

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that GREGORYM COLE

Located At 65 MERRILL

Job ID: 2011-05-1101-ALTR

CBL: 014 - - L - 021 - 001 - - - -

has permission to renovations of second floor bedrooms / apartment

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

SCANNED

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Close-in inspection required of framing, plumbing, and electrical prior to insulating or drywalling.
 2. Final inspection required upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-05-1101-ALTR

Located At: 65 MERRILL

CBL: 014 - - L - 021 - 001 - - - -

Conditions of Approval:

Zoning

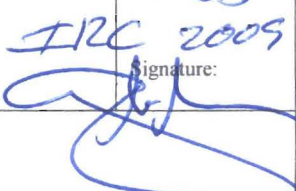
1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.

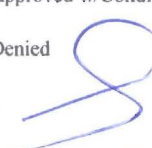
Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. The "half wall" within the unit must be a minimum of 36" high.
4. Dormer rafters must be a minimum of 2" x 6"-s.
5. The exterior wall framing must be a minimum of 2" x 6".

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-1101-ALTR	Date Applied: 5/19/2011 <i>16</i>	CBL: 014 - - L - 021 - 001 - - - - -	
Location of Construction: 65 MERRILL ST	Owner Name: Mary Kathryn Lattanzi	Owner Address: 1069 Ridge Road, Bowdoinham, ME 04008	Phone: 737-2102
Business Name:	Contractor Name: Ottavio Lattanzi	Contractor Address: 1069 Ridge Road, Bowdoinham, ME 04008	Phone: 319-8020
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Two family dwelling	Proposed Use: Same: 2 family dwelling – to make alterations to the 2 nd floor and to add a 2 nd floor dormer	Cost of Work: \$48,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>R-3</i> Type: <i>SB</i>
Proposed Project Description: 65 Merrill Street – 2 nd floor alterations including a dormer		Signature:	<i>IRC 2009</i> Signature: 
Permit Taken By: Gayle		Pedestrian Activities District (P.A.D.)	

Special Zone or Reviews		Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>Adding 16# dormer which is 1317 sq ft</i> <input type="checkbox"/> Wetlands <i>1st floor foot print</i> <input type="checkbox"/> Flood Zone <i>Per 1A-436(b)</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>5/19/11</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 	

CERTIFICATION *5/19/11*

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>65 Merrill St. Portland, Me 04101</u>		
Total Square Footage of Proposed Structure/Area <u>+/- 1000 SF</u>	Square Footage of Lot <u>.05 +/- acre</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>014 L 021</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Mary Kathryn Lattanzi</u> Address <u>1069 Ridge Road</u> City, State & Zip <u>Bowdoinham, Me 04008</u>	Telephone: <u>207-737-2102</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>48,000.-</u> C of O Fee: \$ _____ Total Fee: \$ _____
<p style="text-align: center;">RECEIVED MAY 16 2011 Dept. of Building Inspection City of Portland Maine</p>		
Current legal use (i.e. single family) <u>two family</u>	Number of Residential Units <u>two</u>	
If vacant, what was the previous use?		
Proposed Specific use: <u>same two family</u>		
Is property part of a subdivision? <u>no</u>	If yes, please name	<u>Add annex 16 ft new floor 2nd</u>
Project description: <u>general renovation of second floor bedrooms plus adding full bath - main house / reconfigure apartment / upgrade plumbing, electrical, and insulation systems</u>		
Contractor's name: <u>OTAVIO LATTANZI</u>		
Address: <u>1069 Ridge Road</u>		
City, State & Zip <u>Bowdoinham, Maine 04008</u>	Telephone: <u>207-319-8020</u>	
Who should we contact when the permit is ready: <u>OTAVIO LATTANZI</u>	Telephone: <u>207-319-8020</u>	
Mailing address: <u>1069 Ridge Road Bowdoinham, Me 04008</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mary Kathryn Lattanzi Date: April 27, 2011

This is not a permit; you may not commence ANY work until the permit is issued

Assessor's Office : 389 Congress Street : Portland, Maine 04101 : Room 115 : (207) 874-8486

[City](#) [Home](#) [Departments](#) [City Council](#) [E Services](#) [Calendar](#) [Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

- [Applications](#)
- [Doing Business](#)
- [Maps](#)
- [Tax Relief](#)
- [Tax Roll](#)
- [Q & A](#)

CBL 014 L021001
Land Use Type TWO FAMILY
Property Location 65 MERRILL ST
Owner Information LATTANZI MARY KATHRYN TRUSTEE
 1069 RIDGE RD
 BOWDOINHAM ME 04008
Book and Page 28378/122
Legal Description 14-L-21
 MERRILL ST 65
 QUEBEC ST 55-59
 2372 SF
Acres 0.054

Current Assessed Valuation:

TAX ACCT NO.	2090	OWNER OF RECORD AS OF APRIL 2010
		COLE GREGORY M JR
LAND VALUE	\$90,500.00	65 MERRILL ST
BUILDING VALUE	\$144,900.00	PORTLAND ME 04101
NET TAXABLE - REAL ESTATE	\$235,400.00	
TAX AMOUNT	\$4,218.38	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:



Best viewed at 800x600, with internet Explorer

Card 1 of 1

Year Built 1830
Style/Structure Type OLD STYLE
Stories 1.5
Bedrooms 4
Full Baths 2
Total Rooms 11
Attic NONE
Basement FULL
Square Feet 1847

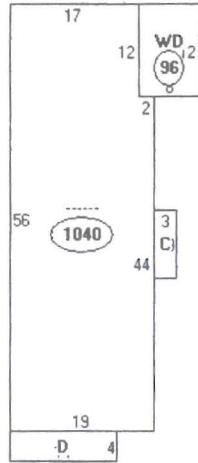
[View Sketch](#) [View Map](#) [View Picture](#)



Sales Information:

Sale Date	Type	Price	Book/Page
12/20/2010	LAND + BUILDING	\$360,000.00	28378/122
9/17/2009	LAND + BUILDING	\$336,400.00	27258/074
3/13/2002	LAND + BUILDING	\$0.00	17412/286
10/18/2000	LAND + BUILDING	\$102,500.00	15792/14

[New Search!](#)



1040
 96
 27
 56

 1219

Descriptor/Area	
A:.....	1040 sqft
B:WD	96 sqft
C:FBAY/B	27 sqft
D:DFP	56 sqft

1st floor footprint

$1219 \text{ sqft} \times 80\% = 975.2 \text{ sqft}$
 increase

Legal 2 unit - has 2372 sqft of Land Area

14-436(b) - 16 sqft New Downer Area

$16 \div 1219 = 1.31\%$

Kathryn and Ottavio Lattanzi
65 Merrill Street

Portland, Maine 04101 Tel. 737-2102 (H)
319-8020 (M)

Scope of Work

Complete Renovation of Second Floor

Maine House

- Renovate existing two bedrooms
- Convert existing study into bath/laundry

Apartment

- Reconfigure layout and renovate existing living room, kitchen, bedroom, and bathroom

1. Remove all existing plaster/drywall, chimneys, old insulation, plumbing, and electrical
2. Walls (all non-structural)
 - remove as shown on II a.
 - reframe in new configuration as on II b.

3. New Dormer

- see framing details shown on II b. (B)

new
16 #

2.

4. New Common Wall - see II b.
 - ✓ - completely isolate main house from apartment
 - to meet or exceed fire and sound standards
5. Staircases, balustrades, and railings
 - ✓ to be left as is.
6. Entrance doors and hallways
 - ✓ to be left as is
7. Plumbing and Electrical - rough in to code
8. Smoke Alarms and CO Detectors (hardwired)
 - install in all bedrooms
 - top and bottom of all staircases, including cellar
9. Windows and Skylights - new throughout
 - ✓ - all to meet or exceed minimum egress requirements, except in hall, laundry, bathrooms, and kitchen
 - all to meet or exceed minimum energy and mechanical performance standards
10. Interior Door - wood
 - ✓ refurbish and use existing or equivalent

11. Insulation

- to be either spray cellulose or urethane foam
- walls, completely fill exterior bays (4"-6")
- rafters, completely fill rafter bays (6"-8")

12. Ceiling and Wall Finish

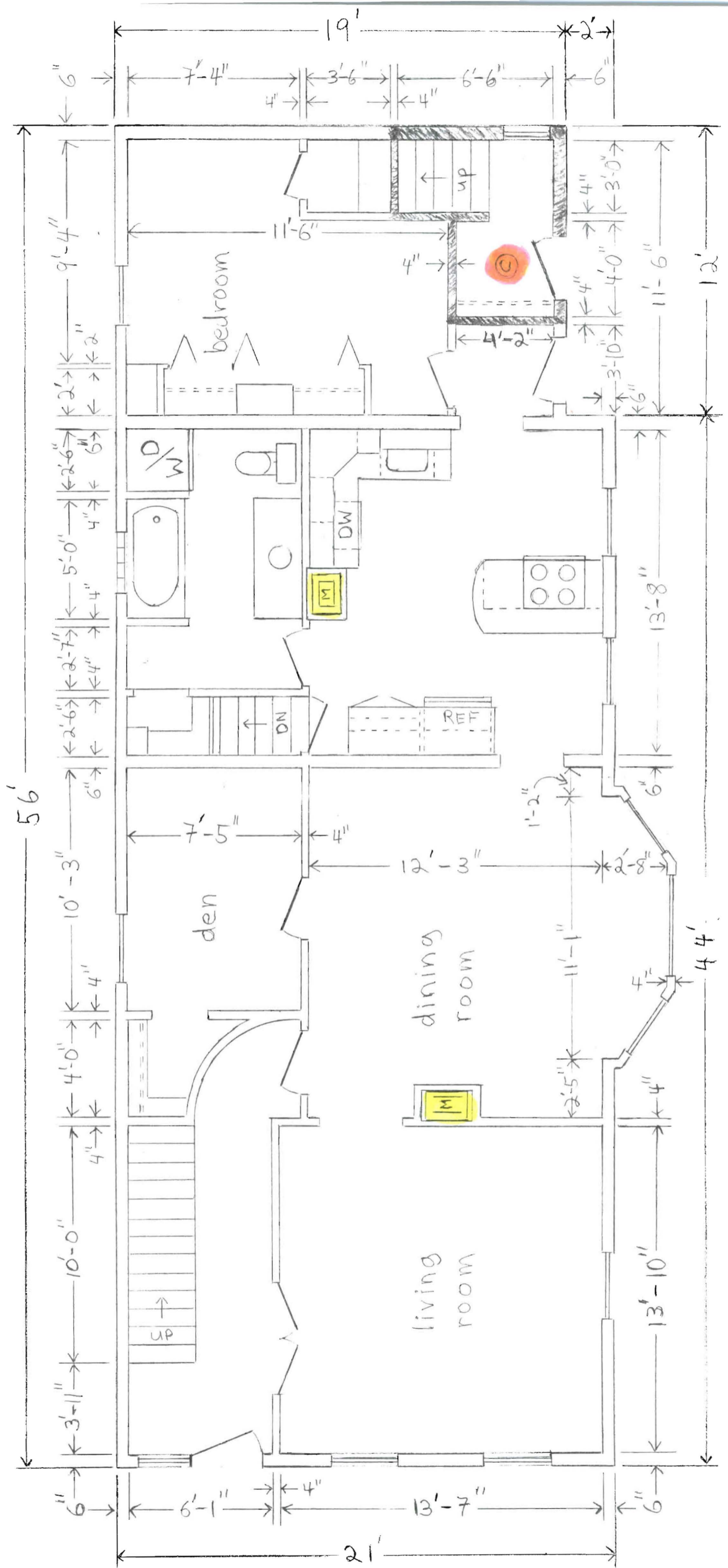
- gypsum wallboard
- to be either drywall finish or plaster veneer finish

65 Merrill Street
Portland, Maine 04101

apartment
entrance

Ia. Existing First Floor

1/4" = 1'-0" 5/1/2011

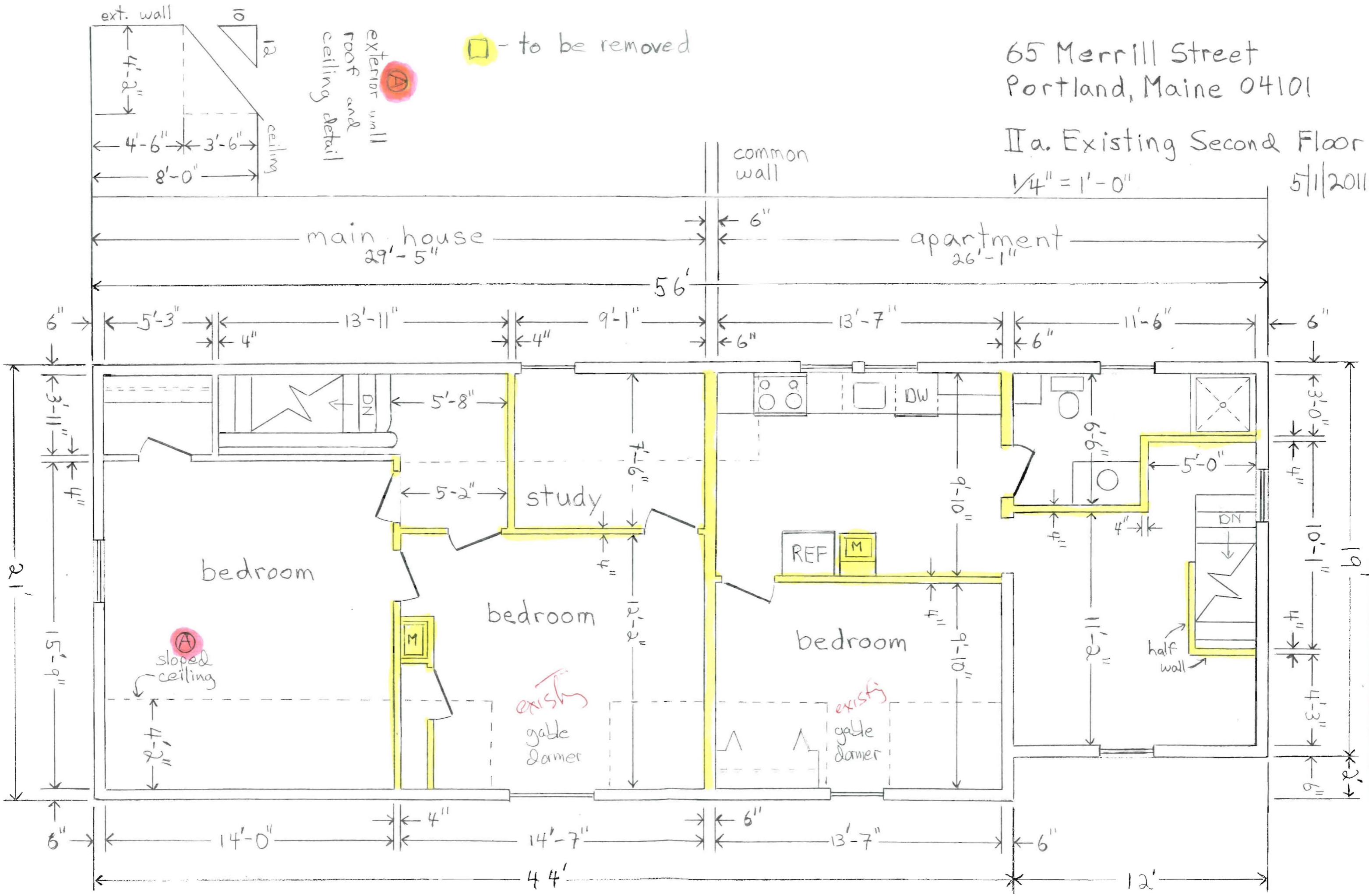


65 Merrill Street
Portland, Maine 04101

IIa. Existing Second Floor
1/4" = 1'-0"
5/1/2011

□ - to be removed

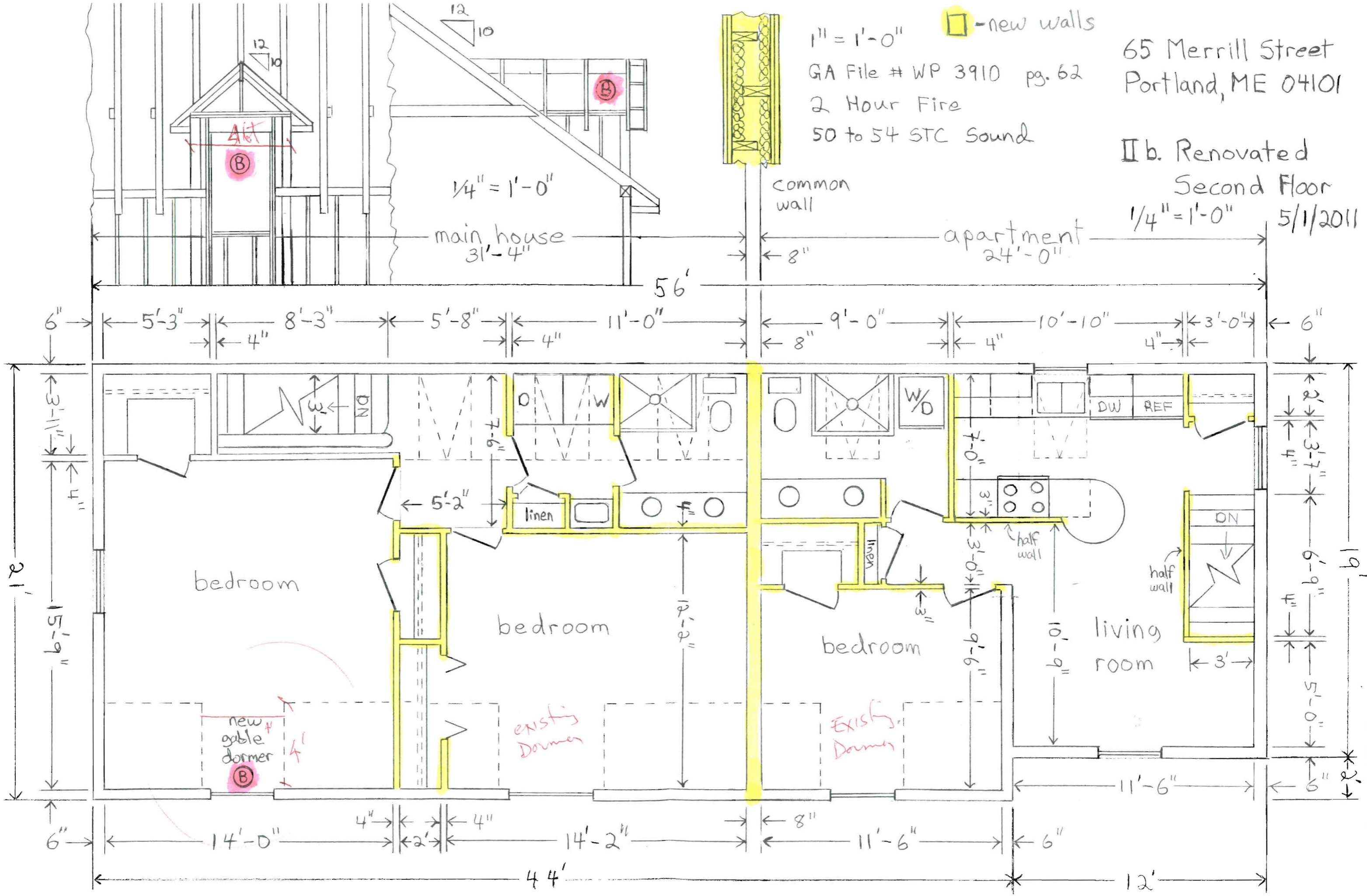
ⓐ exterior wall
roof and
ceiling
detail



65 Merrill Street
Portland, ME 04101

1" = 1'-0" □ - new walls
GA File # WP 3910 pg. 62
2 Hour Fire
50 to 54 STC Sound

II b. Renovated
Second Floor
1/4" = 1'-0" 5/1/2011



1/4" = 1'-0"

main house
31'-4"

common
wall

apartment
24'-0"

56'

6" 5'-3" 8'-3" 5'-8" 11'-0" 9'-0" 10'-10" 3'-0" 6"
4" 4" 4" 8" 4" 4"
3'-11" 4" 2' 3'-7" 4" 19'
4" 6'-9" 4" 6" 15'-9" 5'-0" 2'
14'-0" 4" 2" 4" 14'-2" 8" 11'-6" 6" 12'
44'