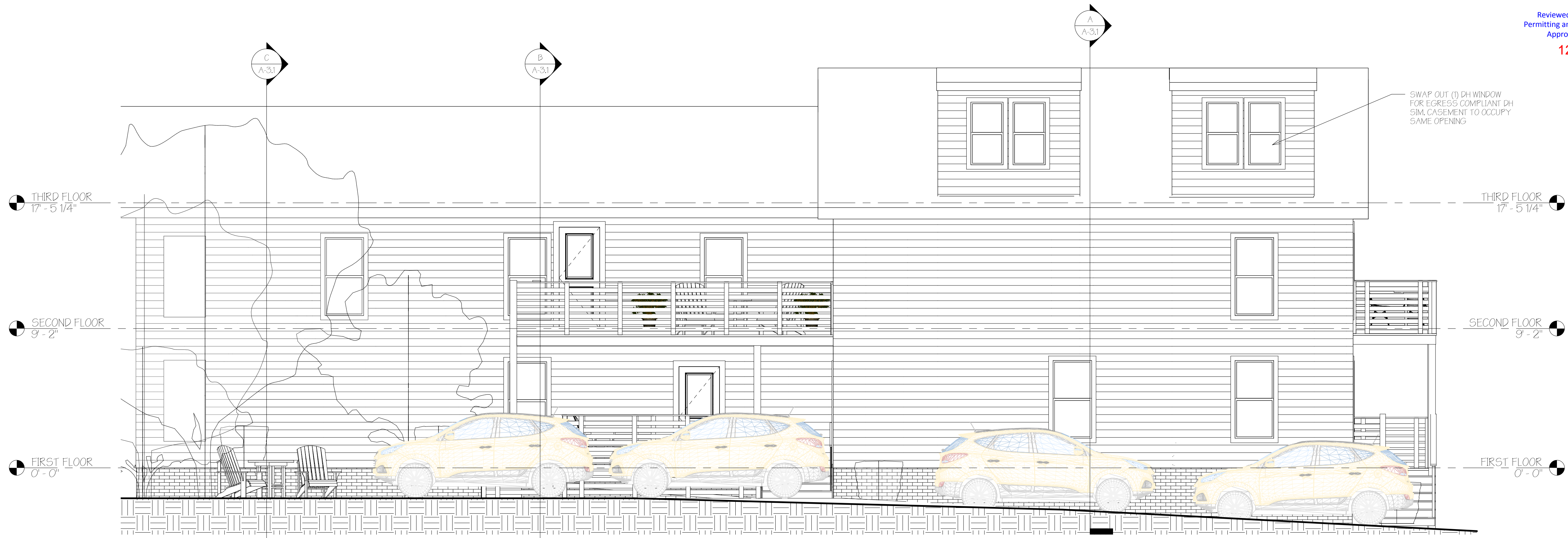
**DEXTRIOUS
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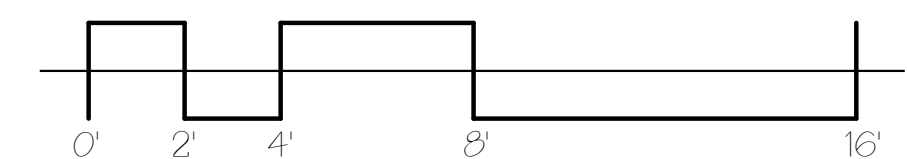
① West Elevation
1/4" = 1'-0"



② West Elevation Existing/Demo
1/4" = 1'-0"

BUILDING CODE NOTES
CONTRACTOR TO ENSURE WINDOWS MEET IBC-2015 REQUIREMENTS IN SECTION 2403, SAFETY GLAZING. NEW WINDOWS TO MEET IECC-2009 U-FACTORS AND SHGC RATINGS. NOTE THAT GLAZING IN SHOWER AREAS MUST MEET SAFETY GLAZING STANDARD.

CONTRACTOR TO ENSURE MIN. OF (1) BEDROOM WINDOW TO MEET OR EXCEED ESCAPE & RESCUE OPENING REQ. OF 5.7 SF OF NET CLEAR OPENING PER IBC 1030.2 WITH 80 THE CLEAR OPENING UNDER 44" FROM THE FINISHED FLOOR PER 1030.3 IN EACH SLEEPING ROOM.



No.	Description	Date

West Elevation

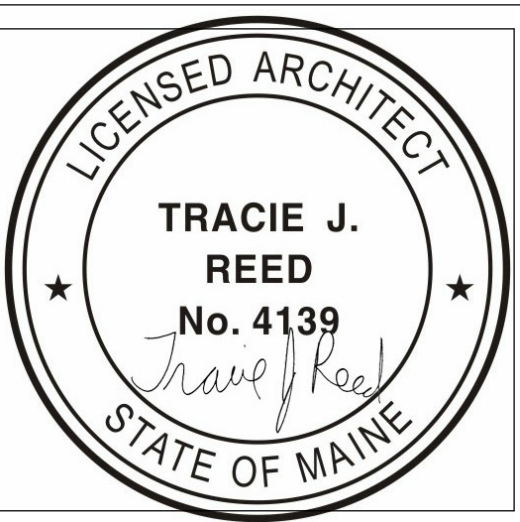
Project number 18-07_75 Quebec
Date 08.14.18
Drawn by T.J.R.
Checked by T.J.R.

A-2.2

Scale 1/4" = 1'-0"



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Permitting and Inspections Department
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75 Quebec
Street
RENOVATION 1 4-UNIT CONDO

OWNER
DIXIE & OAKIE JONES
75 QUEBEC STREET LLC
154 MORTON RD
YARMOUTH ME 04096



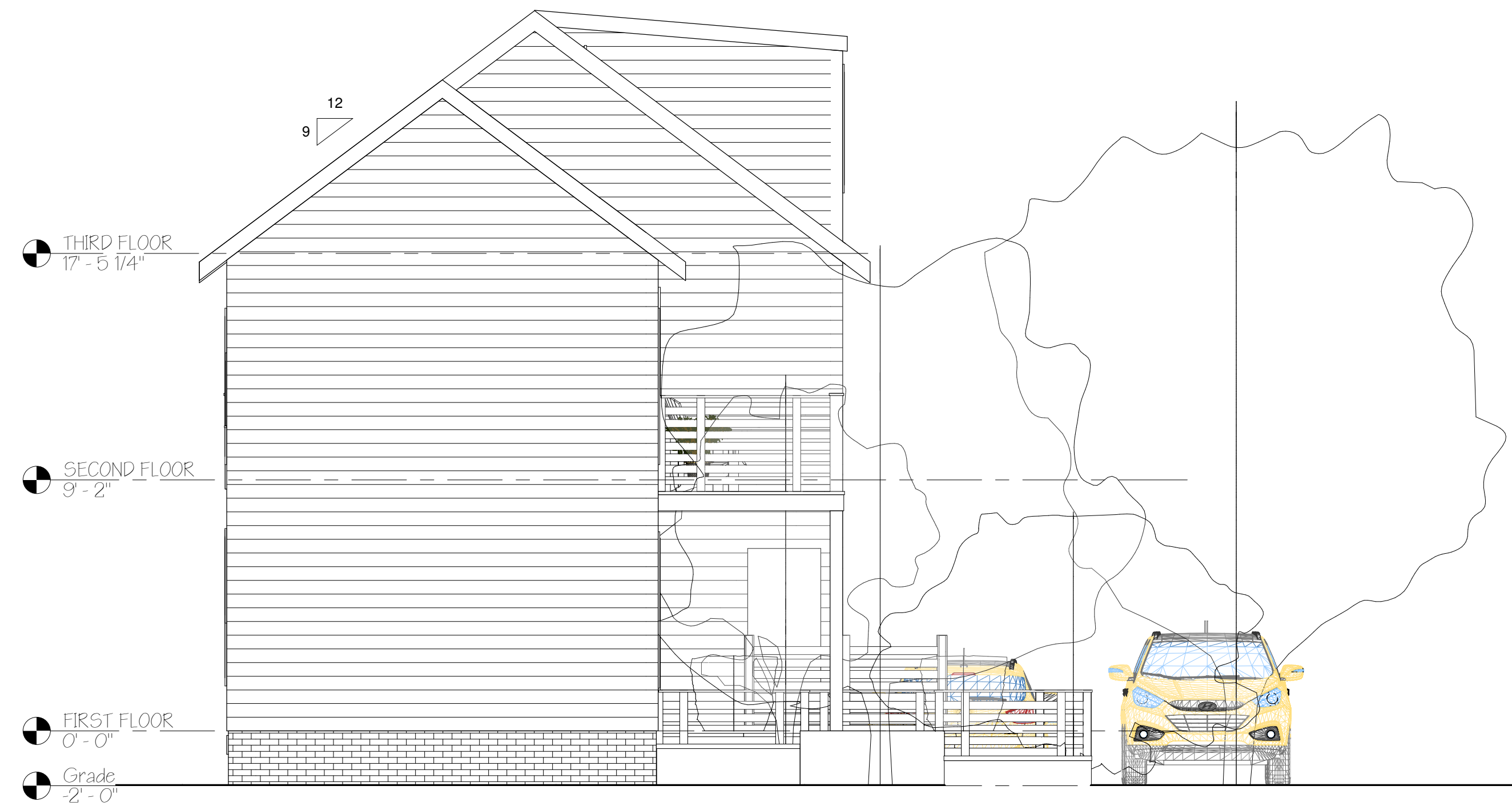
**DEXTRIOUS
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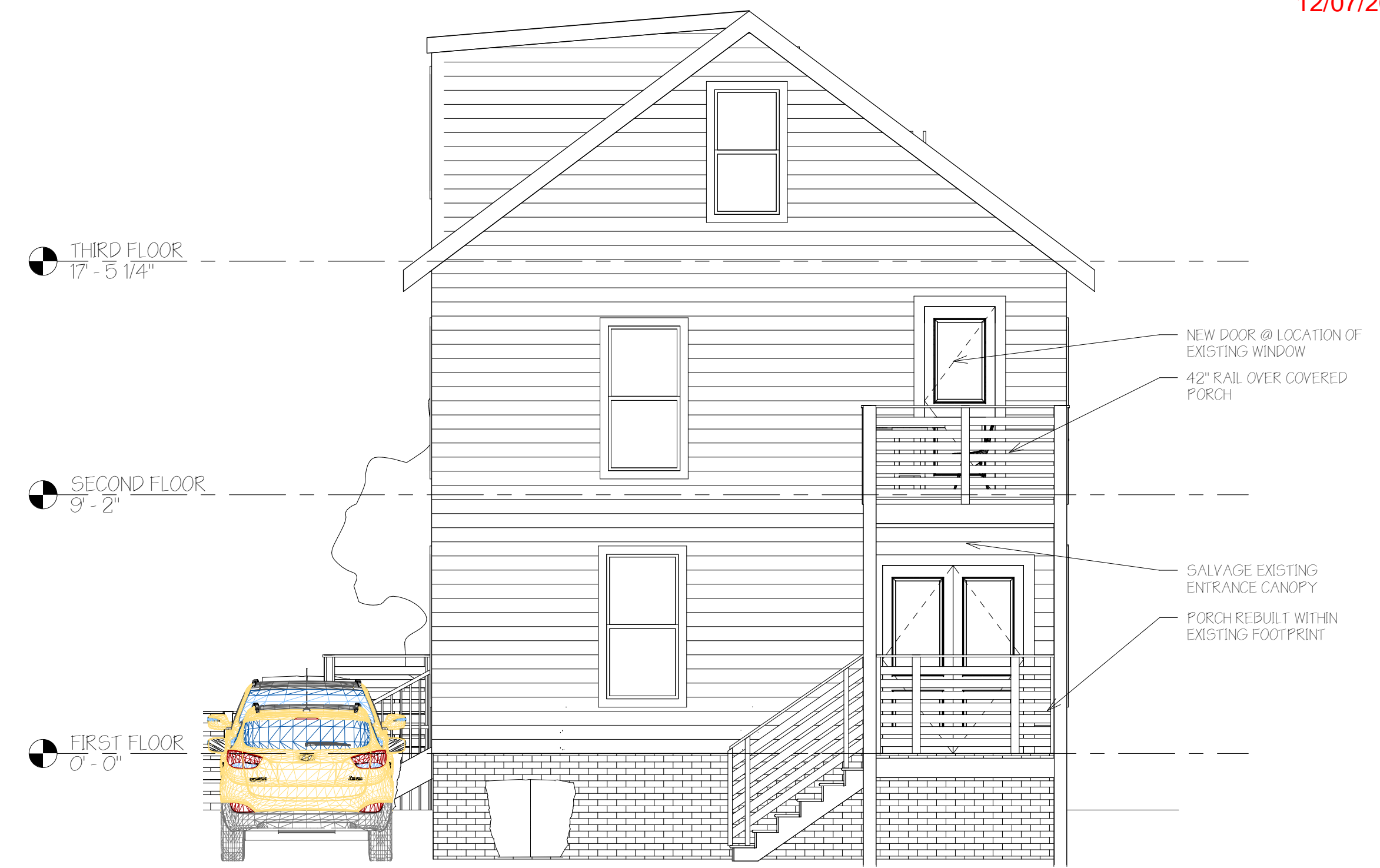
PROJECT TEAM

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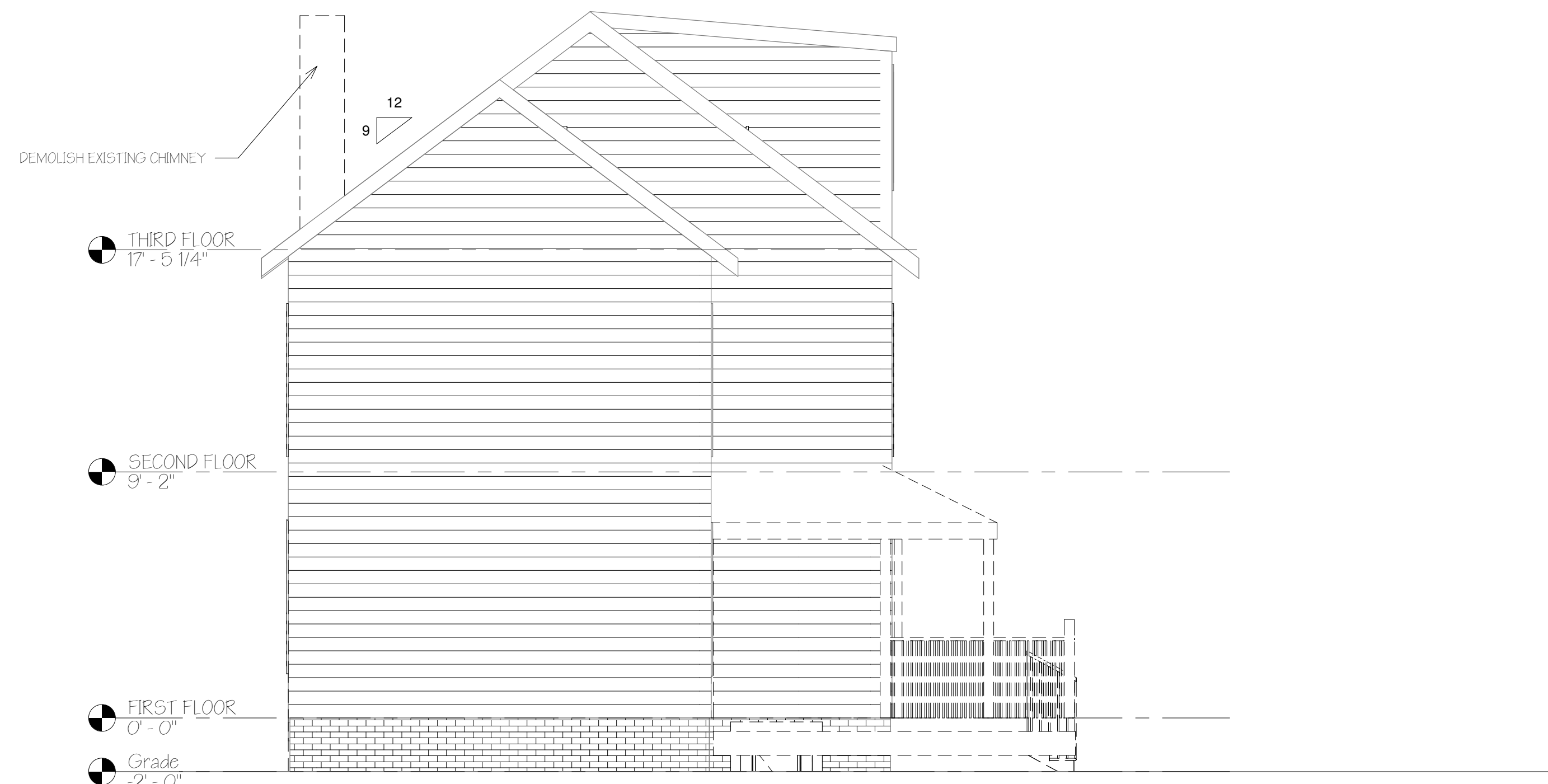
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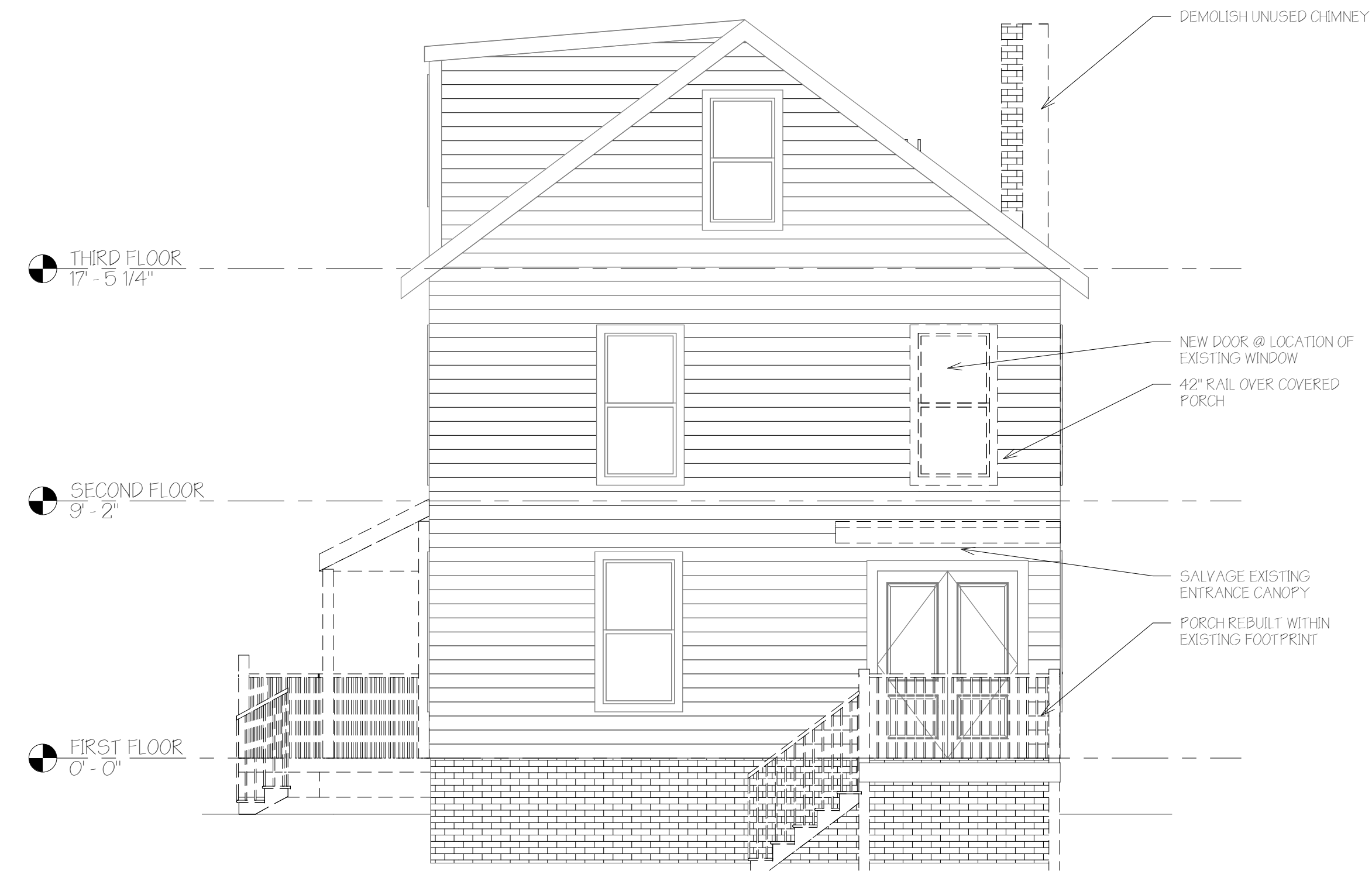
(A) North Elevation
1/4" = 1'-0"



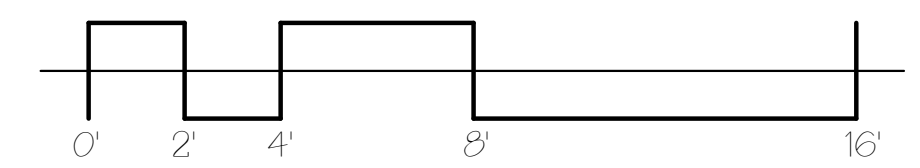
(B) South Elevation
1/4" = 1'-0"



(2) North Elevation Existing/Demo
1/4" = 1'-0"



(1) South Elevation Existing/Demo
1/4" = 1'-0"



No.	Description	Date

North & South
Elevations

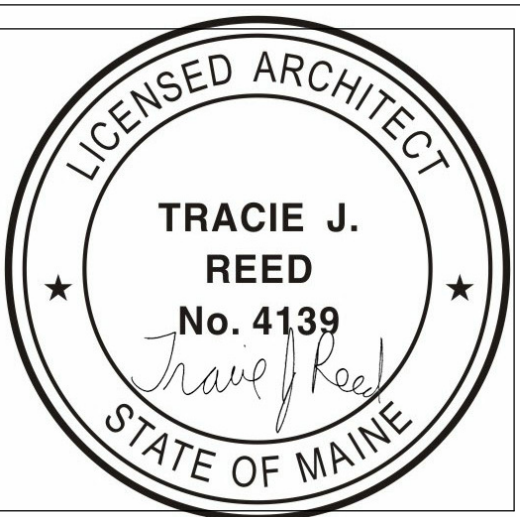
Project number 18-07_75 Quebec
Date 08.14.18
Drawn by T.J.R.
Checked by T.J.R.

A-2.3

Scale 1/4" = 1'-0"



Reviewed for Code Compliance
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75 Quebec Street
RENOVATION 1 4-UNIT CONDO

OWNER
DAVE & OAKIE JONES
75 QUEBEC STREET LLC
154 MORTON RD
YARMOUTH ME 04096



**DEXTRIOUS
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PROJECT TEAM

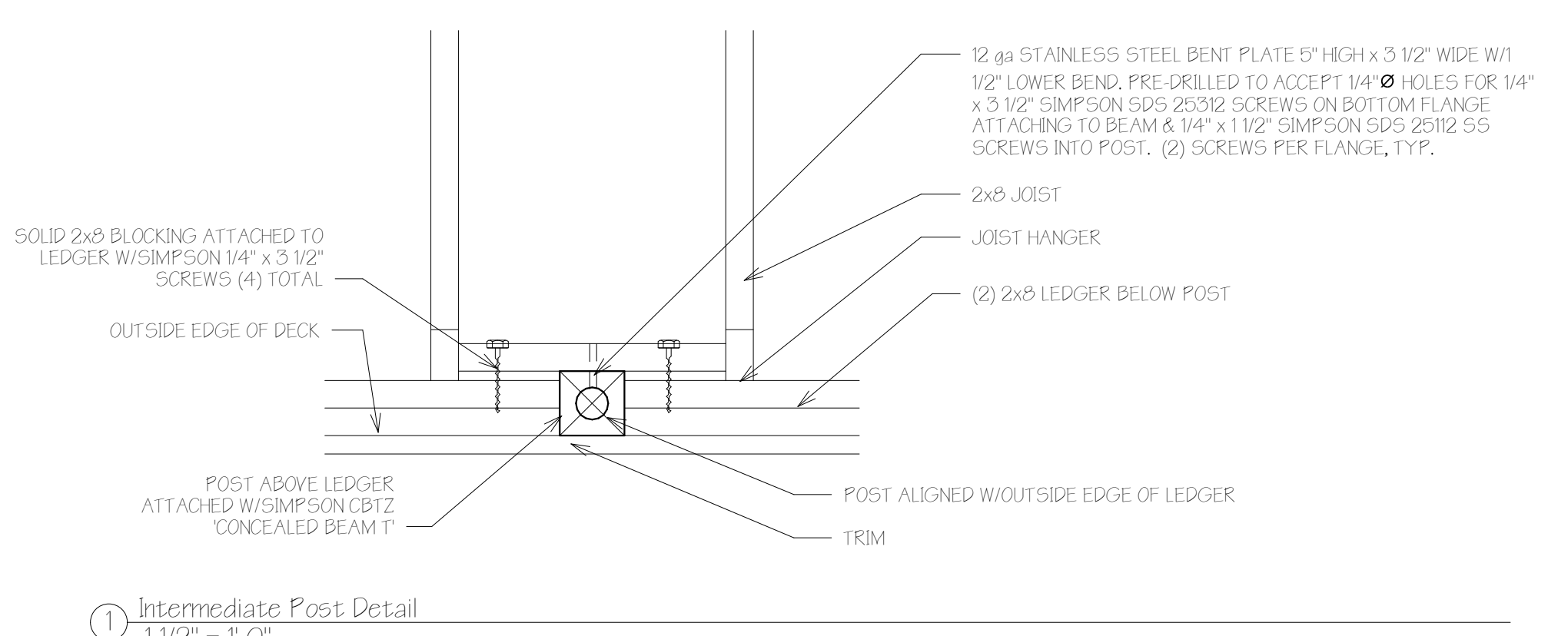
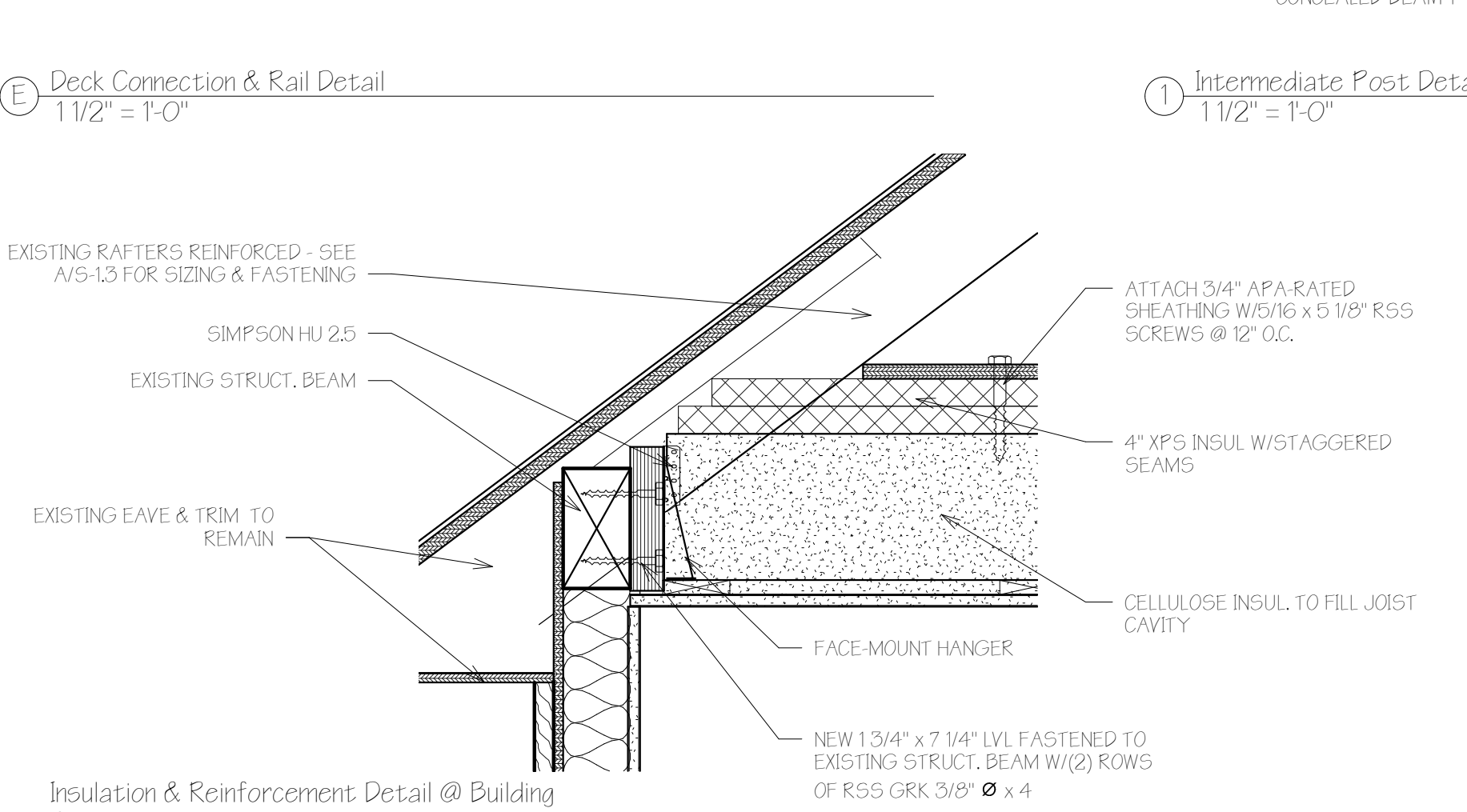
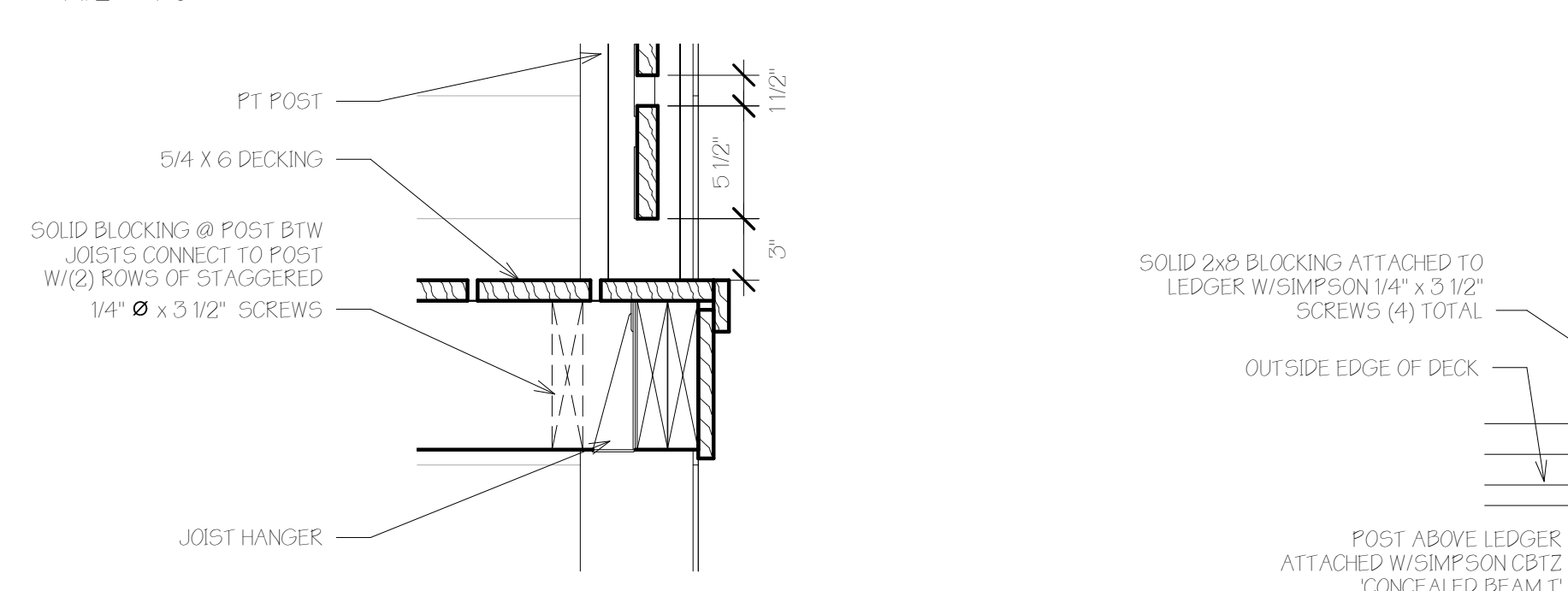
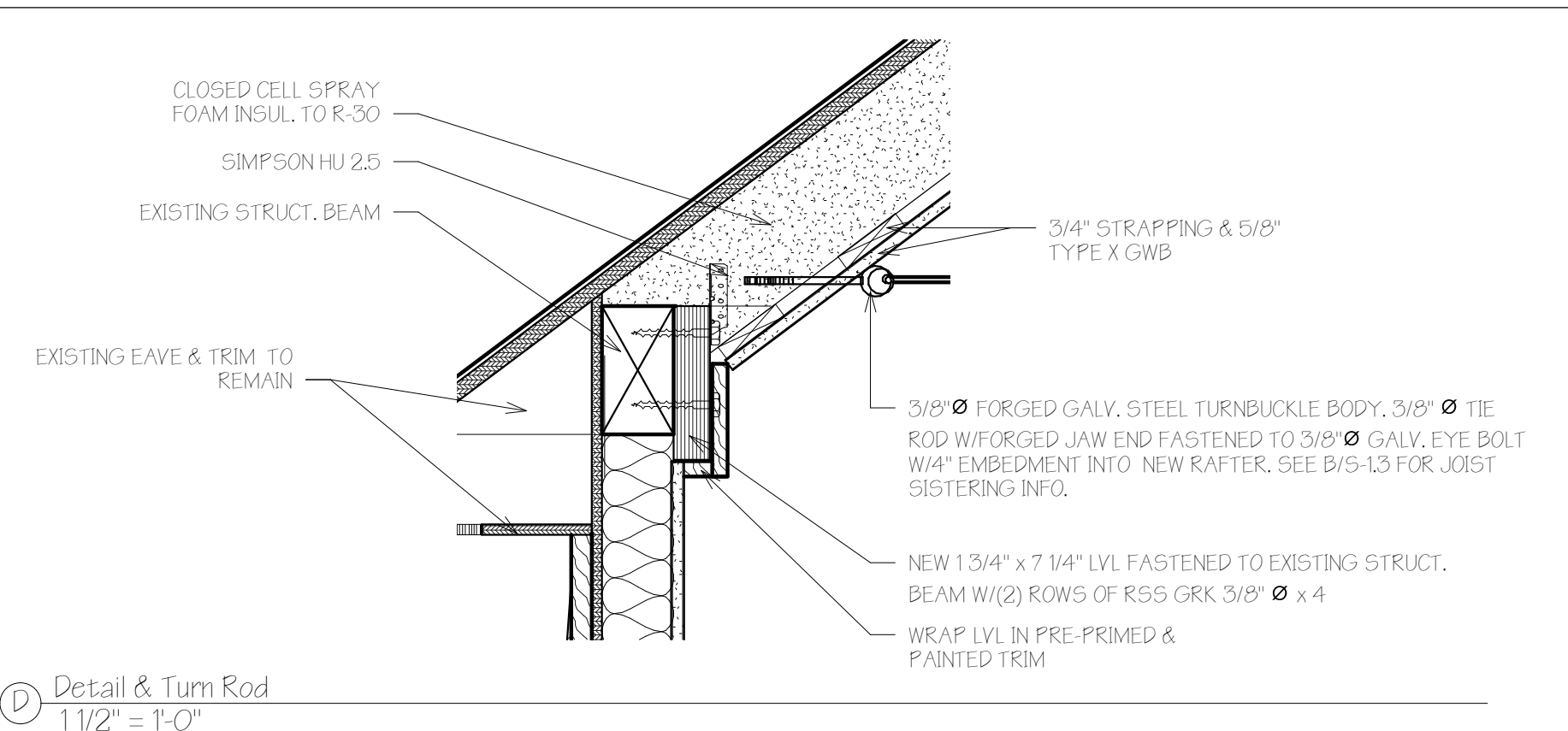
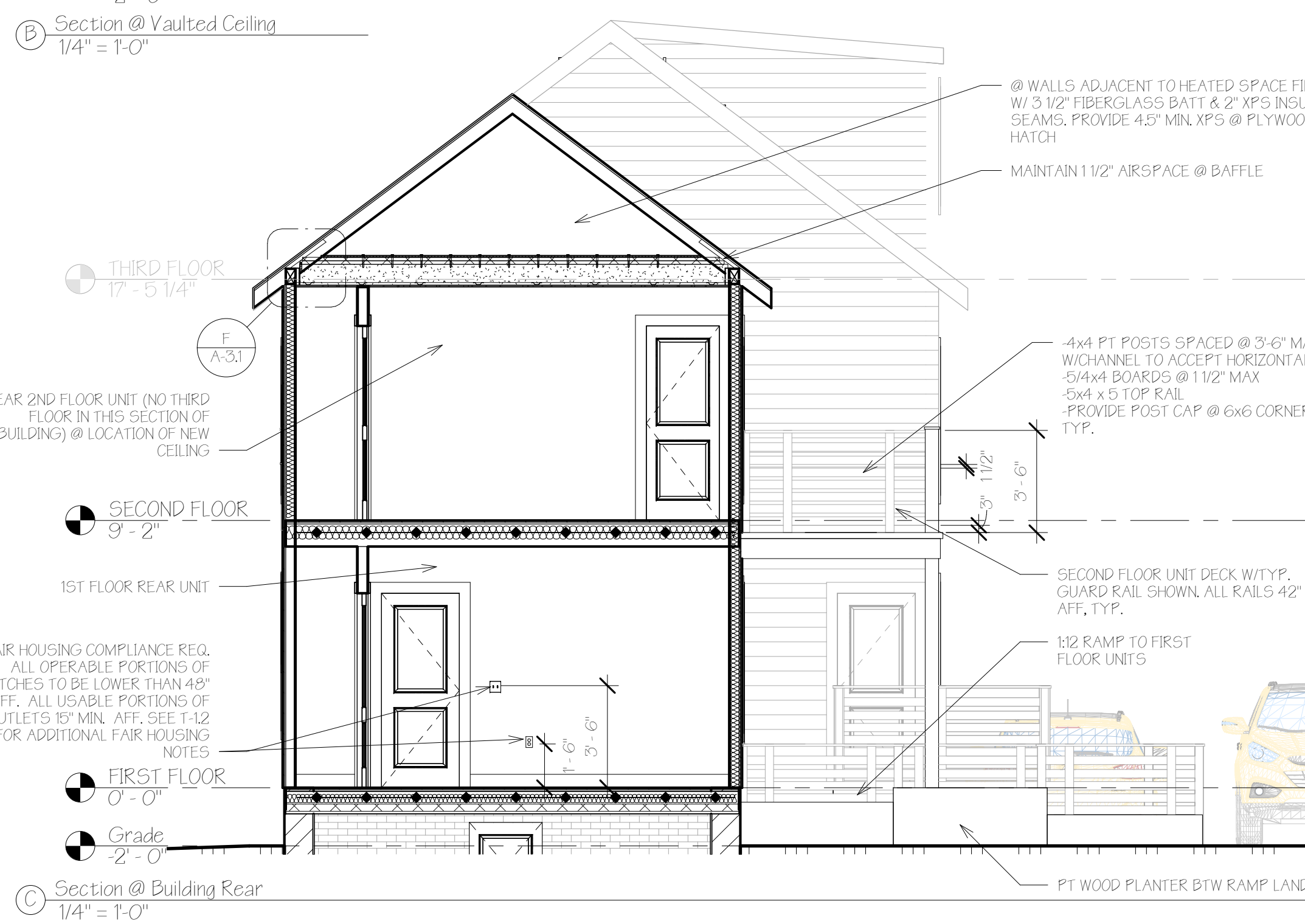
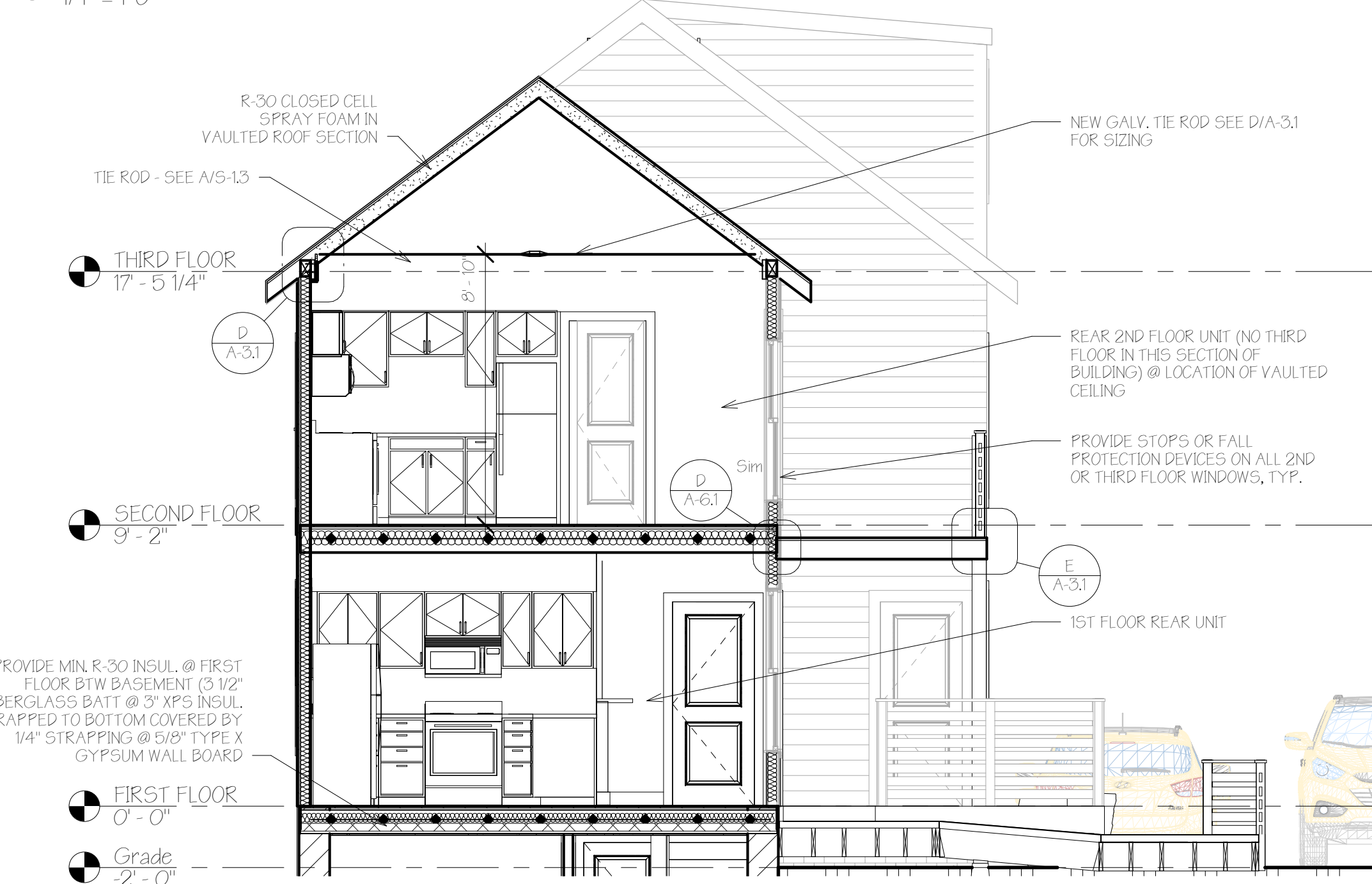
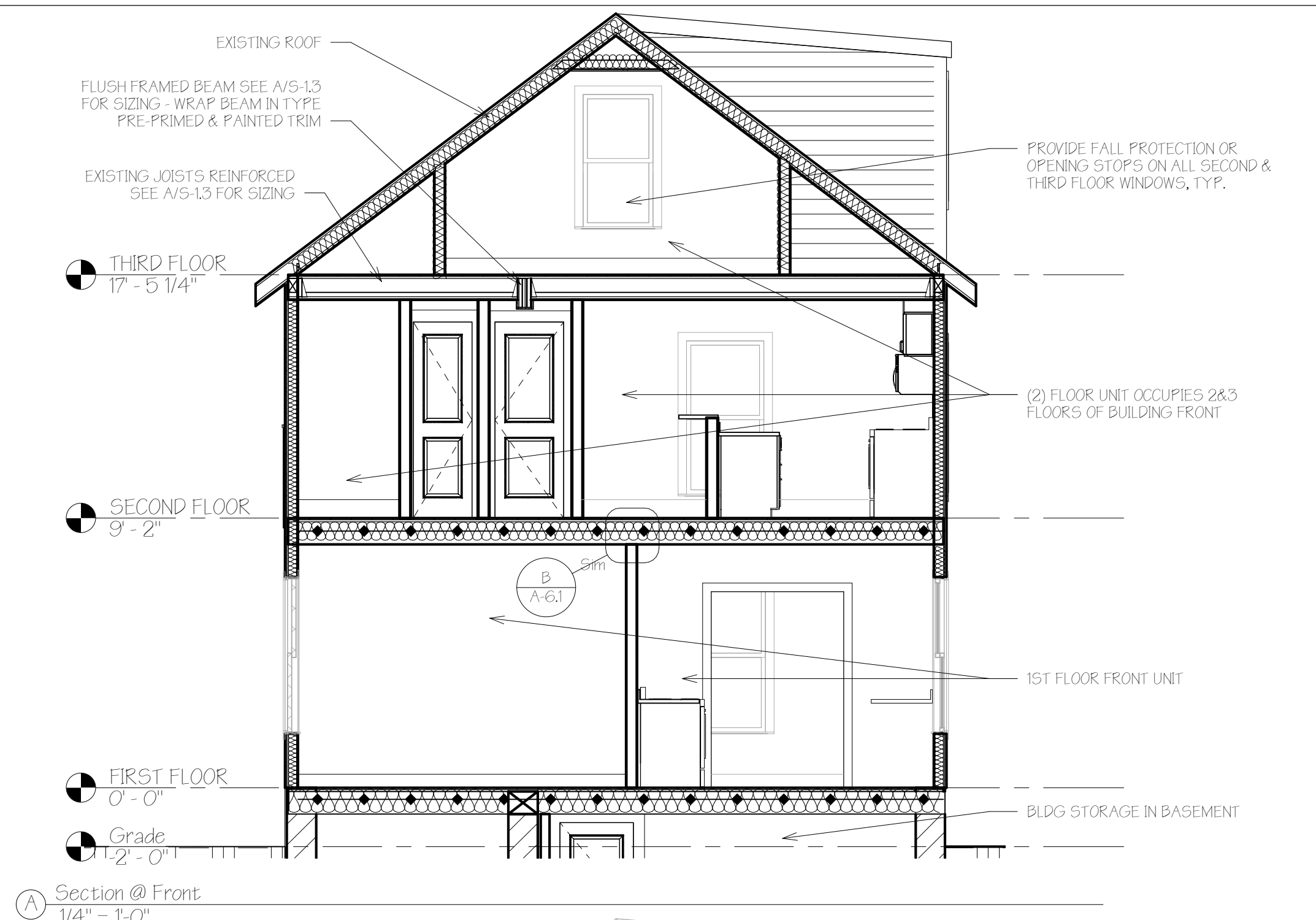
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No.	Description	Date

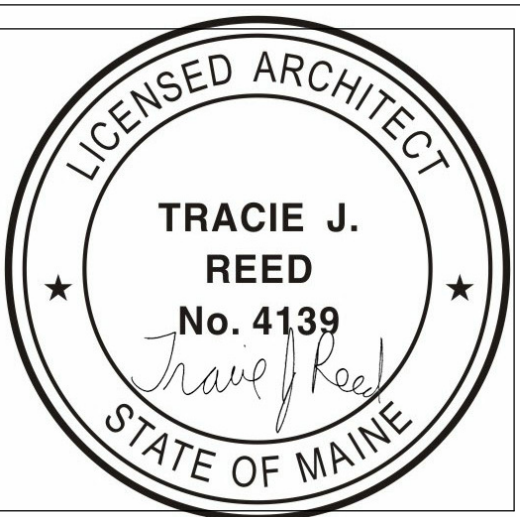
**Sections &
Details**

Project number	18-07_75 Quebec
Date	08.14.18
Drawn by	TJR
Checked by	TJR
A-3.1	
Scale	As indicated





Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
12/07/2018



75 Quebec
Street
RENOVATION 1-4-UNIT CONDO

OWNER
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kendrick@optimummaine.com



A Side Yard View



B View from Street View (Elevated)



C Street View



D Yard Towards House

No.	Description	Date

Perspectives

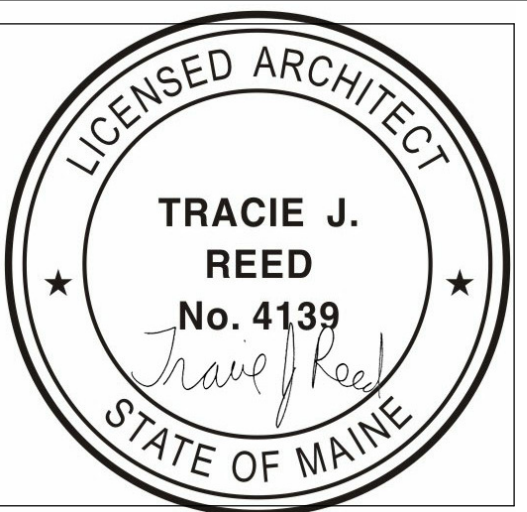
Project number 18-07_75 Quebec
Date 08.14.18
Drawn by T.J.R.
Checked by T.J.R.

A-5.6

Scale



Reviewed for Code Compliance
 Permitting and Inspections Department
 12/07/2018



75 Quebec Street
 RENOVIATION 14-UNIT CONDO

OWNER
 SPIKE & OAKIE JONES
 75 QUEBEC STREET LLC
 154 MORTON RD
 YARMOUTH ME 04096



DEXTRIOUS
 CREATIVE

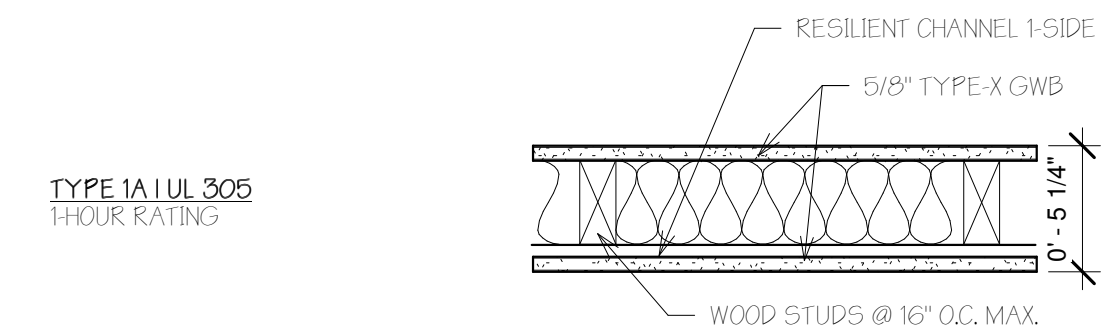
PORTLAND, ME 04102
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 traciereed@dextrouscreative.com
 207.403.0459 (cell)

PROJECT TEAM

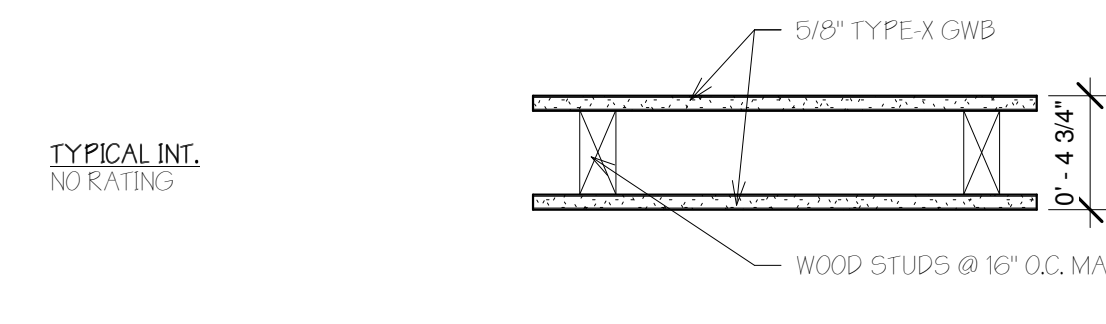
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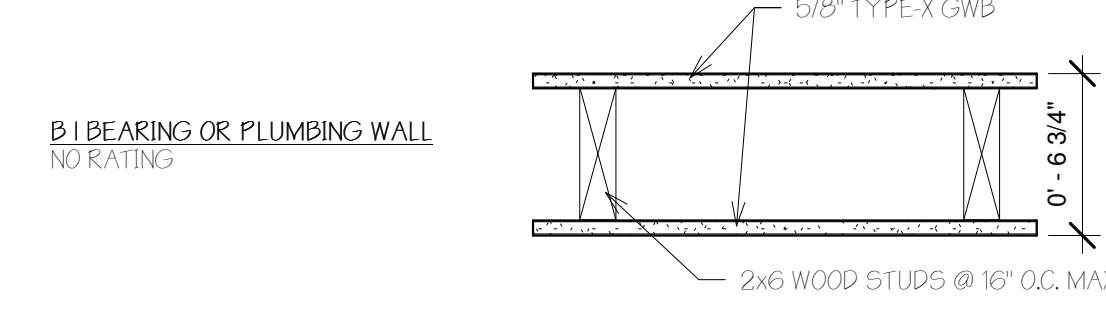
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Door #	Type	Width	Height	Fire Rating	Finish Comments
002	G	2' - 6"	6' - 0"		
003	G	2' - 6"	6' - 0"		
004	G	2' - 6"	6' - 0"		
005	G	2' - 6"	6' - 0"		
102	C	2' - 8"	6' - 8"	60 MIN	
102A	A	2' - 4"	6' - 8"		
103	C	2' - 8"	6' - 8"	60 MIN	
103A	A	2' - 8"	6' - 8"		
103B	89	4' - 6"	6' - 8"		
104	A	2' - 8"	6' - 8"		
104A	E	4' - 0"	6' - 8"		
105	A	2' - 8"	6' - 8"		
105A	A	2' - 4"	6' - 8"		
106	B	2' - 8"	6' - 8"		
107	A	2' - 8"	6' - 8"		
107A	E	5' - 8"	6' - 8"		
107B	A	2' - 2"	6' - 8"		
108	B	2' - 8"	6' - 8"		
108A	C	2' - 6"	6' - 8"	60 MIN	
109	C	2' - 8"	6' - 8"	60 MIN	
110	A	2' - 8"	6' - 8"		
110A	A	1' - 8"	6' - 8"		
111	A	2' - 8"	6' - 8"		
111A	A	2' - 0"	6' - 8"		
112	A	2' - 8"	6' - 8"		
112A	82	5' - 0"	6' - 8"		
112B	A	2' - 4"	6' - 8"		
157	A	2' - 8"	6' - 8"		
160	A	2' - 8"	6' - 8"		
201	C	2' - 6"	6' - 8"	60 MIN	
201A	A	2' - 0"	6' - 8"		
201B	A	2' - 4"	6' - 8"		
201C	B	2' - 6"	6' - 8"		
202	A	2' - 6"	6' - 8"		
202A	A	2' - 6"	6' - 8"		
203	A	2' - 4"	6' - 8"		
204	A	2' - 2"	6' - 8"		
204A	E	4' - 0"	6' - 8"		
204B	D	2' - 2"	6' - 8"		
205	A	2' - 4"	6' - 8"		
205B	110	2' - 6"	6' - 8"		
205I	A	2' - 2"	6' - 8"		
206A	90	2' - 6"	6' - 8"		
206B	C	2' - 8"	6' - 8"	60 MIN	
206C	B	2' - 8"	6' - 8"		
207	A	2' - 6"	6' - 8"		
207A	A	2' - 0"	6' - 8"		
207B	E	5' - 8"	6' - 8"		
301	A	2' - 2"	6' - 8"		
302	A	2' - 6"	6' - 8"		
302A	F	3' - 6"	5' - 0"		
302B	F	3' - 6"	5' - 0"		
303	A	2' - 6"	6' - 8"		
303A	A	2' - 0"	6' - 8"		



DESCRIPTION - STC 50 PER CERTAINTED UL SYSTEM NO. HW-S-00B 1-HOUR MAX. RATING
 5/8" TYPE-X GWB, W/BEBELED, SQUARE OR TAPERED EDGES, APPLIED VERTICALLY OR HORIZONTALLY
 2x4 WOOD STUDS SPACED MAX. 16. O.C. W/ BLOCKING @ MID-SPAN
 GLASS INSULATION
 INTERIOR SURFACE RESILIENT CHANNEL
 5/8" TYPE-X GWB, W/BEBELED, SQUARE OR TAPERED EDGES, APPLIED VERTICALLY OR HORIZONTALLY

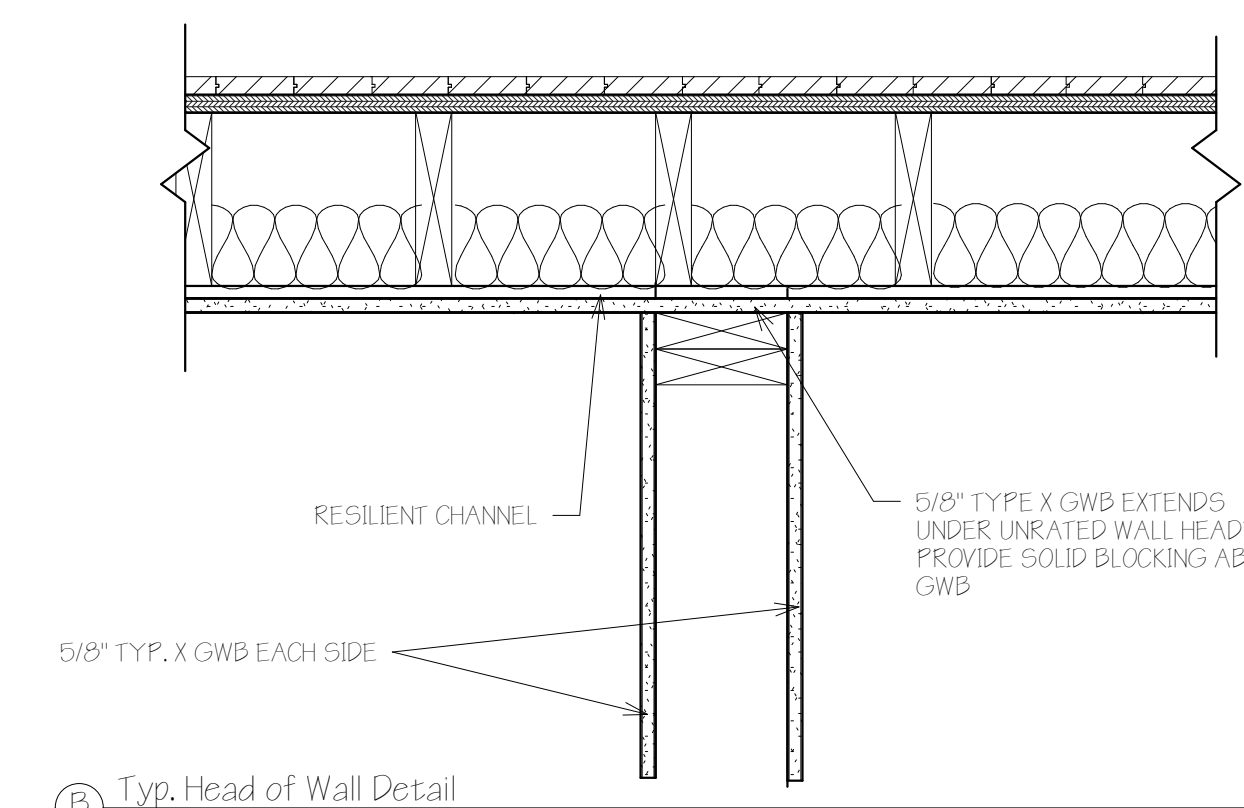


DESCRIPTION
 5/8" TYPE-X GWB, W/BEBELED, SQUARE OR TAPERED EDGES, APPLIED VERTICALLY OR HORIZONTALLY
 2x6 WOOD STUDS SPACED MAX. 16. O.C. W/ BLOCKING @ MID-SPAN
 5/8" TYPE-X GWB, W/BEBELED, SQUARE OR TAPERED EDGES, APPLIED VERTICALLY OR HORIZONTALLY

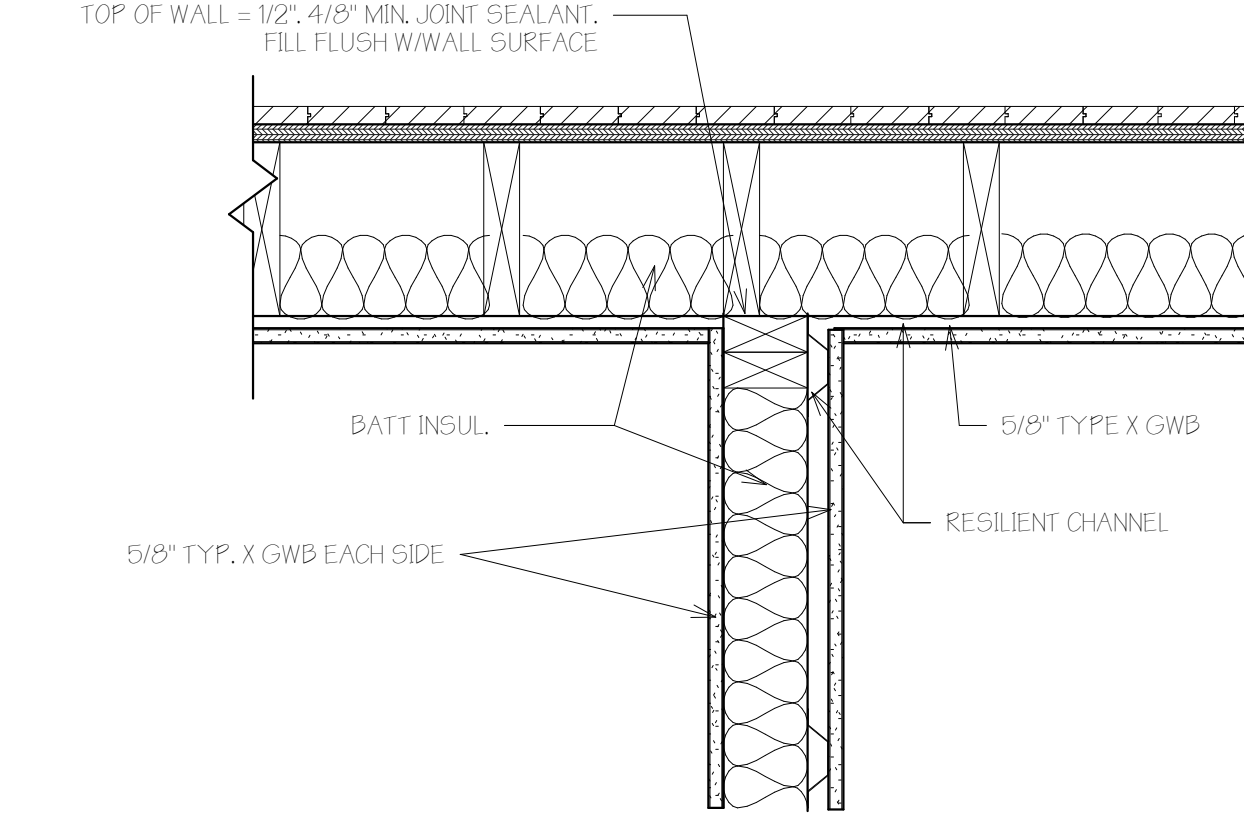


DESCRIPTION
 5/8" TYPE-X GWB, W/BEBELED, SQUARE OR TAPERED EDGES, APPLIED VERTICALLY OR HORIZONTALLY
 2x6 WOOD STUDS SPACED MAX. 16. O.C. W/ BLOCKING @ MID-SPAN
 5/8" TYPE-X GWB, W/BEBELED, SQUARE OR TAPERED EDGES, APPLIED VERTICALLY OR HORIZONTALLY

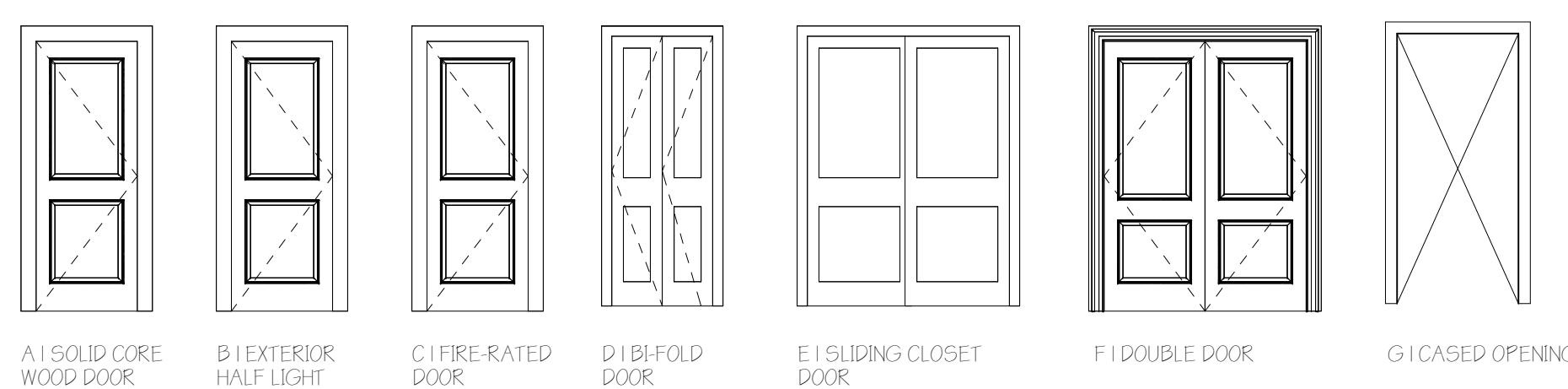
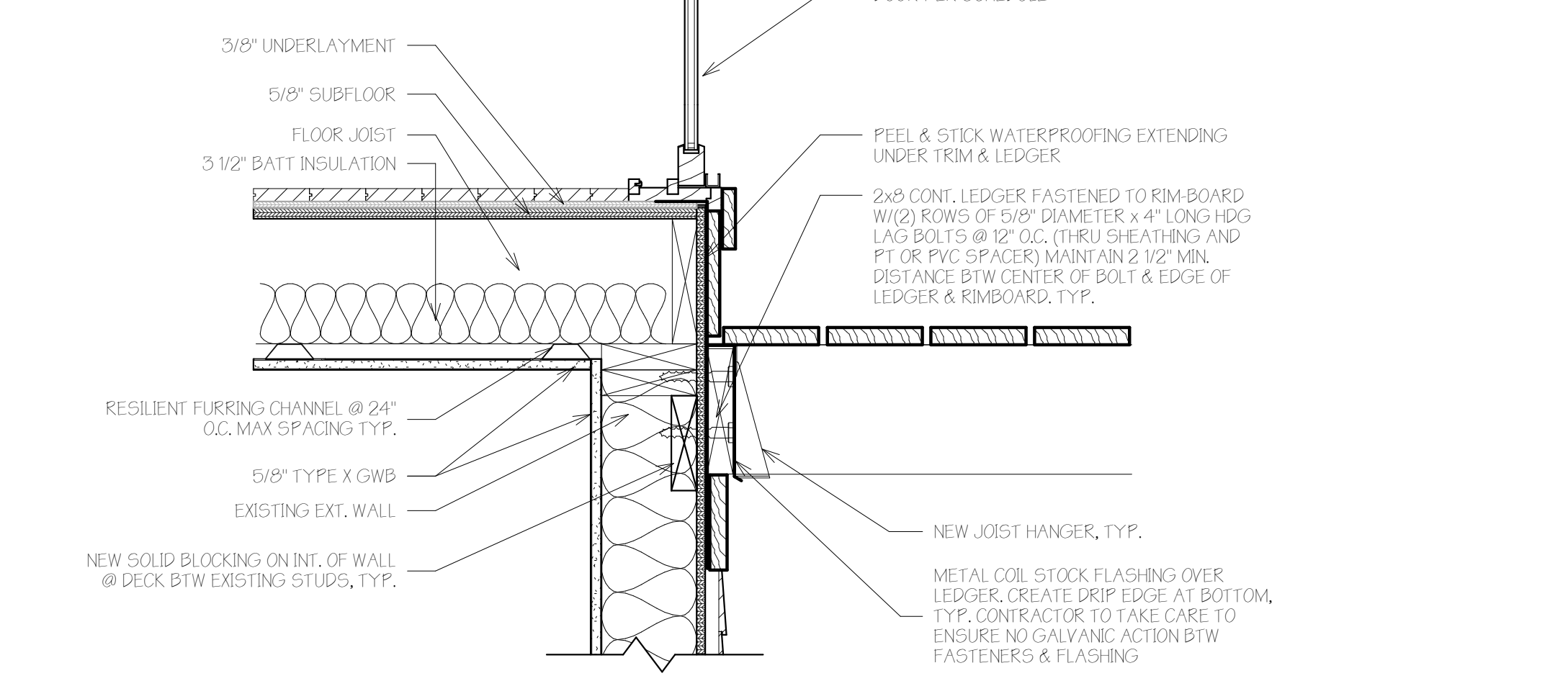
SEE DETAILS B-C ON SHEET A-6.1 FOR FIRE-STOPPING DETAILS @ WALL HEADS



Typ. Head of Wall Detail 1 1/2" = 1'-0"



HEAD DETAIL, UL SYSTEM NO. HW-S-00B 1-HOUR MAX. RATING 1 1/2" = 1'-0"



DOOR NOTES
 ALL FIRST FLOOR INTERIOR UNIT DOORS ARE 32" MIN. NOMINAL WIDTH TO COMPLY W/ FAIR HOUSING REQ.
 ALL FIRE DOORS TO INCLUDE CLOSER, TYP.
 LEVER HARDWARE ON ALL DOORS
 EXTERIOR UNIT DOORS & COMMON AREA DOORS TO INCLUDE 18" CLEAR ON PULL SIDE OF DOOR AND 12" MIN. ON PUSH SIDE
 SEE SHEET T-1.3 FOR ADDITIONAL FAIR HOUSING & ADA DOOR CLEARANCE DIAGRAMS

Door Legend
 1/4" = 1'-0"

No.	Description	Date

Schedules & Legends & Typ. Details

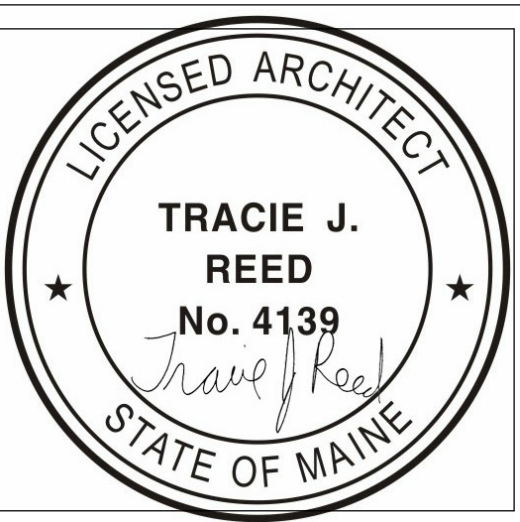
Project number 18-07_75 Quebec

Date 08.14.18
 Drawn by TJR
 Checked by TJR

A-6.1
 Scale As indicated



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
12/07/2018



75 Quebec
Street
RENOVATION 1 4-UNIT CONDO

OWNER
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PROJECT TEAM

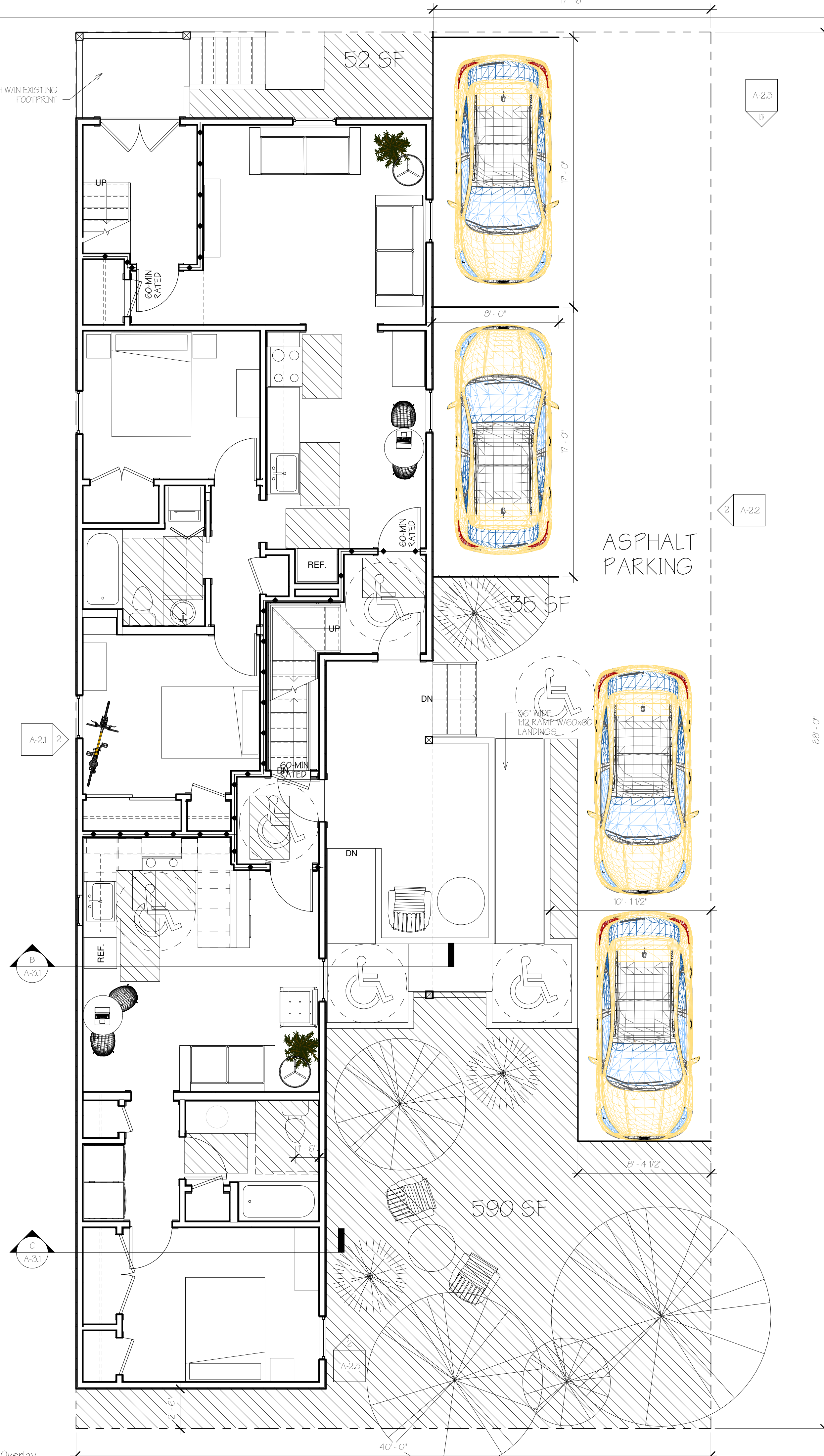
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COVERED ENTRANCE PORCH WITH EXISTING FOOTPRINT



LOT SIZE: 3,520 SF
MIN. LANDSCAPED OPEN SPACE: 80% = 704 SF
(ACTUAL: 709 SF)
LOT COVERAGE 60% = 2112 SF (ACTUAL: 1,789 SF)

(A) Site Plan with First Floor Overlay
1/4" = 1'-0"

No.	Description	Date

**Sitr and Litr
Safety**

Project number	18-07_75 Quebec
Date	08.14.18
Drawn by	TJR
Checked by	Checker

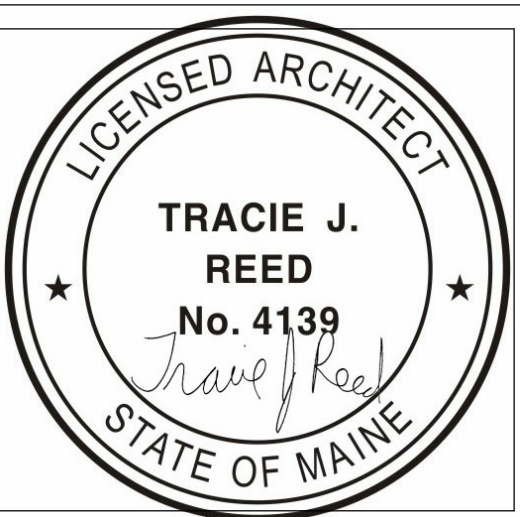
C-1.1

Scale: 1/4" = 1'-0"



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

12/07/2018



75 Quebec Street
RENOVATION 14-UNIT CONDO

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No.	Description	Date

Struc. Notes

Project number 18-07_75 Quebec

Date 08.14.18

Drawn by TJR

Checked by Checker

S-1.1

Scale

GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REQUIREMENTS. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT PORTIONS OF THE BUILDING.
- THE STRUCTURAL DESIGN OF THESE REPAIRS IS BASED ON THE FULL INTERACTION OF ALL CONNECTED COMPONENTS. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROGRESS OF THE PROJECT.
- WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE INCLUDED.
- THE CONTRACTOR SHALL, PRIOR TO WORK, REVIEW WITH DESIGN TEAM AND OWNER ALL ASPECTS OF SITE ACCESS, WORK SCHEDULE, AND COORDINATION WITH OTHERS TO ENSURE SMOOTH PROJECT FLOW.
- NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK.
- THE INSTALLATION AND OR REMOVAL OF PROPOSED MATERIALS SHALL NOT DAMAGE EXISTING COMPONENTS.
- ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DRAWINGS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY OF THE ENGINEER.
- DO NOT SCALE FROM THE DRAWINGS.

GENERAL REQUIREMENTS

- COORDINATE CONSTRUCTION TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK.
- CONDUCT PROGRESS MEETINGS AT SITE AT WEEKLY INTERVALS OR AS NECESSARY.
- IDENTIFY DEVIATIONS FROM CONTRACT DOCUMENTS ON SUBMITTALS. REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ENGINEER.
- SUBMIT SAMPLES FINISHED AS SPECIFIED AND PHYSICALLY IDENTICAL WITH PROPOSED MATERIAL OR PRODUCT. INCLUDE NAME OF MANUFACTURER AND PRODUCT NAME ON LABEL.
- DELIVER, STORE, AND HANDLE PRODUCTS USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DEGRADATION, AND LOSS, INCLUDING THEFT. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- SCHEDULE DELIVERY TO MINIMIZE LONG-TERM STORAGE AT PROJECT SITE AND TO PREVENT OVERCROWDING OF CONSTRUCTION SPACES. DELIVER PRODUCT IN MANUFACTURER'S ORIGINAL SEALED CONTAINER OR PACKAGING, COMPLETE WITH LABELS AND INSTRUCTIONS FOR HANDLING, STORING, UNPACKING, PROTECTING, AND INSTALLING.
- STORE PRODUCTS THAT ARE SUBJECT TO DAMAGE BY THE ELEMENTS UNDER COVER IN A WEATHERTIGHT ENCLOSURE ABOVE GROUND, WITH VENTILATION ADEQUATE TO PREVENT CONDENSATION.
- WHERE DRAWINGS SPECIFY A SINGLE PRODUCT OR MANUFACTURER, PROVIDE THE ITEM INDICATED THAT COMPLIES WITH REQUIREMENTS.

STRUCTURAL DESIGN CRITERIA

- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE MAINE UNIFORM BUILDING AND ENERGY CODE LATEST EDITION.
 - DECK AND STAIR LOADS:
A. FLOOR FRAMING AND STAIRS 40 PSF FLOOR AND 100 PSF STAIRS, 100 PSF FOR DECK
B. LATERAL LOAD ON RAILINGS - 200 POUNDS OR 50 POUNDS PER LINEAL FOOT ANY DIRECTION.
 - SNOW LOAD IS BASED UPON A GROUND SNOW LOAD OF 60 PSF, ON AN UNHEATED STRUCTURE (THE DECK) OR IN A VENTILATED COLD ROOF STRUCTURE (THE MAIN ATTIC), NET FLAT ROOF SNOW LOAD IS 462 PSF.
 - WIND LOAD: PER ASCE 7-10 CHAPTER 26
BASIC WIND SPEED, 3 SECOND GUST 100 mph
IMPORTANCE FACTOR, I_w 1.0
EXPOSURE CATEGORY C
BUILDING CLASSIFICATION II
BASIC WIND PRESSURE 20 psf
COMPONENT AND CLADDING PRESSURE +22.7, -35.8 psf
- SEISMIC LOAD: ASCE 7-10 CHAPTER 11-2
SEISMIC USE GROUP II
OCCUPANCY IMPORTANCE FACTOR, I_p 1.0
SHORT PERIOD ACCELERATION S_s 0.314
10 SECOND ACCELERATION S₁ 0.077g
SITE CLASSIFICATION SOIL TYPE D
MAXIMUM CONSIDERED EQ. ACCEL. PARAMETER F_a 155
MAXIMUM CONSIDERED EQ. ACCEL. PARAMETER F_v 240
SHORT PERIOD ACCELERATION (ASCE 94.12.4-1, S_{ms}) 0.486g
10 SECOND ACCELERATION (ASCE 94.12.4-1, S_{m1}) 0.184g
SHORT PERIOD DESIGN SPECTRAL RESPONSE ACC. 0.324g, SDC B
10 SECOND DESIGN SPECTRAL RESPONSE ACC. 0.123g, SDC B

FOUNDATION REQUIREMENTS AND EXCAVATION STABILITY

- NO GEOTECHNICAL INVESTIGATION HAS BEEN PERFORMED AT THIS SITE. NOTIFY ENGINEER DURING EXCAVATION SO THAT ENGINEER MAY OBSERVE SOIL CONDITIONS ENCOUNTERED ONSITE. ENGINEER MAY ELECT TO REQUIRE SOIL INVESTIGATION BY A GEOTECHNICAL ENGINEER.
- PROOF ROLL EXISTING UNDISTURBED SOIL PRIOR TO PLACING FOUNDATION BACKFILL OR CONSTRUCTION FOOTINGS. PROOF ROLLING SHOULD CONSIST OF A MINIMUM OF THREE PASSES IN A NORTH-SOUTH DIRECTION AND THEN THREE PASSES IN AN EAST-WEST DIRECTION USING A VIBRATORY PLATE COMPACTOR.
- FOR FROST PROTECTION, BACKFILL FOOTINGS WITH FOUNDATION BACKFILL HAVING A MAXIMUM PARTICLE SIZE LIMITED TO 6 INCHES. THE PORTION PASSING THROUGH A 3-INCH SIEVE SHALL MEET THE GRADATION SPECIFICATIONS OF MDOT SPECIFICATION 703.06, TYPE F.
- FOUNDATION BACKFILL SHOULD BE PLACED IN 6 TO 12-INCH LIFTS AND SHOULD BE COMPACTED TO 95 PERCENT OF ITS MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D697.

CAST-IN-PLACE CONCRETE

- ALL CONCRETE WORK AND REINFORCING BAR DETAILS SHALL CONFORM TO THE LATEST ACI STANDARDS, ACI 301 AND 318.
- FOUNDATION CONCRETE SHALL BE AIR-ENTRAINED, (5 TO 7%), AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 psi. PROVIDE BATCH TICKETS TO ENGINEER FOR REVIEW.
- SLAB CONCRETE SHALL BE AIR-ENTRAINED, (5 TO 7%), AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 psi. REINFORCE SLAB CONCRETE WITH WIRE REINFORCING IN ACCORDANCE WITH ASTM A195. PROVIDE A 15-MIL SITO WRAP VAPOR BARRIER DIRECTLY BELOW ALL SLABS ON GRADE. OVERLAP SEAMS AND TAPE ADJACENT PIECES TO PREVENT MOVEMENT.
- PLACE NO CONCRETE WITHOUT REVIEW AND APPROVAL OF THE REINFORCING AND EMBEDDED ITEMS BY THE CITY AND BY THE ENGINEER.
- ALL CONCRETE MATERIALS, REINFORCEMENT, AND FORMS SHALL BE FREE OF FROST OR DEBRIS.
- CONSOLIDATE ALL CONCRETE WITH A VIBRATOR OR OTHER MEANS RECOMMENDED BY ACI 301.
- PROVIDE DIAGONAL REINFORCING BARS AROUND INSIDE CORNERS OF ALL OPENINGS IN CONCRETE.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
CONCRETE CAST AGAINST EARTH 3 INCHES
FORMED CONCRETE EXPOSED TO EARTH OR WEATHER 1 1/2 INCHES <#6 BARS
2 INCHES #6 OR GREATER
- CALCIUM CHLORIDE IS PROHIBITED FROM ALL CONCRETE MIXES.
- PLACE WALL CONTROL JOINTS AS SHOWN ON DRAWINGS OR AT A MAXIMUM OF 40 FEET OR CENTER.
- BACKFILL BOTH SIDES OF FOUNDATION WALLS SIMULTANEOUSLY TO PREVENT UNEVEN LATERAL LOADING.

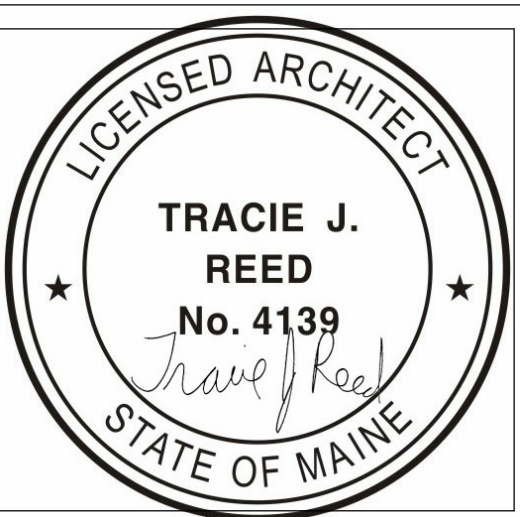
ROUGH CARPENTRY MATERIALS

- DIFFERING LUMBER AND COMPOSITE LUMBER MATERIALS ARE SPECIFIED AT VARIOUS LOCATIONS. MATERIAL GRADES SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADES:
PERIMETER GILLS (WALL GILLS): PRESSURE-TREATED SOUTHERN YELLOW PINE, SUITABLE FOR GROUND CONTACT PLACED ON TOP OF CONCRETE.
EXPOSED FINISH TIMBERS: (EXPOSED EXTERIOR POSTS): PRESSURE-TREATED SOUTHERN YELLOW PINE.
PRESSURE-TREATED LUMBER: SOUTHERN YELLOW PINE NO. 1 GRADING
COMPOSITE LUMBER: VERSA-LAM BY BOISE-CASCADE, F_b=3,100 psi, E=2000ksi (INTERIOR FRAMING AS NOTED), ANTHONY POWER-PRESERVED BEAMS FOR EXTERIOR USE.
CONVENTIONAL LUMBER: S-P-F-9 NO. 2 OR BETTER
- ALL LEDGER BOLTS EXTENDING THROUGH PRESSURE-TREATED LUMBER SHALL BE STAINLESS STEEL.
- ALL LUMBER AND TIMBER FRAMING MATERIAL SHALL BE STORED IN A PROTECTED, DRY AREA OFF OF THE GROUND AND GROUND FLOOR SURFACES. STORE MATERIAL OUT OF DIRECT SUNLIGHT TO PREVENT DIFFERENTIAL DRYING AND WARPING.
- JOIST HANGERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE, INC. WHERE NOTED, HANGERS SHALL BE STAINLESS STEEL, ATTACHED WITH STAINLESS STEEL 10d x 1 1/2" HANGER NAILS INSTALLED IN PREDRILLED HOLES AS REQUIRED OR DIRECTED BY ENGINEER. REFER TO PLAN SHEETS AND SCHEDULE FOR HANGERS AND LOCATIONS.
- REFER TO STRUCTURAL DRAWINGS FOR APPROPRIATE SELF-DRIVING FASTENERS, EITHER MANUFACTURED BY FASTENMASTER, INC. OR BY GRK, INC. INSTALL FASTENERS AS INDICATED ON DRAWINGS.
- DO NOT NOTCH JOISTS IN THE MIDDLE-THIRD OF THEIR SPANS, AND PROVIDE TAPERED CUTS AT ENDS OF JOISTS WHERE NOTED, TO PREVENT SPLITTING OF LUMBER AT STRESS CONCENTRATION POINTS.
- FLOOR SHEATHING SHALL BE ADVANTECK SHEATHING, IN THICKNESS INDICATED ON DRAWINGS. GLUE AND NAIL FLOOR DECKING TO SHEATHING AS NOTED. PROVIDE 1/8" SPACING BETWEEN SHORT ENDS OF PANELS AS REQUIRED BY MANUFACTURER.



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

12/07/2018



75 Quebec Street
Renovation 14-Unit Condo

OWNER
PKE & OAKE JONES
75 QUEBEC STREET LLC
154 MORTON RD
YARMOUTH ME 04096



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No.	Description	Date

Framing Plans

Project number 18-07_75 Quebec

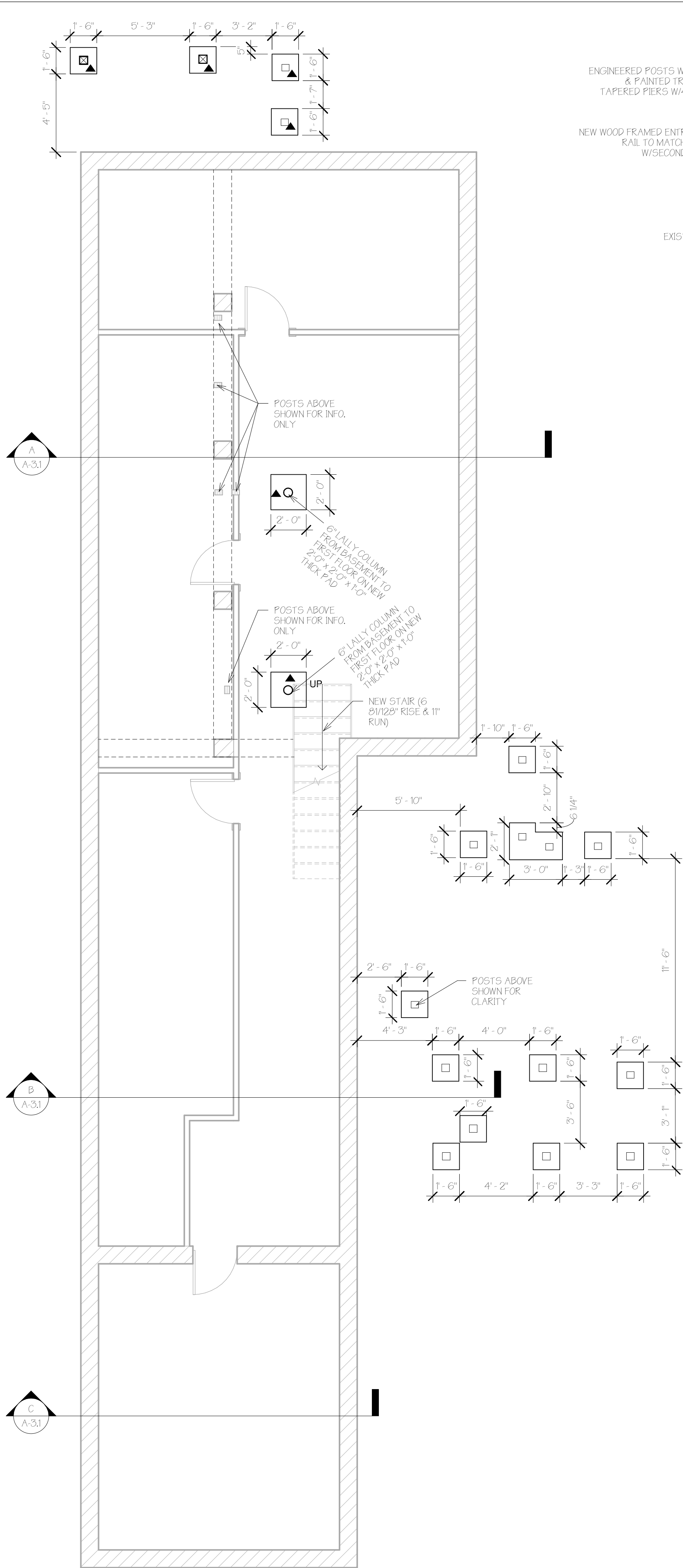
Date 08.14.18

Drawn by T.J.R.

Checked by Checker

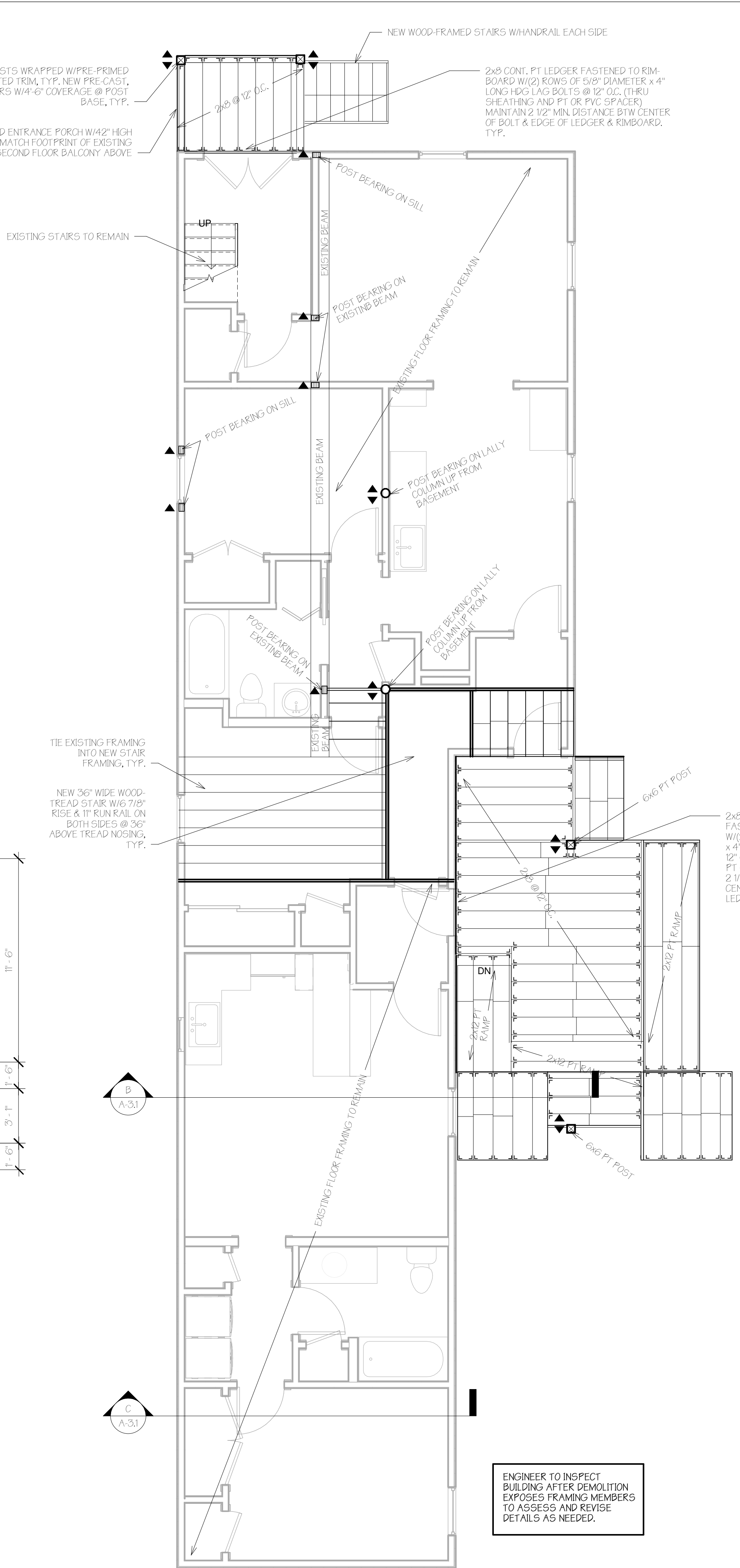
S-1.2

Scale 1/4" = 1'-0"



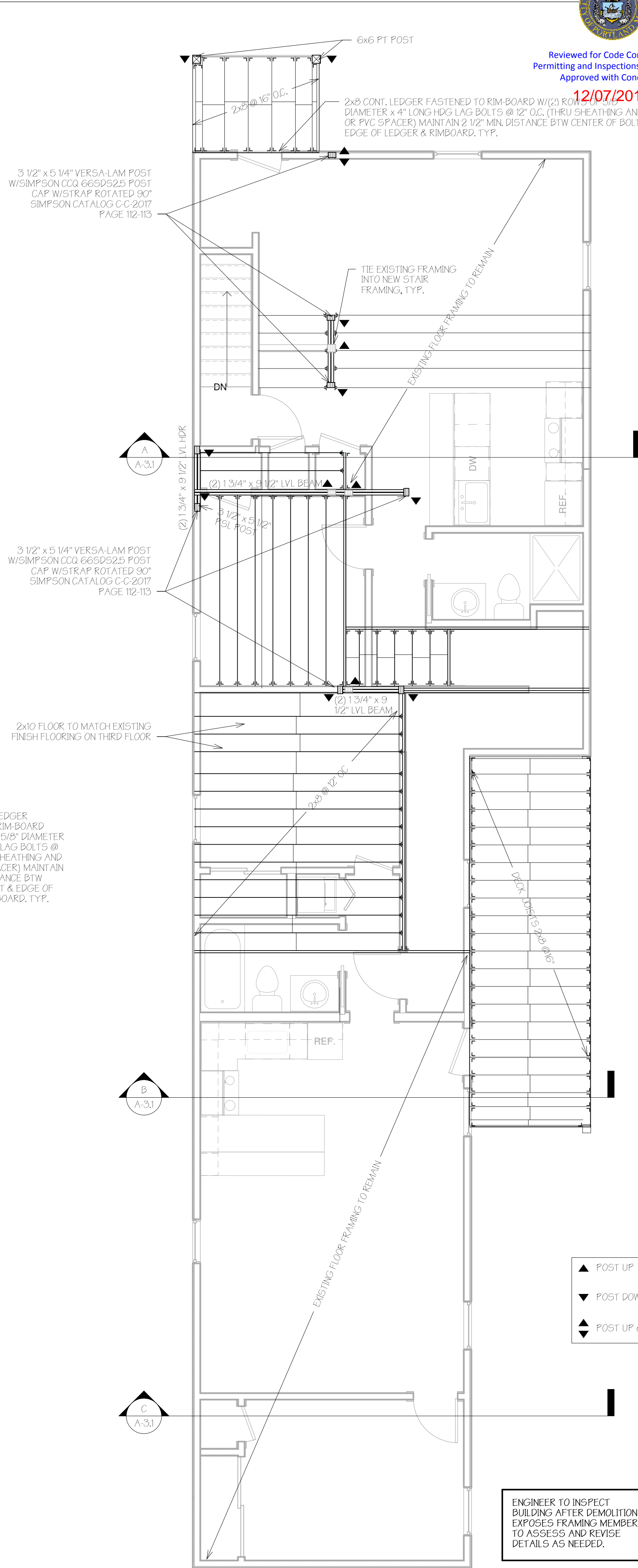
A Basement Framing Plan
1/4" = 1'-0"

▲ ALL POSTS ARE UP ON THIS PLAN



B First Floor Framing Plan
1/4" = 1'-0"

ENGINEER TO INSPECT BUILDING AFTER DEMOLITION EXPOSES FRAMING MEMBERS TO ASSESS AND REVISE DETAILS AS NEEDED.



C Second Floor Framing Plan
1/4" = 1'-0"

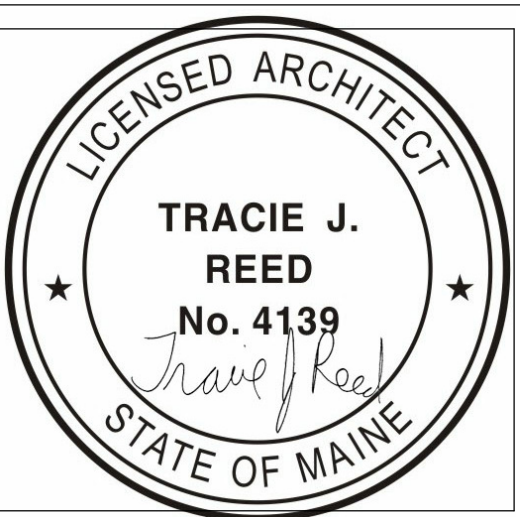
ENGINEER TO INSPECT BUILDING AFTER DEMOLITION EXPOSES FRAMING MEMBERS TO ASSESS AND REVISE DETAILS AS NEEDED.

- ▲ POST UP
- ▼ POST DOWN
- ◄ POST UP & DOWN

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75 Quebec Street
RENOVATION 14-UNIT CONDO

OWNER
PIKE & OAKIE JONES
75 QUEBEC STREET LLC
154 MORTON RD
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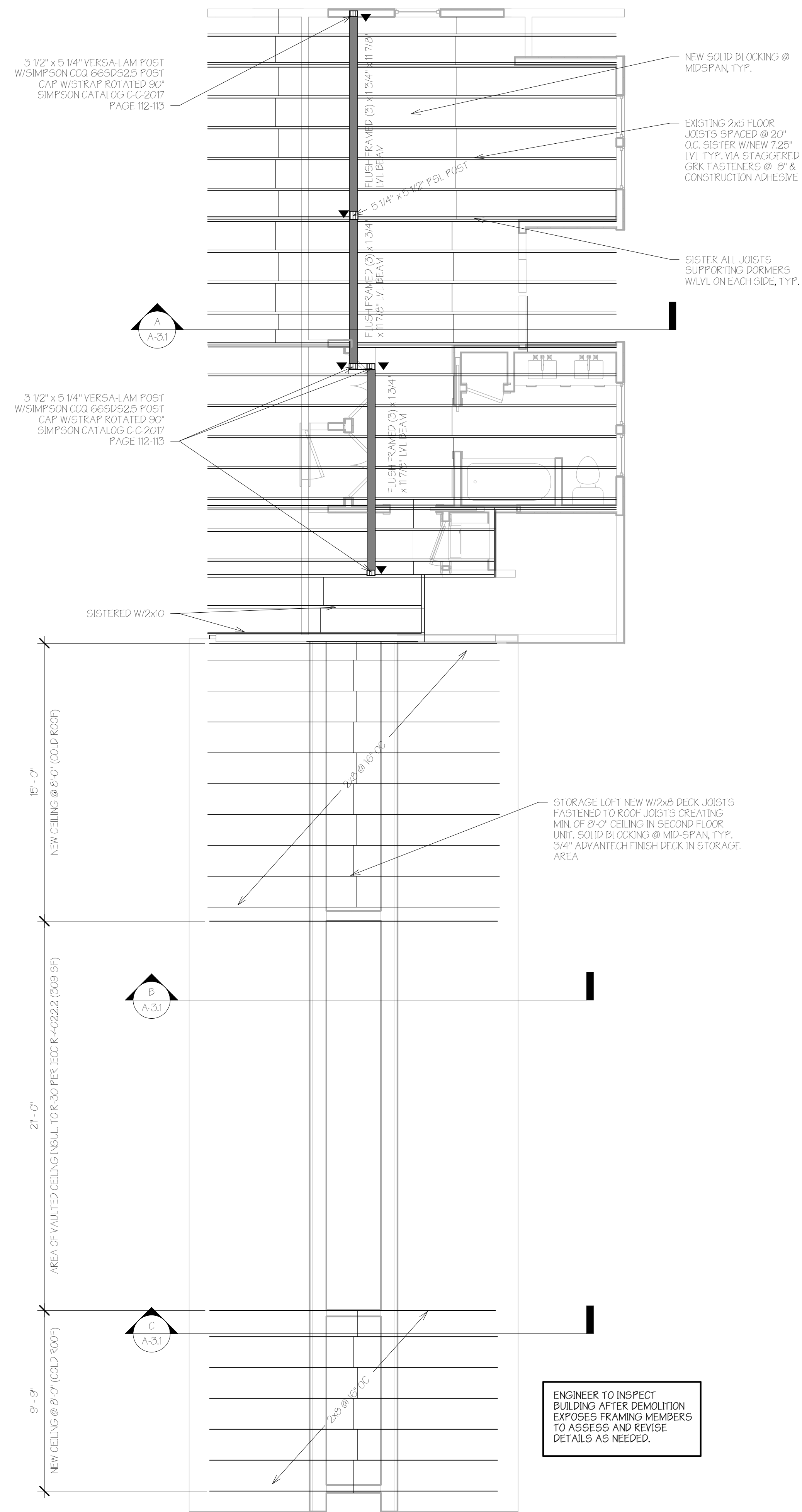
No.	Description	Date

Framing Plans

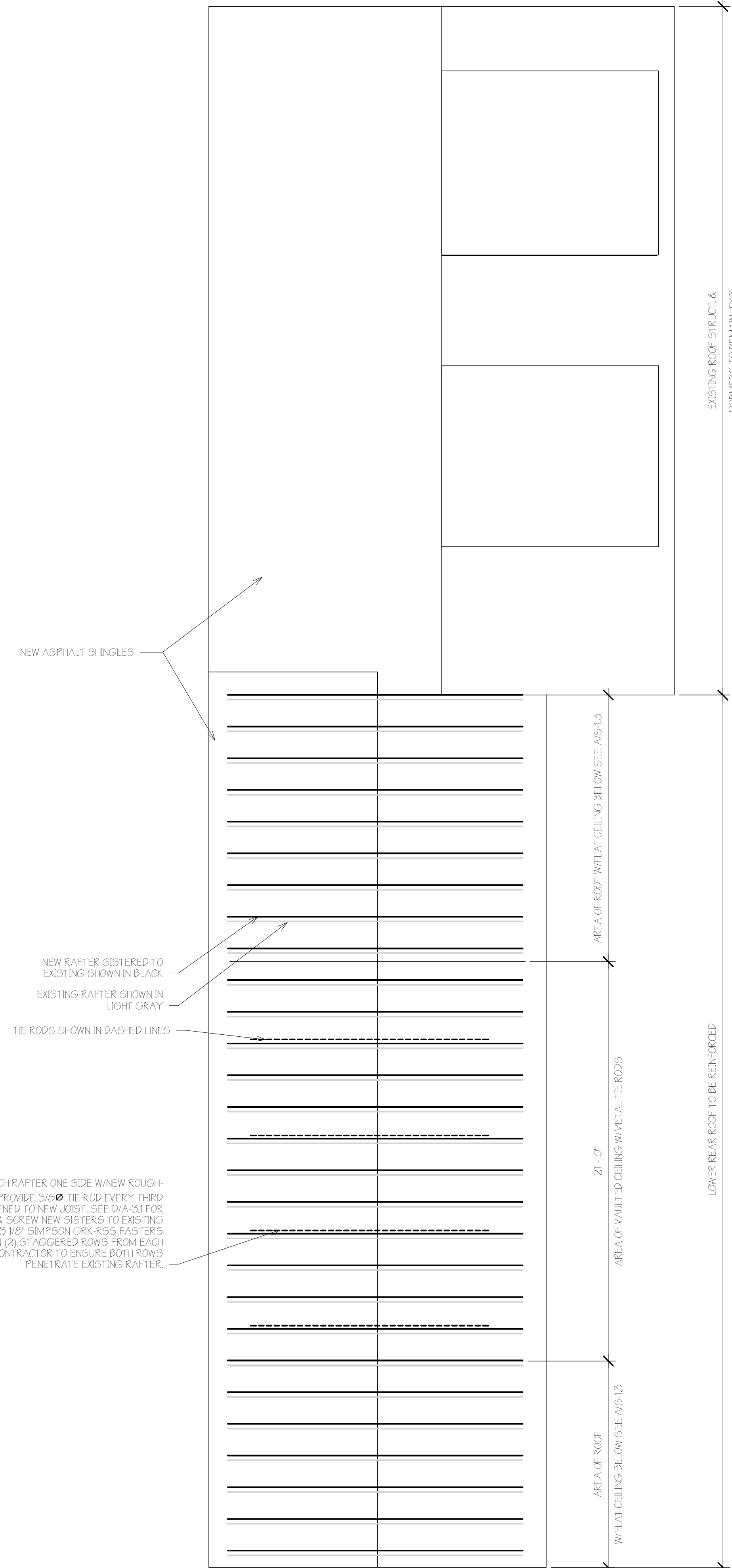
Project number 18-07_75 Quebec
Date 08.14.18
Drawn by TJR
Checked by Checker

S-1.3

Scale 1/4" = 1'-0"



Third Floor & Rear Unit Ceiling Reinforcement
Plan
1/4" = 1'-0"



Roof & Rear Roof Framing/Reinforcement
Plan
1/4" = 1'-0"



75 QUEBEC STREET - PORTLAND

GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS – WORK FROM DIMENSIONS ONLY.
- 2. IF THIS PROJECT INVOLVES AN EXISTING STRUCTURE, DIMENSIONS SHOWN ON THE DRAWING ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. THE GENERAL CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION.
- 3. DIMENSIONS ARE TO FACE OF FRAMING, FOUNDATION & THE CENTERLINE OF INTERIOR WALLS UNLESS NOTED OTHERWISE. IN ADA-COMPLIANT BATHROOMS DIMENSIONS ARE FROM FACE OF G.W.B.
- 4. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE & LOCAL CODES.
- 5. GENERAL CONTRACTOR RESPONSIBLE FOR OBTAINING REQUIRED PERMITS.
- 6. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.
- 7. SEE STRUCTURAL NOTES ON SHEET S-1 FOR FRAMING, CONCRETE, SPECIES AND OTHER STRUCT.-RELATED NOTES
- 8. GENERAL CONTRACTOR TO USE LICENSED & INSURED SUB-CONTRACTORS.
- 9. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITIES.
- 10. CONTRACTOR SHALL SCHEDULE SITE VISIT WITH ARCHITECT AND ENGINEER AFTER DEMOLITION (IN EXISTING CONSTRUCTION PROJECTS) HAS BEEN CONDUCTED TO EXPOSE UNKNOWN PORTIONS OF EXISTING STRUCTURE(S) TO CONFIRM ASSUMPTIONS USED IN ENGINEERING CALCULATIONS, VERIFY QUALITY OF STRUCTURAL MEMBERS AND EXISTING STRUCTURAL CONNECTIONS.
- 11. CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS, AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION THAT PREVENTS CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS.
- 12. CONTRACTOR SHALL COORDINATE BUILDING INSPECTIONS AND OBTAIN CERTIFICATE OF OCCUPANCY AT COMPLETION OF PROJECT.
- 13. CONTRACTOR SHALL PROVIDE OWNER WITH COPIES OF ANY MANUALS/OPERATIONAL GUIDES, WARRANTY OR REBATE DOCUMENTATION, ETC. TO OWNER AT COMPLETION OF PROJECT.
- 14. CONTRACTOR SHALL PROVIDE OWNER WITH POST-OCCUPANCY FOLLOW-UP TRAINING ON MECHANICALS, ELECTRICAL SYSTEMS TO ORIENT THEM TO VARIOUS CONTROLS AND ENSURE UNDERSTANDING OF RECOMMENDED MAINTENANCE SCHEDULES, ETC.

GENERAL SITE WORK NOTES

- 1. NO GEOTECHNICAL INVESTIGATION HAS BEEN PERFORMED AT THIS SITE. NOTIFY STRUCTURAL OR CIVIL ENGINEER DURING EXCAVATION SO THAT ENGINEER MAY OBSERVE SOIL CONDITIONS ENCOUNTERED ON-SITE. ENGINEER MAY ELECT TO REQUIRE SOIL INVESTIGATION BY A GEOTECHNICAL ENGINEER.
- 2. EXTERIOR PAVING AND GRADE SHALL SLOPE AWAY FROM BUILDING TO DRAINAGE WAYS. FOR COMMERCIAL PROJECTS OR HOUSING PROJECTS OVER 3-UNITS ENSURE GRADE SLOPE MEETS ADA-REGULATIONS PER FAIR HOUSING STANDARDS.

GENERAL CARPENTRY NOTES

- 1. WOOD BLOCKING IN CONTACT WITH CONCRETE OR STONE TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS. SEAL CUTS IN "P1" WOOD WITH FIELD APPLIED PRESERVATIVE. USE STAINLESS STEEL FASTENERS.
- 2. PROVIDE DOUBLE STUDS AT EACH SIDE OF NORTH WINDOW FRAMES.
- 3. CONTRACTOR TO PROVIDE SOLID BLOCKING @ MID-SPAN OF ALL FLOOR OR ROOF JOISTS/RAFTERS, AND @ MID-HEIGHT OF ALL BEARING WALLS.
- 3. ALL WINDOW HEADERS TO BE FRAMED W/1"X4" TO AVOID WARPAGE OR SHRINKAGE, UNL. SEE STRUCT. FRAMING PLANS FOR SIZING.
- 4. CONTRACTOR TO CONDUCT VISUAL INSPECTION OF SHEATHING TO SPOT AND SEAL PENETRATIONS, INCLUDING NAIL HEAD PENETRATIONS IN VAPOR BARRIER.
- 21. PROVIDE PAPERLESS, MOISTURE RESISTANT G.W.B. IN BATHROOMS, TYP.
- 20. TAPE ALL GYP/SUM SEAMS AND PAINT PER FINISH SCHEDULE.

INSULATION, FLASHING, WATERPROOFING

- 1. PROVIDE PRE-MOULDED ISOLATION STRIP BETWEEN ALL FOUNDATION WALLS AND CONCRETE SLAB.
- 1. INSTALL WINDOWS & FLASHING FOLLOWING MANUFACTURER'S INSTRUCTIONS. USE FAST FLASH LIQUID-APPLIED FLASHING TO PROVIDE WATERPROOF SEAL. USE HORSESHOE SHIMS @ BOTTOM OF WINDOWS TO HOLD FLANGE OFF SHEATHING, ALLOWING WATER TO DRAIN IF WINDOW FAILS.
- 11. PROVIDE A CONTINUOUS BEAD OF SEALANT IN ALL JOINTS IN BUILDING, INCLUDING: ENVELOPE, PERIMETER, ISOLATION JOINTS, COLUMN PIPE, ALL PENETRATIONS AND CONDITIONS SO THAT NO MOISTURE, VAPOR OR GAS MAY PASS THROUGH STRUCTURE.
- 12. BOTTOM EDGE OF ROOFING & VALLEYS EXTENDING 3'-0" SHALL HAVE A WATERPROOF MEMBRANE LIKE "ICE & WATER SHIELD."
- 15. WOOD BLOCKING IN CONTACT WITH CONCRETE OR STONE TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS. SEAL CUTS IN "P1" WOOD WITH FIELD APPLIED PRESERVATIVE. USE STAINLESS STEEL FASTENERS.
- 24. USE SPRAY FOAM INSULATION TO SEAL AIR GAPS IN HARD-TO-REACH PLACES THAT ARE UNLIKELY TO BE FILLED DURING APPLICATION OF INSULATION.
- 25. PROVIDE METAL DRIP EDGES ON ALL ROOF EAVES, TYP. AND METAL FLASHING W/DRIP EDGE ON WINDOW HEADS, TYP. PROVIDE METAL DRIP EDGES ON ALL ROOF EAVES, TYP. AND METAL FLASHING W/DRIP EDGE ON WINDOW HEADS, TYP.

HEATING, PLUMBING AND MECHANICAL

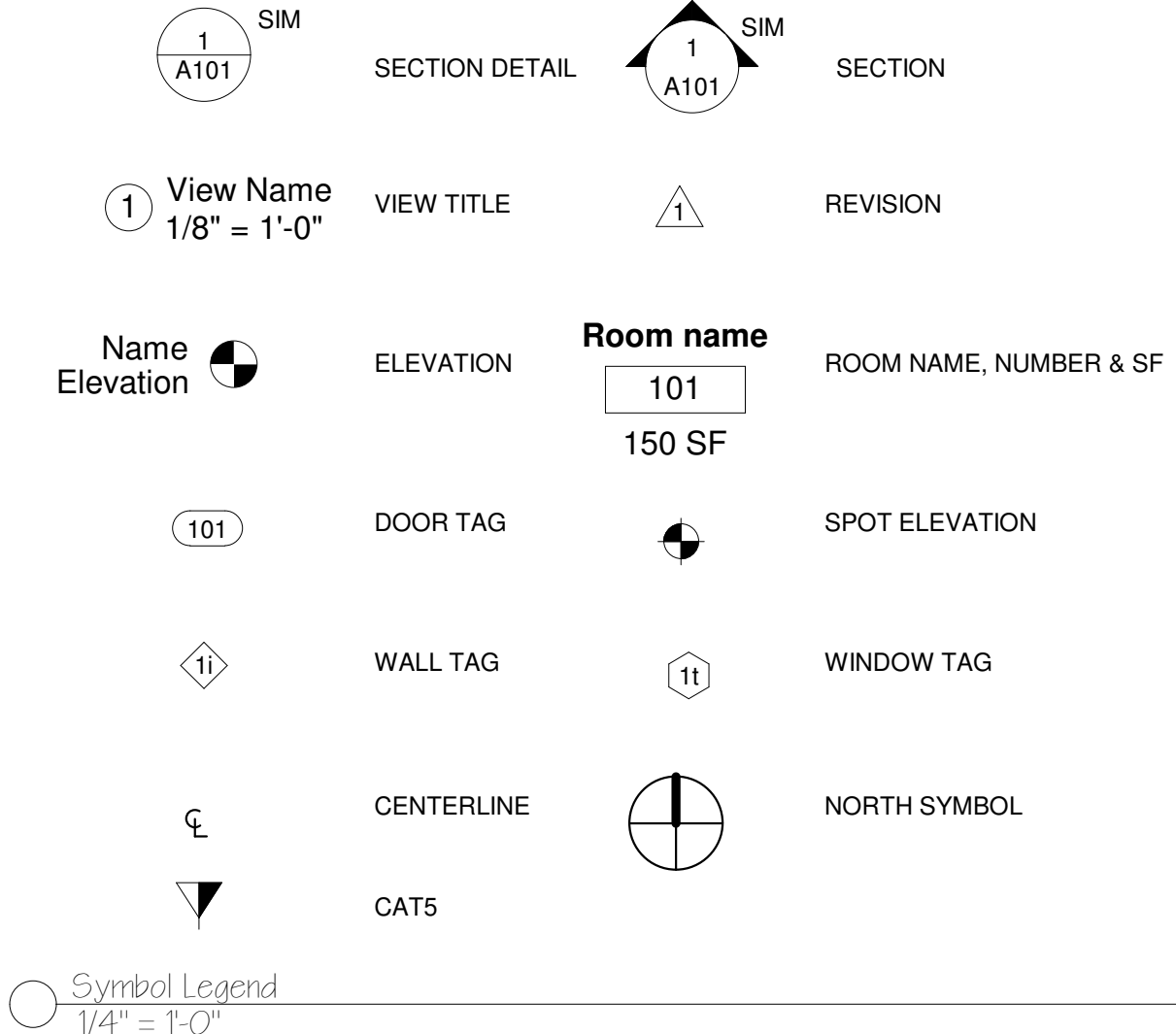
- 1. ALL WORK TO BE PERMITTED AND COMPLETED VIA LICENSED CONTRACTORS IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- 2. HEATING SYSTEM TO BE PERFORMANCE BASED, DESIGN BY MECHANICAL CONTRACTOR, OWNER TO APPROVE BEFORE PURCHASING.
- 2. ELECTRICAL LIGHTS & OUTLETS TO BE INSTALLED BY LICENSED ELECTRICIAN, OWNER TO APPROVE BEFORE PURCHASING.
- 3. SEAL ALL OUTLETS & PENETRATIONS IN VAPOR RETARDER W/TAPE COMPLIANT W/VAPOR RETARDER MANUFACTURER.
- 27. GENERAL CONTRACTOR TO ENSURE BLOCKING & PLUMBING/ELECTRICAL FIXTURES/CONTROLS MEET ADA & FAIR HOUSING REGULATIONS FOR COMMERCIAL PROJECTS OR RESIDENTIAL BUILDINGS OVER 3 UNITS.

LIFE SAFETY, ACCESSIBILITY & FIRE PROTECTION

- 1. GENERAL CONTRACTOR TO VERIFY EACH SLEEPING ROOM HAS MIN. OF ONE COMPLIANT EGRESS WINDOW.
- 2. CONTRACTOR TO PROVIDE APPROVED OPENING OR FALL PROTECTION DEVICES ON ALL WINDOWS PER BUILDING CODES.
- 3. CONTRACTOR TO ENSURE DOORS OR OTHER PENETRATIONS IN FIRE-RATED ASSEMBLIES MEET OR EXCEED RATING MINIMUMS. PROVIDE HOLD-OPENS, CLOSURES AND OTHER COMPLIANT HARDWARE IN ACCORDANCE WITH BUILDING CODES.
- 4. PROVIDE THRU-PENETRATION FIRE-STOPPING AT ALL PENETRATIONS TESTED TO MEET ASTM E 814 OR UL 1479 PER IBC 714.3.12. NOTE THAT FIRE RESISTANCE RATG'N SHALL NOT BE LESS THAN THE RATING OF THE WALL(S) PENETRATED
- 5. IF REQUIRED PER LOCAL ORDINANCE OR CODE, FIRE SUPPRESSION SYSTEM DESIGN BY SPRINKLER CONTRACTOR. ENSURE CONTRACTOR PERMITS SYSTEM PER LOCAL AND STATE REGULATIONS.
- 6. FOR COMMERCIAL OR RESIDENTIAL PROJECTS OVER 3-UNITS ENSURE ADA-REGULATIONS AND FAIR HOUSING REGULATIONS ARE MET PER LOCAL, STATE AND FEDERAL CODES.

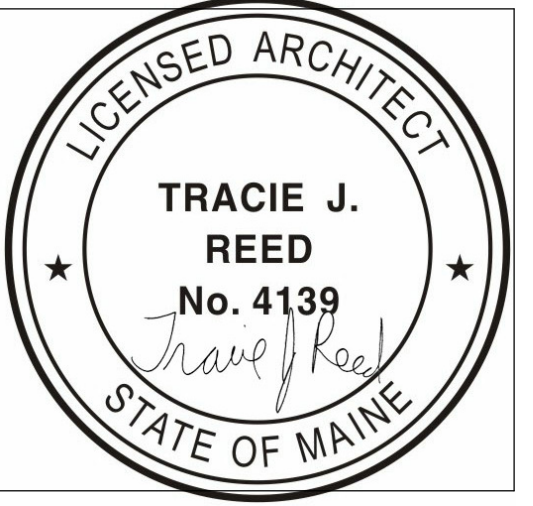
ABBREVIATIONS

- ADA | Americans with disabilities act
- AFF | Above Finish Floor
- DWG | Drawing
- EL | Elevation
- GA | Gauge
- GWB | Gypsum wall board
- EQ | Equal
- GPF | Gallons per flush (toilets)
- FE | Fire extinguisher
- HVAC | Heating, ventilation and air conditioning
- LM | Lumens
- MIN | Minimum
- NTS | Not to scale
- PSI or PSF | Pounds per square inch or pounds per square foot, pressure or strength
- UNO | Unless noted otherwise
- R-Value | Thermal resistance
- RCP | Reflected ceiling plan
- SHG | Solar Heat Gain
- SF | Square foot
- SIM | Similar
- STRUCT. | Structural
- T.O. | Top of
- TYP. | Typical
- VIF | Verify in field
- VT | Visual transmittance, a measurement of transparency/translucency
- WC | Water closet, otherwise known as a bathroom



Sheet List	
#	Name
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T-1.3	Fair Housing Diagrams, Cont.
C-1.1	Site and Life Safety
A-1.1	First Floor Plans
A-1.2	Second Floor Plans
A-1.3	Third Floor Plans
A-1.4	Basement Plans
A-2.1	East Elevation
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RENOVATION | 4-UNIT CONDO

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KITCHENS
(2) FIRST FLOOR UNITS TO HAVE FHA-COMPLIANT KITCHENS
-ASSUME 30" SLIDE IN GAS RANGE, REFRIGERATOR, 24" DISHWASHER, CIRCULATING VENT. ALL APPLIANCES TO BE STAINLESS STEEL
-TILE BACKSPLASH
-SOLID-COLOR LAMINATE COUNTER IN FIRST FLOOR UNITS, SOLID SURFACE COUNTERS IN UPPER FLOORS
-FULL-OVERLAY CABINET DOORS, DRAWER UNITS ON BASE CABINETS WITH SOFT-CLOSE-STYLE HARDWARE AND SELF-CLOSING SLIDES. SOLID-WOOD CABINETS. FINISH AND DOOR STYLE PER CLIENT.
-UNDER-MOUNT SINK W/SPRAY NOZZLE AND RECESSED SOAP DISPENSER. AERATOR @ LO GPM

BATHROOMS
(2) FIRST FLOOR UNITS TO HAVE FHA-COMPLIANT BATHROOMS INCLUDING CONVERTABLE COMPLIANT VANITY.
-ASSUME LOW-FLOW NAGARA SHOWER HEADS (1.5 GPM), 0.5 AERATOR SCREENS IN BATHROOMS
-LO GPM NIAGARA DUAL-FLUSH TOILET
-FAN WITH HUMIDISTAT TRIGGERED BY VANITY LIGHT
-VANITY PER CLIENT

DOORS
-SOLID CORE DOORS, FACTORY PRIMED AND PAINTED.
-1-HOUR RATED DOORS ON ALL UNIT AND BASEMENT DOOR
-ALL FIRST FLOOR DOORS MIN. 3/4" PANELS TO MEET FHA REQ.
-LEVER HARDWARE & PRIVACY LOCKS ON BATHROOMS & DEARBOLT ON FRONT/REAR DOOR.
-EXTERIOR DOORS 1/2 LITE INSULATED METAL DOORS, TYP.

WINDOWS
-TO REMAIN UNLESS COMPROMISED, FALL PROTECTING DEVICES ADDED BY CONTRACTOR AS REQ. PER CODE.
-TEMPERED GLASS OR SAFETY PANEL ADDED AS REQ. PER CODE FOR HAZARDOUS AREAS

FIRE PROTECTION/STIC
NEW COMMERCIAL SPRINKLER WITH DEDICATED WATER LINE REQ. TO INCLUDE BASEMENT AND DECKS
-1-HOUR SEPERATION BTW HORIZONTAL AND VERT. BOUNDRIES AND DOORS, 1-HOUR SEPERATION TO INCLUDE BASEMENT/FIRST FLOOR.
-STC RATING OF 50 (MIN) BTW UNITS VERT AND HORIZONTAL PER IBC.

INSULATION
-ASSUME FIBERGLASS BATTS TO MEET IECC 2015 CLIMATE ZONE 6A: R-49 BATTS FOR ROOF, WHERE EXT. WALLS ARE OPENED ADDED INSUL IN CAVITY. INSUL FIRST FLOOR TO R-30.
-CONTRACTOR TO PROVIDE AIR SEALING/FIRE STOP @ LOCATION OF ALL WATER PIPES
-ALL WATER PIPES TO BE INSULATED

FLOORING
-TILE IN KITCHENS AND BATHROOMS UNDERLAYMENT
-SALVAGE WOOD FLOOR WHERE POSSIBLE. REPLACE W/WOOD WHERE REQ.

PAINT
-ALL LOW-VOC PAINT, PRIMED W/2) COATS OF TOP PAINT COLOR BY CLIENT

TRIM
-ASSUME PRE-PRIMED AND PAINTED FLAT STOCK TRIM, TYP.

LIGHTING
-ASSUME ALLOWANCE. ALL FIXTURES TO INCLUDE LED BULBS. COMMON AREAS TO INCLUDE MOTION SENSORS

ROOF
-PATCH AS NEEDED. CONTRACTOR TO EVAL USEFUL LIFE W/CLIENT, AND ADVISE ARCHITECT NOTED NEW WEEP ON THIRD FLOOR DURING LATE APRIL WALK-THROUGH
-SEE STRUCT ABOVE. NOTE ROOF OF BACK SECOND FLOOR ROOF TO BE INSULATED TO R-30 W/CLOSED FOAM INSUL @ VAULTED AREA & RAFTERS SISTERED PER IECC R402.2.2). FRONT UNIT ROOF NOT REQ. TO BE INSUL. BEYOND DISTING. UNVAULTED AREAS OF 2ND FLOOR REAR UNIT TO BE INSUL. TO R-49 S/WVENTED COLD-ROOF APPLICATION.

No.	Description	Date

Title

Project number 18-07_75 Quebec

Date 08.14.18
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Checked by TJR

T-1

Scale 1/4" = 1'-0"

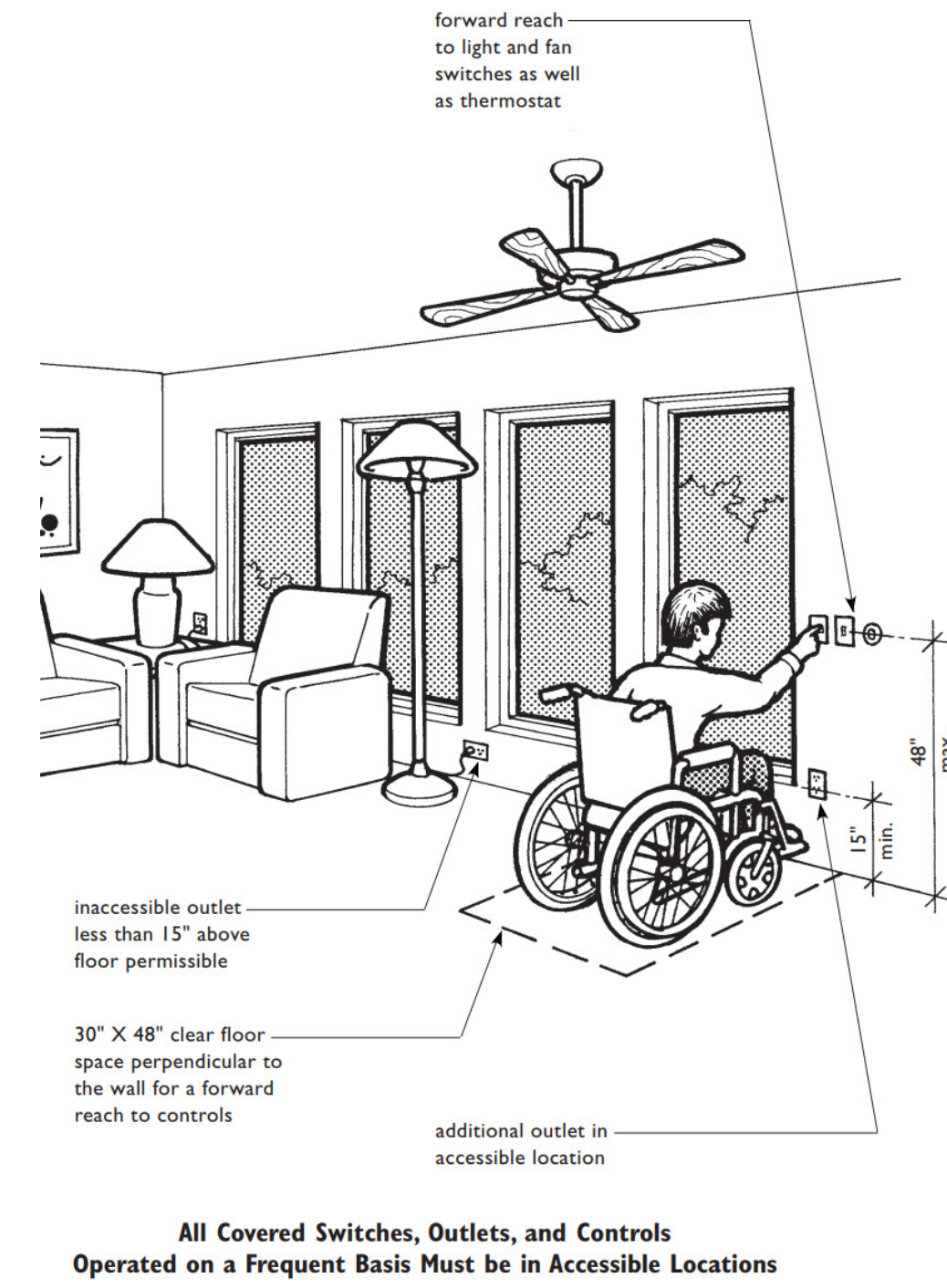
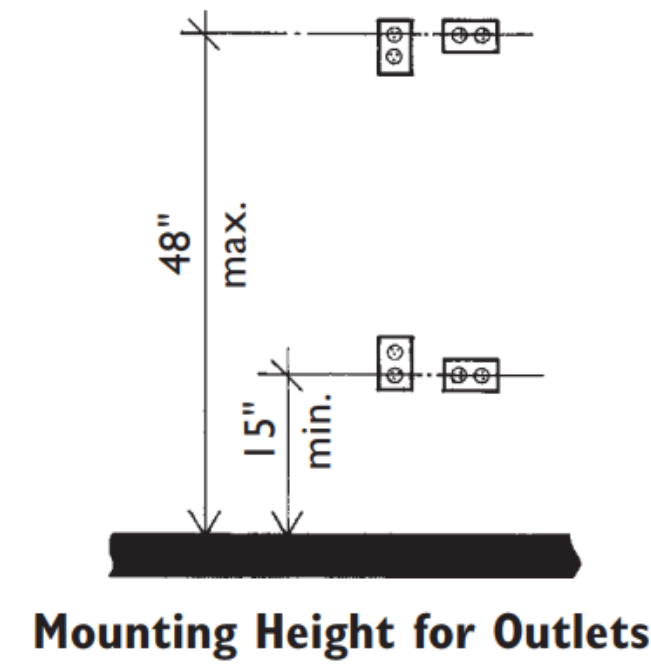
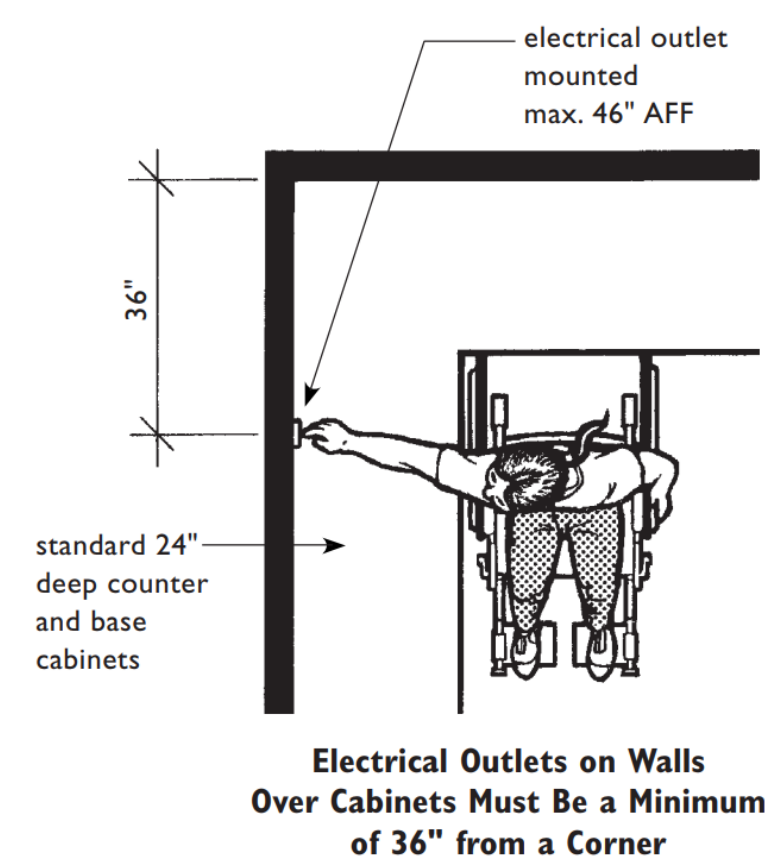
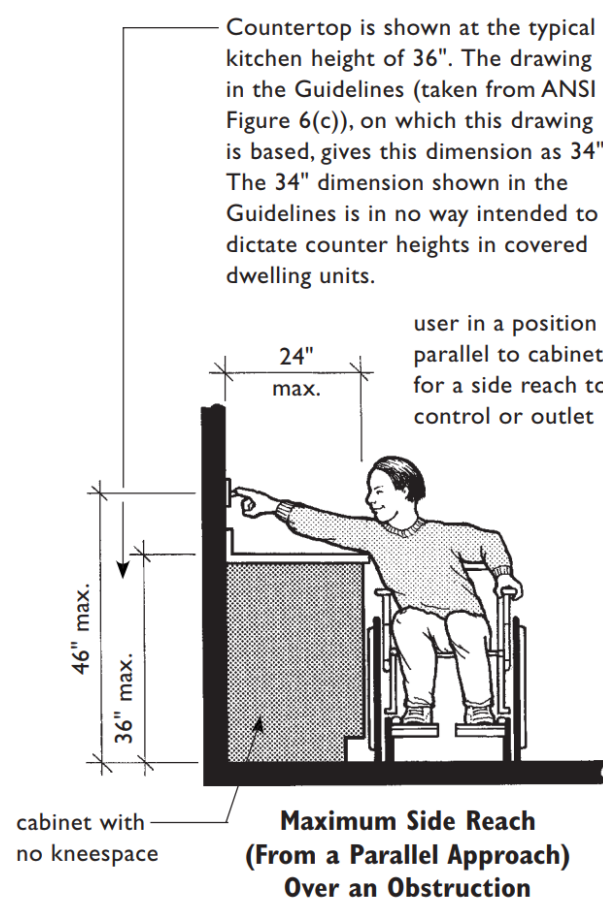
FAIR HOUSING COMPLIANCE DIAGRAMS

(SCREEN SHOTS FROM FAIR HOUSING DESIGN GUIDELINE MANUAL) - <https://www.huduser.gov/portal/publications/desstech/fairhousing.html>
 ARCHITECT RECOMMENDS ELECTRICAL CONTRACTOR READ CHAPTER 5 OF FAIR HOUSING ACT DESIGN STANDARD BOOKLET - REGARDING LIGHTING, THERMOSTAT AND ELECTRICAL CONTROL POSITIONING. STANDARDS APPLY TO FIRST FLOOR AND COMMON AREAS OF BUILDING & CHAPTER 7 ON USABLE KITCHENS AND BATHROOMS REGARDING OUTLET PLACEMENT.

IMPORTANT NOTES: OPERABLE PORTIONS OF OUTLETS INCLUDE SWITCH OR BUTTONS, ETC. REQ. TO OPERATE THE EQUIPMENT/FIXTURE. THESE ARE MEASURED FROM FINISH FLOOR ELEVATION - DUE TO POTENTIAL CHANGES IN FLOORING SELECTION AFTER ROUGHING ARE COMPLETE IT IS RECOMMENDED NOT TO INSTALL AT MIN/MAX HEIGHT TO ALLOW FOR VARIATION.

EXAMPLES: INSTALL WALL OUTLETS @ 15" AFF INSTEAD OF 12" MIN. THERMOSTATS & SWITCHES AT 3'-6" INSTEAD OF 4'-0" MAX. AND OUTLETS IN KITCHENS AT REACH AT 44" INSTEAD OF THE 46" MAX.

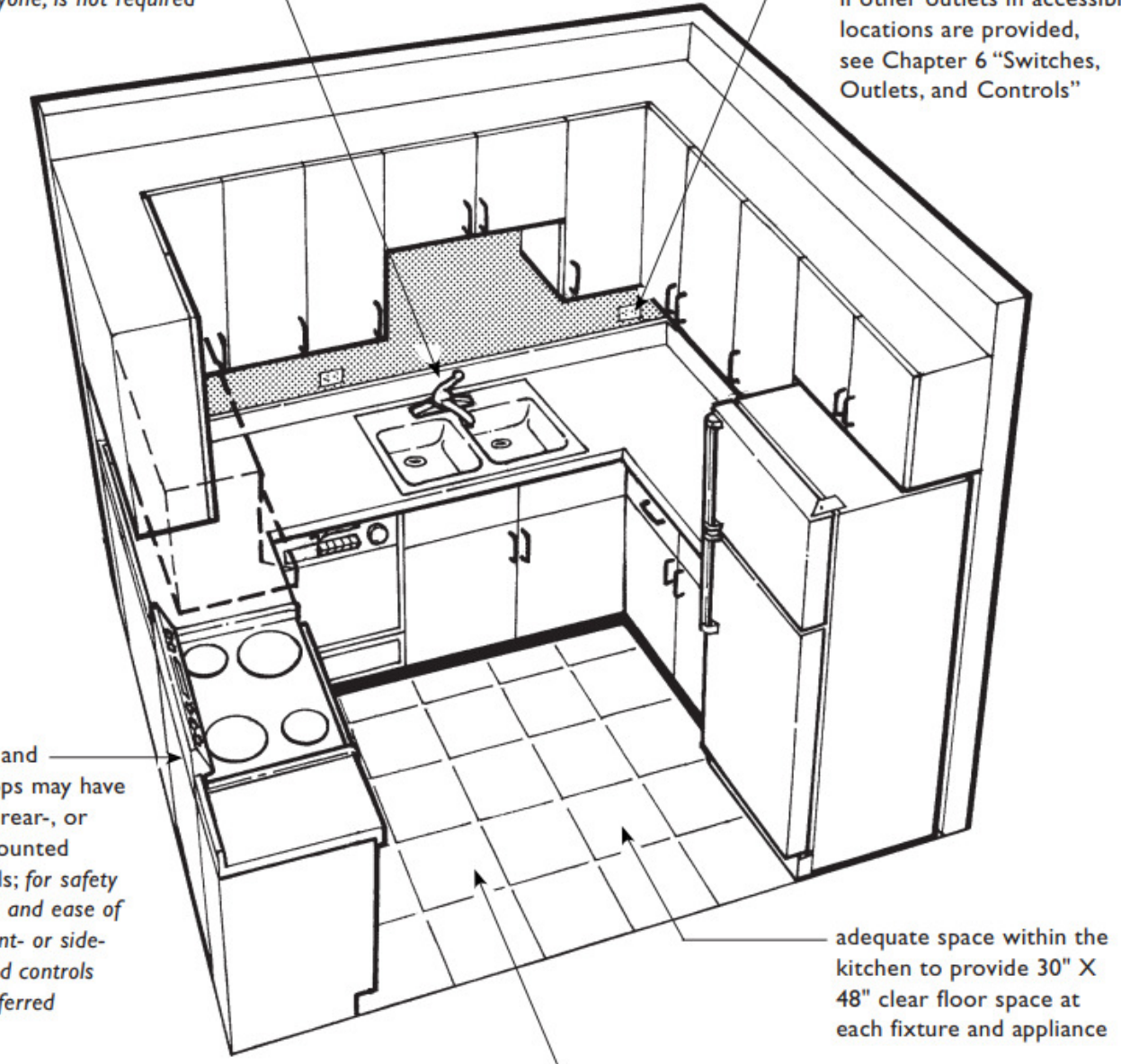
DO NOT INSTALL OUTLETS IN KITCHEN COUNTER CORNERS - OUT OF REACH OF RESIDENTS.



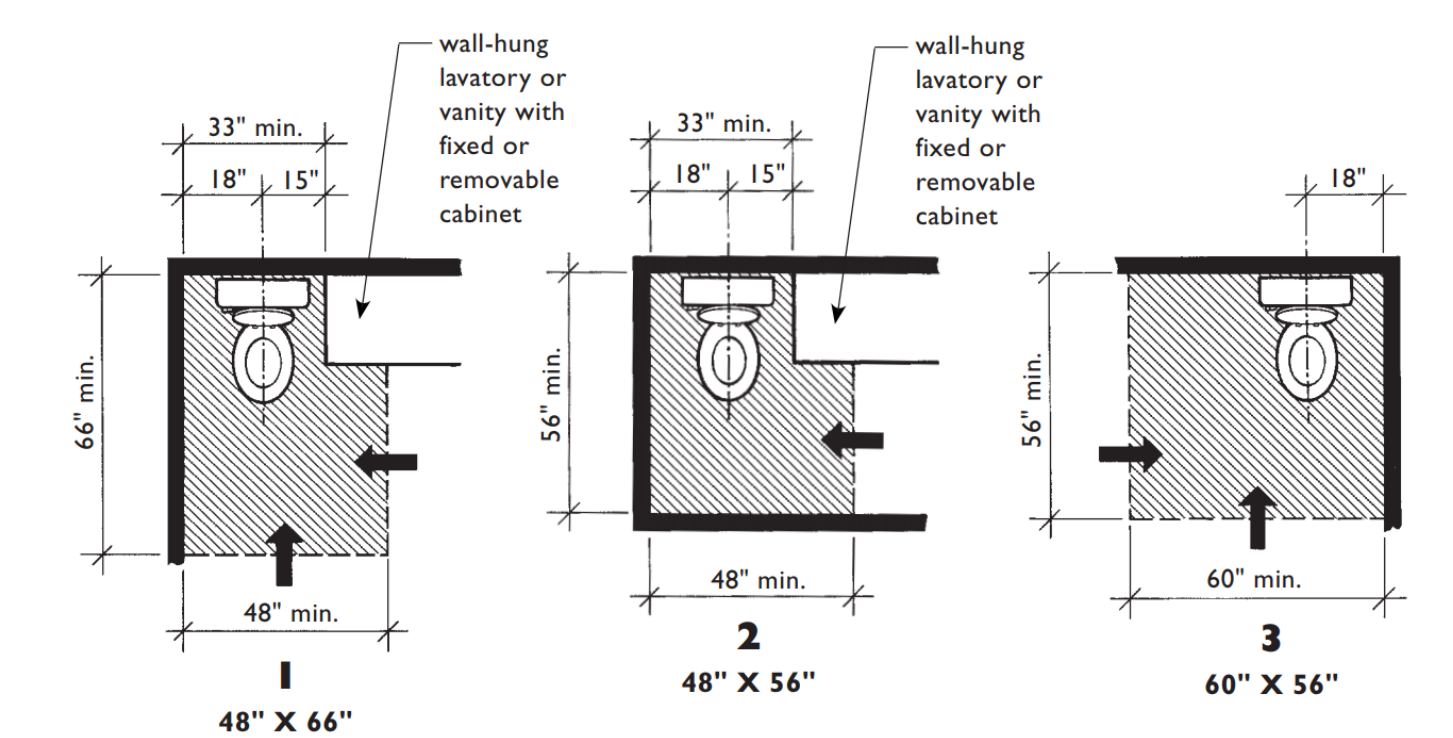
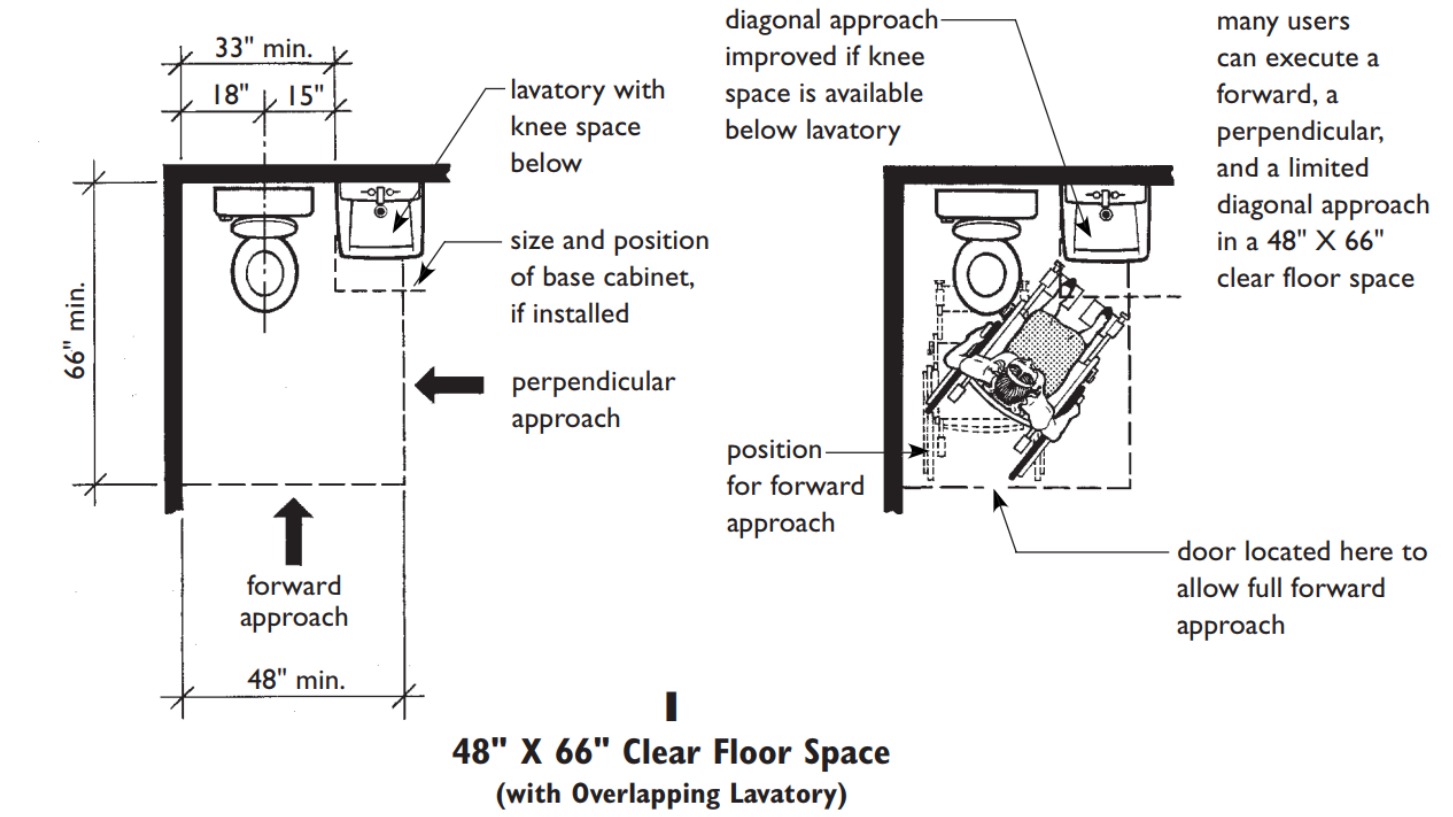
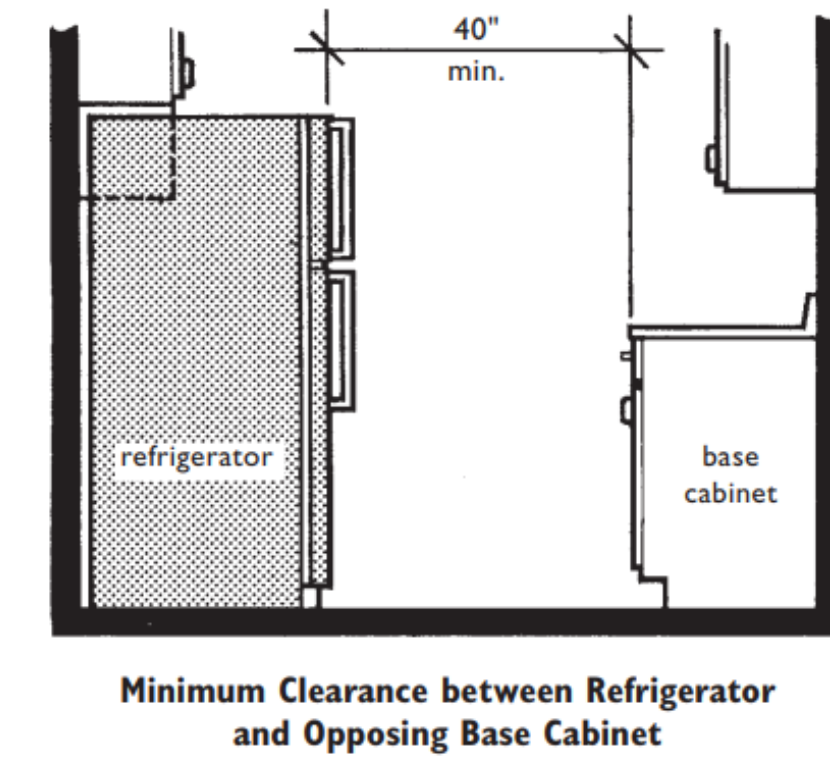
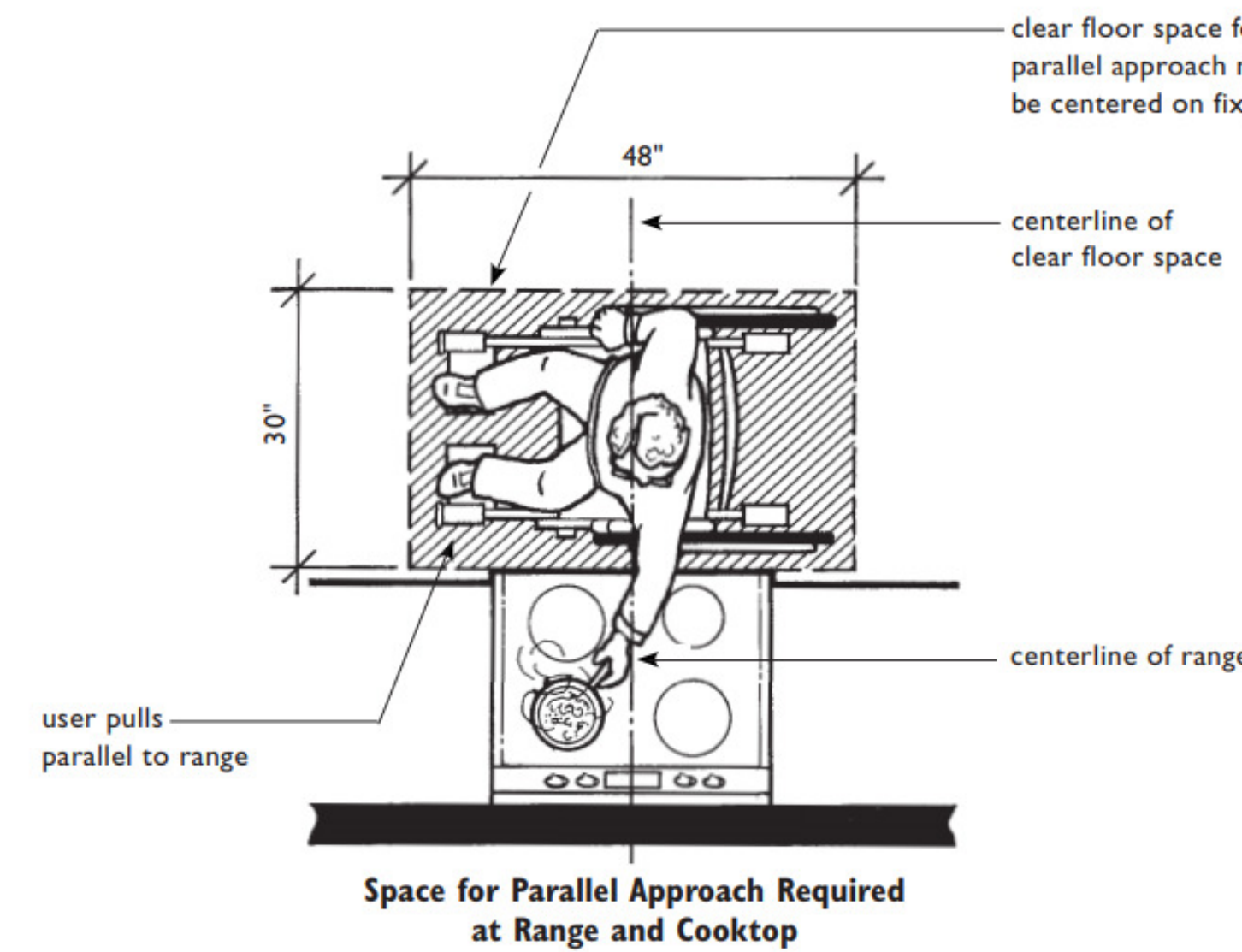
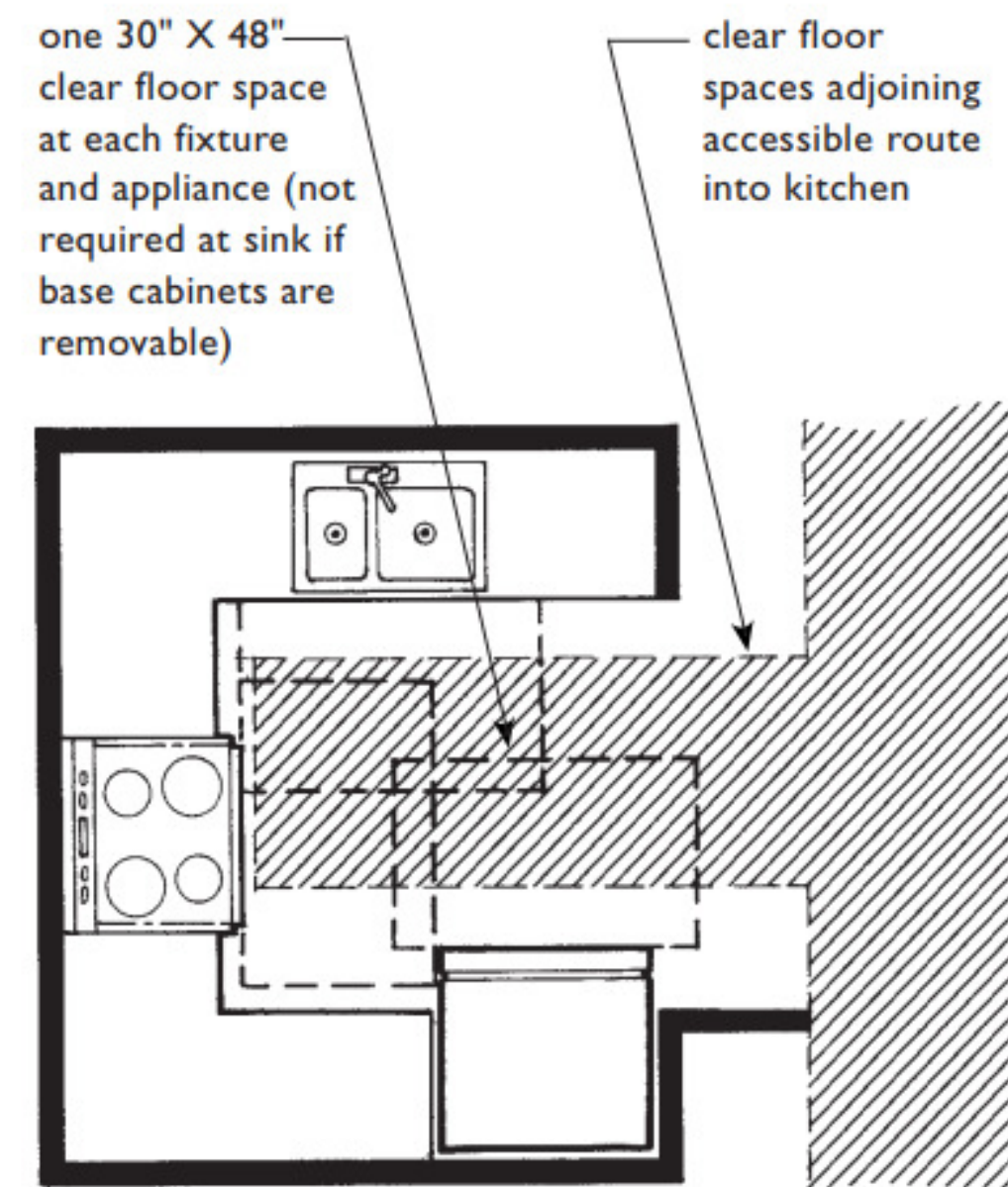
counters may be at the standard height of 36" (counter height of 34" as shown in Fig. 2(c) of the Guidelines does not apply)

lever hardware, although preferred and more usable by everyone, is not required

12/07/2018
 allow passage see Chapter 4 "Usable Doors" and Chapter 5 "Accessible Route"



Notes in italic type are recommendations only and are not required by ANSI or Guidelines.

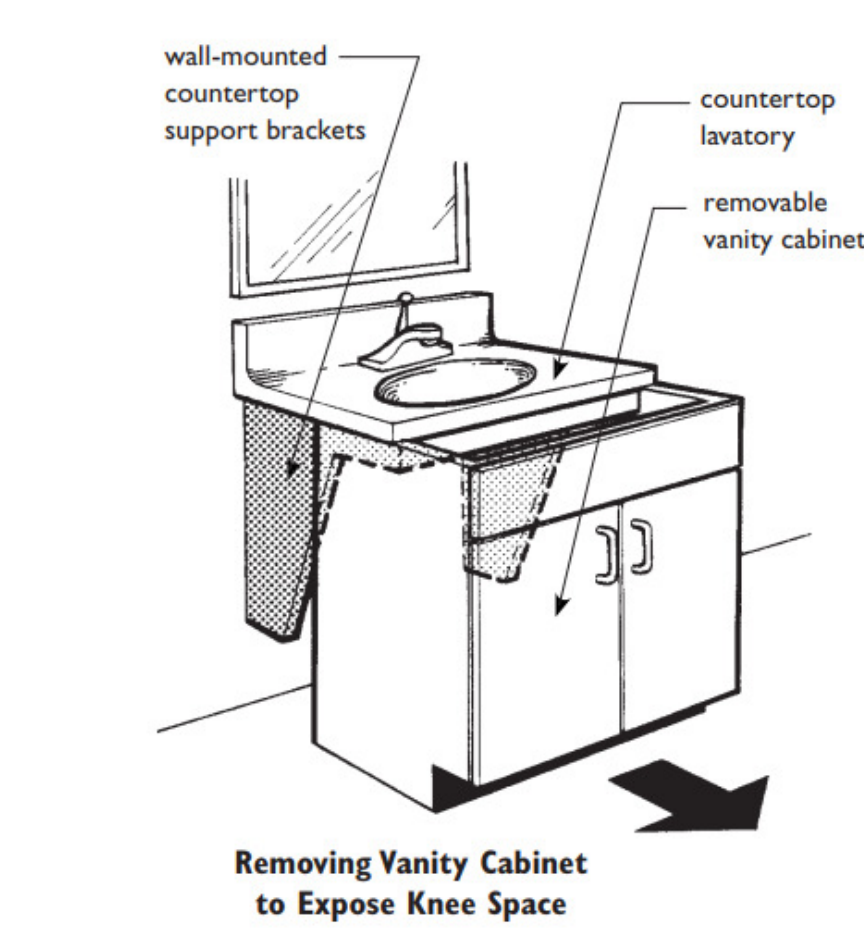
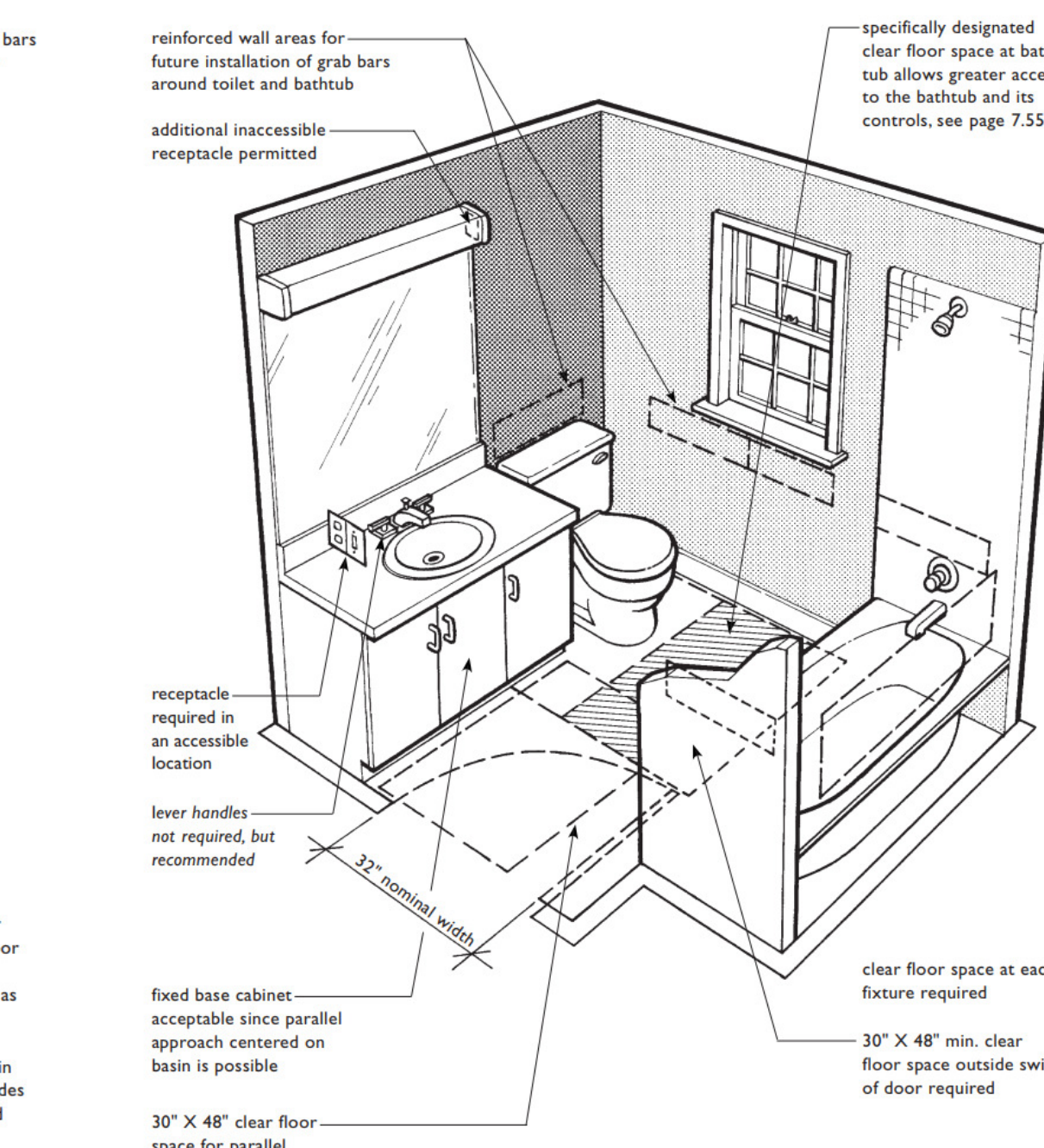
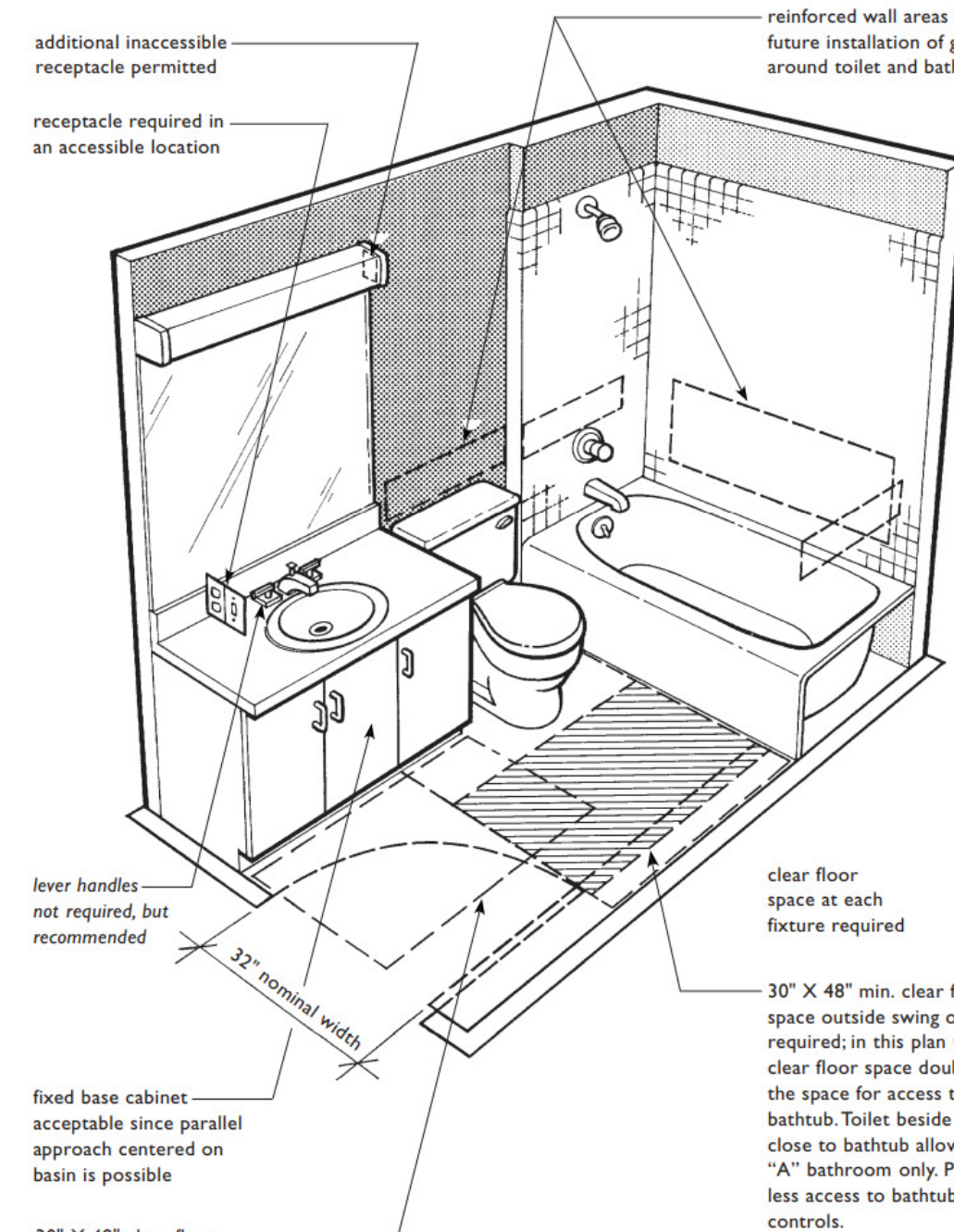


FAIR HOUSING COMPLIANCE DIAGRAMS

(SCREEN SHOTS FROM FAIR HOUSING DESIGN GUIDELINE MANUAL) - <https://www.huduser.gov/portal/publications/desstech/fairhousing.html>
 ARCHITECT RECOMMENDS PLUMBER, CARPENTER, LEAD AND ELECTRICAL CONTRACTOR READ CHAPTER 7 OF FAIR HOUSING DESIGN STANDARDS COVERING BLOCKING, OUTLET PLACEMENT, AND CLEARANCE REQ. FOR PLUMBING FIXTURES.

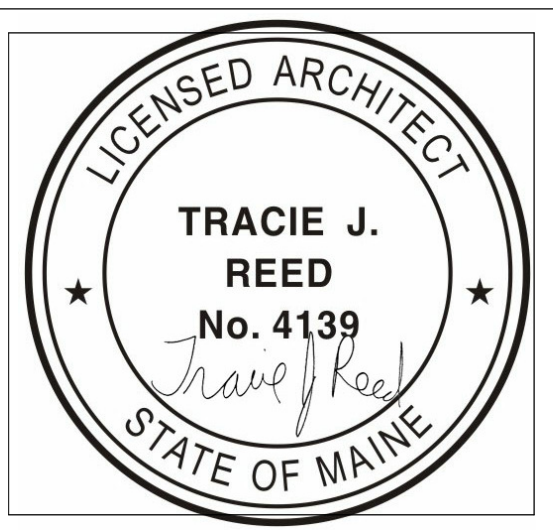
BLOCKING REQ. ARE MIN. FOR EASE OF INSTALLATION ARCHITECT RECOMMENDS INSTALLING SOLID PLYWOOD WALL REINFORCING 3" WIDER THAN REQ. ALONG ENTIRE WALL BEHIND TUB & BEHIND & IN WALLS ADJACENT TO TOILETS TO INSURE COMPLIANCE IF FLOORING CHANGES AFTER ROUGH-IN BLOCKING HAS BEEN INSTALLED.

AT REMOVABLE VANITY ENSURE PLUMBING IS INSTALLED TO ENSURE PROTECTION OF KNEE SPACE IN CONVERSION @ LAVATORY IS CENTERED ON 30" X 48" CLEARANCE.



REMEMBER
 MOBILITY IMPAIRMENT'S IMPACT US ALL, IN VARIOUS FORMS AT SOME POINT IN OUR LIVES - EITHER AS WE AGE OR WATCH LOVED ONES AGE AROUND US. WE ALL DESERVE THE RIGHT TO REMAIN IN OUR HOMES AND LIVE WITH DIGNITY. FAIR HOUSING ADAPTABILITY GUIDELINES WORK TO ENSURE THAT ADAPTABLE HOUSING IS AVAILABLE TO THOSE IN OUR COMMUNITY WHO MAY NEED ADAPTABLE UNITS AT PRESENT OR IN THE FUTURE. NONE OF US ARE GETTING ANY YOUNGER AND YOU NEVER KNOW WHEN A WRONG STEP OR DISTRACTED DRIVER COULD LAND ANY OF US PRESENTLY ABLE-BODIED PEOPLE LESS MOBILE. FAIR HOUSING REQUIREMENTS AREN'T HARD THEY JUST REQUIRE ATTENTION TO DETAIL AND A WATCHFUL EYE. CORRECTING MISTAKES AFTER THE FACT IS EXPENSIVE REGARDING THROUGH AND UNDERSTANDING HOW YOUR TRADE CAN SPOT SIMPLE ERRORS SAVES LATER AND MORE EXPENSIVE CHANGES. GRAB BARS SAVE LIVES, A SLIP AND FALL IS DEADLY TO SOMEONE WITH A MOBILITY IMPAIRMENT.

FAIR HOUSING COMPLIANCE GENERAL
 FAIR HOUSING DESIGN MANUAL AVAILABLE ONLINE AT: <https://www.huduser.gov/portal/publications/desstech/fairhousing.html>
 CONTRACTOR TO PROVIDE REF. COPY ON SITE IN BINDER FOR SITE REFERENCE
 FIRST FLOOR UNITS AND COMMON AREA MUST BE COMPLIANT
 ALL FIRST FLOOR UNIT DOORS MUST MAINTAIN 32" NOMINAL CLEAR DOOR OPENING
 COMMON AREAS MUST ALLOW 5'-0" TURNING CIRCLE
 LEVER HARDWARE ON COMMON DOORS
 1:12 RAMP ACCESS @ REAR
 ENSURE SITE GRADING DOES NOT HAVE SLOPE GREATER THAN 1:12 OR OR CROSS SLOPE.



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 RENOVIATION 14-UNIT CONDO

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No.	Description	Date

Fair Housing Diagrams

Project number 18-07_75 Quebec

Date 08.14.18

Drawn by TJR

Checked by TJR

T-12

Scale

COMMON AREAS OF THE BUILDING ARE REQ. TO MEET ADA 2010 STANDARDS.
 THE FOLLOWING DIAGRAMS WERE SCREENSHOTS FROM THE 2010 BOOK AVAILABLE ONLINE:
<https://www.ada.gov/reg/2010/2010ADASTandards/2010ADASTandards.htm>

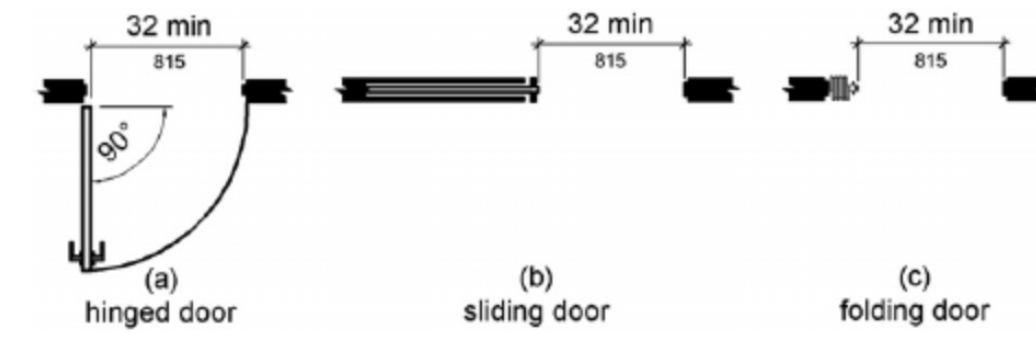


Figure 404.2.3 Clear Width of Doorways

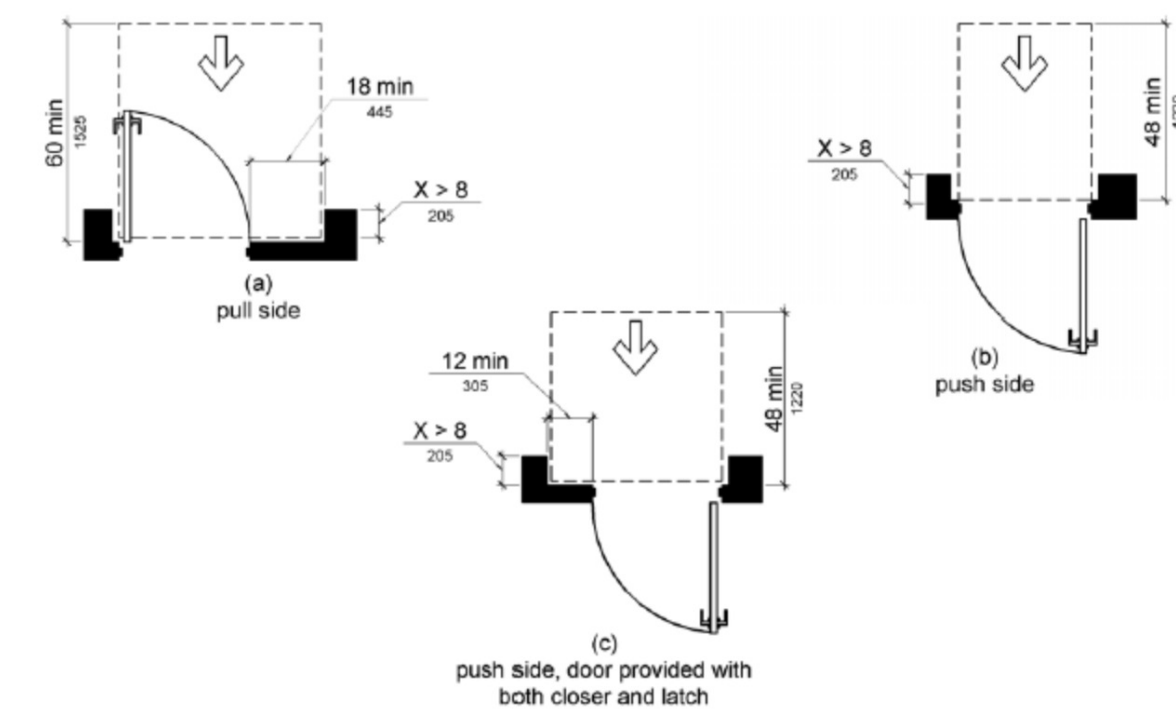
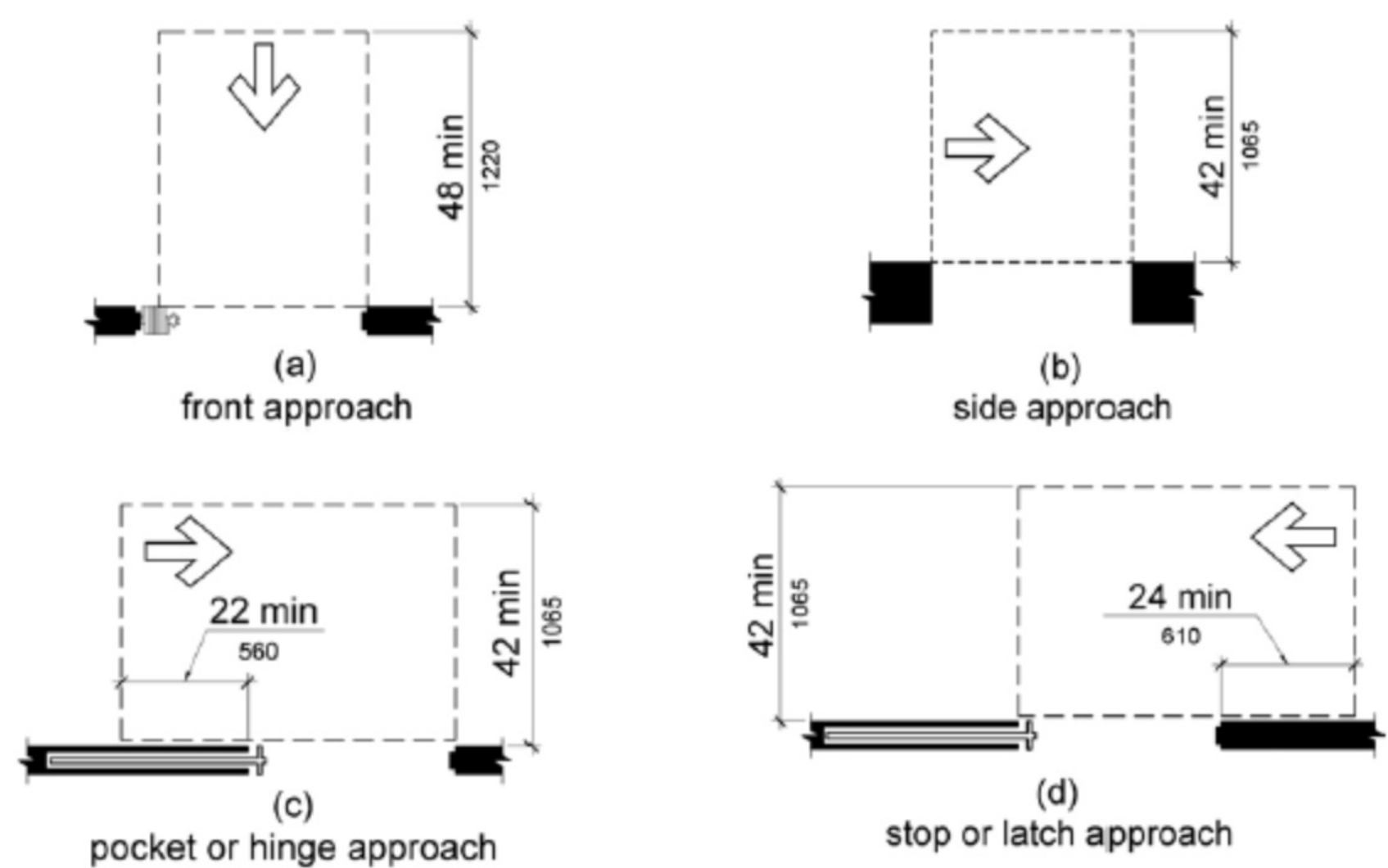
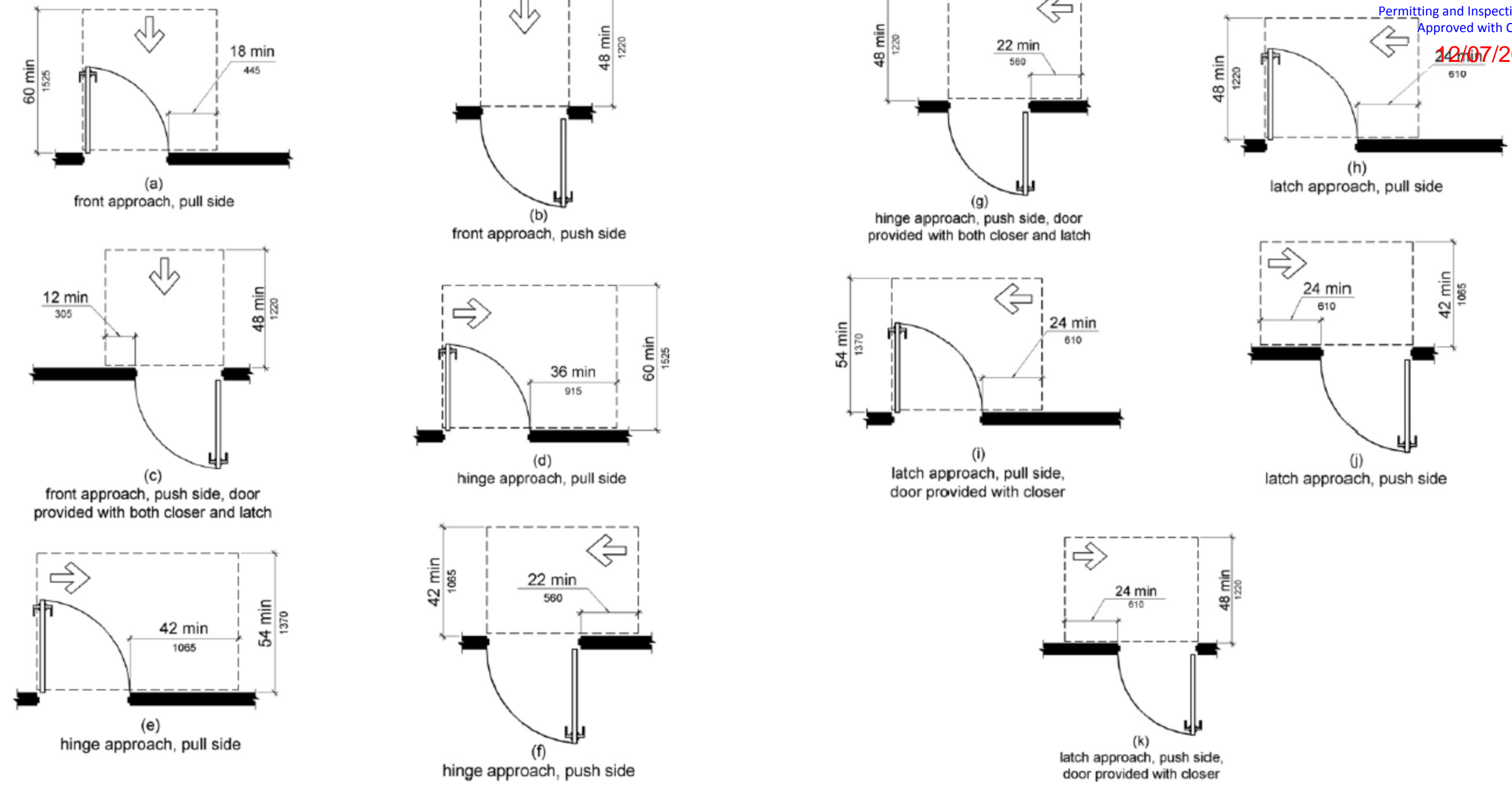
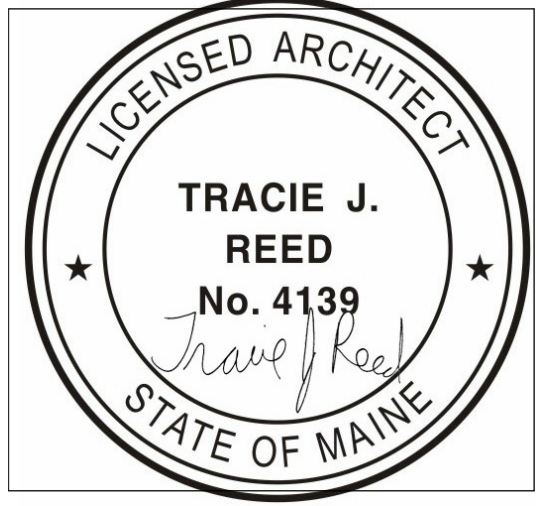


Figure 404.2.4.3 Maneuvering Clearances at Recessed Doors and Gates



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Fair Housing Diagrams, Cont.

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 Drawn by T.J.R.
 Checked by T.J.R.

T-1.3

Scale