

EASTERN PROM.

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3' OFFSET GRANITE MON. w/DRILL HOLE IN VAULT

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In order to minimize erosion control problems resulting from the construction activities associated with this project, erosion control measures will be installed and/or followed prior to, during and after construction. Contractor is referred to "Maine Erosion and Sediment Control BMPs Planning For Erosion Control" for further reference in best practices for these measures.

Temporary and permanent measures for this project will consist of the following:

**CONTRACTOR RESPONSIBILITIES:**  
Prior to the start of construction, including any clearing, the General Contractor for the project will review the site relative to the proposed measures to ensure compliance during construction. Locations of the silt fence may be adjusted to better fit site conditions, if necessary.

**MINIMIZE SITE DISTURBANCE**  
The Contractor will be responsible for minimizing all disturbances of the site. All existing trees shall be adequately protected during construction.

**SILT FENCE**  
(MAINE EROSION AND SEDIMENT CONTROL BMP A-1 TEMPORARY MULCHING)  
At the start of construction, silt fencing will be installed along the property lines. Silt Fencing will also be required around any stockpile areas created during construction.

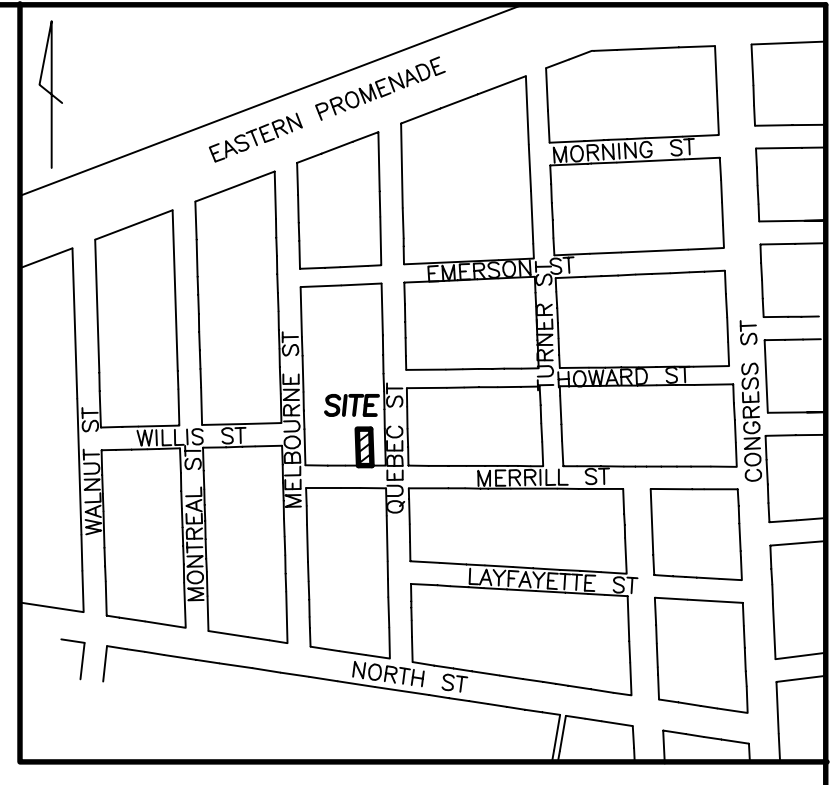
**CONSTRUCTION ENTRANCE**  
(MAINE EROSION AND SEDIMENT CONTROL BMP B-4 STABILIZED CONSTRUCTION EXIT)  
At the start of construction install a stabilized construction entrance at the location where construction equipment will enter and leave. Entrance to have a 6 inch top layer of 2"-3" course aggregate placed on top of a layer of filter fabric. The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment on to the road.

**FINAL GRADING AND SEEDING**  
During final grading, 4 inches of topsoil will be placed over all disturbed areas. After final grading is complete, the site will be limed, fertilized and seeded to stabilize fill and disturbed areas. In lieu of commercial fertilizer, 1" of stabilized compost can be integrated into the topsoil. After seeding, all areas will be mulched with hay and covered with staked netting. The Contractor will be responsible for monitoring the seeded areas after all rainfall events and at least once a week, to insure an adequate take of the seeds. Any areas where there is a loss of mulch will be removed. Areas that have not started grass will be reseeded and mulched.

**SITE MONITORING**  
The Contractor will be responsible for monitoring all erosion control measures. If there is a build up of sediment, it will be removed. Any breaks in the silt fence will be immediately repaired. After the site has become stabilized, measures will be removed along with any built-up sediment.

MELBOURNE STREET  
PAVED - PUBLIC - 50' WIDE

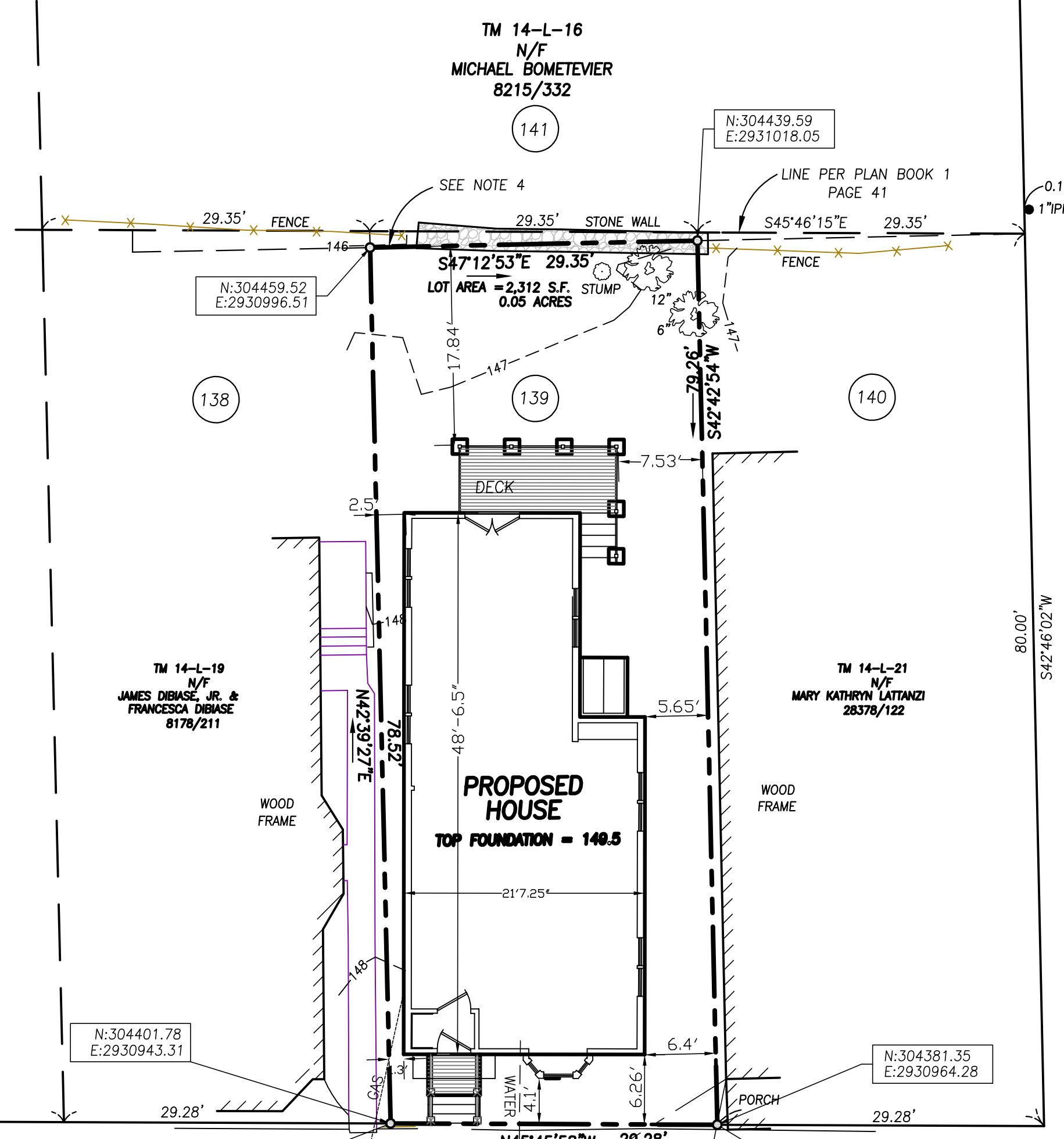
QUEBEC STREET  
PAVED - PUBLIC - 50' WIDE



LOCATION MAP  
N.T.S.

LEGEND

- IRON PIPE OR ROD FOUND
- MONUMENT FOUND
- CAPPED IRON ROD TO BE SET
- UTILITY POLE
- MANHOLE
- ELECTRIC/GAS METER
- SIGN
- WATER VALVE OR SHUTOFF
- GAS VALVE
- DECIDUOUS TREE
- CONIFEROUS TREE
- FENCE
- CURB
- OVERHEAD WIRES
- WATER LINE
- GAS LINE
- SANITARY SEWER
- 100' CONTOUR
- N/F NOW OR FORMERLY
- 000/000 DEED BOOK AND PAGE
- 139 LOT # PER PLAN REFERENCE



GENERAL NOTES

- OWNER OF RECORD: MERRILL STREET RESTORATION LLC  
TAX MAP 14 BLOCK L LOT 20  
C.C.R.D. BOOK 28890 PAGE 44
- BEARINGS ARE BASED ON CITY DATUM, MAINE STATE PLANE WEST, NAD83.
- ELEVATIONS ARE BASED ON CITY DATUM, NGVD 1929. UTILIZED: 3' OFFSET GRANITE MONUMENT FOUND WITH BOLT AT THE NORTHEAST CORNER MERRILL AND NORTH STREET ELEVATION=154.155'.
- NORTHEASTERLY PROPERTY LINE WAS ESTABLISHED USING DEED DISTANCES ALONG THE SIDELINES REFERENCED IN 2149/252 AND DISTANCES SITED IN 734/366.
- PROPERTY IS IN THE R6 ZONE  
MIN LOT SIZE = 4500 SQFT, EXCEPT LOTS OF RECORD  
SETBACKS: FRONT YARD = 10 FT, NOT TO EXCEED AVERAGE DEPTH OF FRONT YARD ON LOTS ON EITHER SIDE.  
SIDE YARD = 10 FEET
- THE EXISTING BUILDING AND FOUNDATION WILL BE REMOVED. THE NEW BUILDING WILL BE SET IN THE SAME LOCATION AS THE EXISTING BUILDING. HOWEVER, THE RIGHT SIDE WILL BE 2" CLOSER TO THE PROPERTY LINE THAN THE EXISTING BUILDING.
- GAS, WATER AND SEWER WILL TIE INTO EXISTING LINES. NO STREET CONNECTIONS WILL BE REQUIRED. CONTRACTOR TO CHECK SEWER CONNECTION FOR CLEANOUT/BACKFLOW PREVENTION VALVE. IF NONE EXISTS, THEN THEY WILL BE INSTALLED PRIOR TO HOOKING UP THE NEW SEWER LINE.
- THE EXISTING SITE GRADES WILL BE MAINTAINED. ANY DISTURBANCES TO THE SITE WILL BE RELOADED AND SEEDED PER THE EROSION CONTROL PLAN.

N:304451.228  
E:2930825.858  
3' OFFSET GRANITE MONUMENT w/DRILL HOLE IN VAULT CITY POINT T-111-16-5

N:304293.998  
E:2930987.391  
3' OFFSET GRANITE MONUMENT w/DRILL HOLE CITY POINT T-111-18-12

UTILITY NOTE

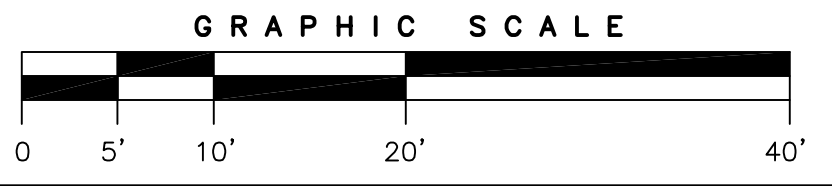
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

PLAN REFERENCE

A.P. MARSHALL'S PLAN OF LOTS DATED MAY 20TH 1856 RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 1 PAGE 41.

FLOOD ZONE NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051-0014B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



Engineering:  
**STEPHEN W. TIBBETTS, P.E.**  
15 Oak Ridge Road  
Brunswick, Maine 04011  
Phone:(207) 725-2667

CERTIFICATE  
OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE, WITH THE EXCEPTION OF MARKERS NOT SET AT ALL CORNERS.

08/03/2016  
DATE

*Randy R. Loubier*  
RANDY R. LOUBIER, PLS NO. 2407

SITE PLAN-SURVEY  
AT  
67 MERRILL STREET, PORTLAND, MAINE  
MADE FOR  
MERRILL STREET RESTORATIONS, LLC  
40 PORTLAND PIER #11, PORTLAND, MAINE

**OWEN HASKELL, INC.**  
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424  
PROFESSIONAL LAND SURVEYORS

Drwn By	RRL/SWT	Date	SEPTEMBER 8, 2016	Job No.	2014-170P
Trace By	JLW	Scale	1" = 10'	Drwg. No.	1
Check By	RRL				
Book No.	1127				