

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that GRANT L JACKS III & MARGARET JACKS

Located At 51 CONGRESS ST

Job ID: 2011-10-2481-ALTCOMM

CBL: 014-K-009-001

has permission to Add a Deck off the 3rd floor over an existing footprint between house & barn, support down through barn provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
Fire Prevention Officer

*[Signature]* 4/10/12  
\_\_\_\_\_  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-10-2481-ALTCOMM	Date Applied: 10/12/2011	CBL: 014- K-009-001	
Location of Construction: 51 CONGRESS ST	Owner Name: GRANT L JACKS III & MARGARET JACKS	Owner Address: 529 OVERBROOK RD BALTIMORE, MD 21212	Phone:
Business Name:	Contractor Name: David Cray	Contractor Address: 7 Fore Street #2, Portland, ME 04101	Phone: 410-382-1387
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use:  Legal 3 family dwelling	Proposed Use:  Same: Legal 3 family dwelling - to add new deck between existing house and existing barn	Cost of Work: \$3,000.00	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Christine</i> 1/31/12	Inspection: Use Group: R-2 Type: SB <i>DB 2009</i> Signature: <i>JMB</i> 4/10/12
Proposed Project Description: Deck and 3rd floor addition		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		<b>Zoning Approval</b>	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Date: <i>ok with conditions</i> <i>1/13/12</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>[Signature]</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# PORTLAND MAINE

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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2011-10-2481-ALTCOMM

Located At: 51 CONGRESS ST

CBL: 014- K-009-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Fire**

1. Notification: Two means of egress are required from every story. "MRSA Title 25 § 2453"
2. Installation shall comply with City Code Chapter 10.
3. All construction shall comply with City Code Chapter 10.
4. All outstanding code violations shall be corrected prior to final inspection.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. This approval is granted based on plans reviewed and modified by the consulting engineer, per the letter dated 4/6/12. Any discrepancies or changes shall be approved by him and submitted to this office.
3. Per discussion with David Cray, the new interior steps to access the door will comply with IRC dimensional requirements and a handrail is required per code if the flight has 4 or more risers. Per IBC Sec. 1003.5(1) a single step with a maximum riser of 7" is allowed at the exterior door.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Framing Only

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



10/28/11 – This proposal was denied Sept 2009, by letter – no appeal and no revised plans. See letter – this permit is denied also – MES

1/9/2012 The owners came in and explained their property and project a little better. They later brought in photos showing that the barn and the main building were connected with a small hallway type structure. It is not shown on most plans. However I was able to get a plan from the old Sanborn maps (prior to 1957) that showed that connection. I need to let Barbara and Planning know this so that they can follow-up with the Administrative Authorization. – Based upon this new information, there is no new lot coverage on their proposal. The connection from the main building only covers the area of the building connection. The deck is over the garage roof - MES



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Greg Mitchell - Acting Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator

October 31, 2011

Margaret Stevens Jacks and Grant L. Jacks III  
529 Overbrook Road  
Baltimore, MD 21212

RE: 51 Congress Street - #014-K-009 - R-6 Zone - #2011-10-2481

Dear Ms. and Mr. Jacks,

I am in receipt of a building permit application to erect a deck off the third floor of your existing building located at 51 Congress Street.

Your permit is denied because it does not meet the requirements of 14-139(e) of the Land Use Zoning Ordinance that limits the amount of lot coverage to no more than 50%. Currently your buildings cover approximately 57.31% of the lot, which is legally nonconforming. Your proposal would increase your legal nonconformity. Please remember that in September 2009 you also applied for such a permit. That permit was denied. On September 14, 2009, our office sent you a letter denying your permit and giving you the legal 30 days in which to appeal. Subsequently on October 2, 2009, our office met with your same contractor David Cray and explained the issues. We never received an appeal application within the legal time frame and we never received revised plans showing revisions that would meet the Land Use Zoning Ordinance. Because of your inaction during the legal time frame, your current building permit application is denied. Our original decision is binding and not subject to appeal.

If you have any questions regarding this matter, please do not hesitate to contact me at (207) 874- 8695.

Very truly yours,

Marge Schmuckal  
Zoning Administrator

CC: David Cray, 7 Fore Street, #2, Portland, ME 04101

*owners came  
in a better  
explained what  
was being done &  
how it was being  
done -*

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-10-2481-ALTCOMM	Date Applied: 10/12/2011	CBL: 014- K-009-001	
Location of Construction: 51 CONGRESS ST	Owner Name: GRANT L JACKS III & MARGARET JACKS	Owner Address: 529 OVERBROOK RD BALTIMORE, MD 21212	Phone:
Business Name:	Contractor Name: David Cray	Contractor Address: 7 Fore Street #2, Portland, ME 04101	Phone: 410-382-1387
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Legal 3 family dwelling	Proposed Use: Same: Legal 3 family dwelling - to add new deck between existing house and existing barn	Cost of Work: \$3,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>R-2</i> Type: <i>SB</i> <i>IBL-2009</i>
Proposed Project Description: Deck and 3rd floor addition		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		<b>Zoning Approval</b>	

DENIED

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>Denied 10/20/11</i>	Date:	Date: <i>S</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.

Six Q Street  
South Portland, ME 04106  
Phone: (207) 767-4830  
Fax: (207) 799-5432

July 31, 2009

Grant Jacks  
529 Overbrook Road  
Baltimore, Maryland 21212

**EXPIRED**

Subject: Building located at 51 Congress Street, Portland, Maine -  
Proposed Exterior Deck

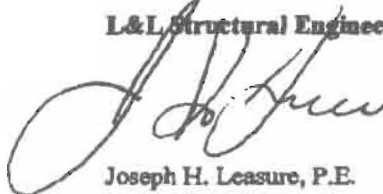
Dear Mr. Jacks,

As per your request we have reviewed the structural framing on the drawings prepared by Tony Taylor of Prostyle Design dated July 26, 2009 for the proposed exterior deck at the second floor of the building located at 51 Congress Street in Portland, Maine. The drawings included the structural modifications recommended by our office. Our analysis utilized the 2003 IRC International Residential Building Code adopted by Portland, Maine. In addition, our analysis considered the latest edition of the NDS National Design Specification for Wood Construction published by the National Forest Products Association. The proposed structural design meets or exceeds the code stipulated design requirements, is acceptable to support the anticipated structural loading, and is in general compliance with our structural design concept.

If you have any questions, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.



Joseph H. Leasure, P.E.

cc: Tony Taylor of Prostyle Design  
File





# 2011-10-2481

# General Building Permit Application

X+✓



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

12-6

Location/Address of Construction: <u>51 CONGRESS ST. # PORTLAND, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>88,82 FT</u>	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>14</u> Block# <u>K</u> Lot# <u>9</u>	Applicant *must be owner, Lessee or Buyer* Name <u>DAVID CRAY</u> Address <u>7 FORE ST # 2</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>410-382-1387</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>MARGARET JACKS</u> Address <u>529 OVERBROOK RD</u> City, State & Zip <u>BALTIMORE, MD 21212</u>	Cost Of Work: \$ <u>2500.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>50.00</u>
Current legal use (i.e. single family) <u>rented property</u> Number of Residential Units <u>3</u> <i>legal unit</i>		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>DECK DESCRIBED/DRAWN IN SUBMITTED PLANS TO BE BUILT AS 3RD FLOOR ADDITION WITHIN EXISTING FOOTPRINT</u>		
Contractor's name: <u>DAVID CRAY</u>		
Address: <u>7 FORE ST. # 2</u>		
City, State & Zip <u>PORTLAND, ME 04101</u>		Telephone: <u>207-776-9721</u>
Who should we contact when the permit is ready: <u>DAVID CRAY</u>		Telephone: <u>207-776-9721</u>
Mailing address: <u>7 FORE ST. # 2 PORTLAND, ME 04101</u>		

10.19.11

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

OCT 12 2011

Dept of Building Inspections  
City of Portland Maine

Signature: [Signature] Date: 10/12/11

This is ~~not~~ a permit; you may not commence ANY work until the permit is issued



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Greg Mitchell - Acting Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator

October 31, 2011

Margaret Stevens Jacks and Grant L. Jacks III  
529 Overbrook Road  
Baltimore, MD 21212

RE: 51 Congress Street - #014-K-009 - R-6 Zone - #2011-10-2481

Dear Ms. and Mr. Jacks,

I am in receipt of a building permit application to erect a deck off the third floor of your existing building located at 51 Congress Street.

Your permit is denied because it does not meet the requirements of 14-139(e) of the Land Use Zoning Ordinance that limits the amount of lot coverage to no more than 50%. Currently your buildings cover approximately 57.31% of the lot, which is legally nonconforming. Your proposal would increase your legal nonconformity. Please remember that in September 2009 you also applied for such a permit. That permit was denied. On September 14, 2009, our office sent you a letter denying your permit and giving you the legal 30 days in which to appeal. Subsequently on October 2, 2009, our office met with your same contractor David Cray and explained the issues. We never received an appeal application within the legal time frame and we never received revised plans showing revisions that would meet the Land Use Zoning Ordinance. Because of your inaction during the legal time frame, your current building permit application is denied. Our original decision is binding and not subject to appeal.

If you have any questions regarding this matter, please do not hesitate to contact me at (207) 874- 8695.

Very truly yours,

Marge Schmuckal  
Zoning Administrator

CC: David Cray, 7 Fore Street, #2, Portland, ME 04101

# PORTLAND MAINE

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*Littell - Director of Planning and Urban Development  
Zoning Administrator*

## EXPIRED

September 14, 2009

Margaret Stevens Jacks &  
Grant L. Jacks, III  
529 Overbrook Road  
Baltimore, MD 21212

Re: 51 Congress Street - 014 K009 - R-6- deck - permit #09-0847

*30 days to appeal - Up - Oct 14*

*- met w/ Grant. Went over the issues. He'll  
either appeal or revise plans - 10/2/09*

Assessor's Office - 200 Congress Street Portland, Maine 04102 - Phone: (207) 774-2880

Home | Search | My Account | Print | Help | Feedback | Contact Us

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

Applications

Emergency Business

Maps

Tax Relief

Tax Roll

Q & A

Portland city services & more

Review facts and make a call



Home | Search | My Account | Print | Help | Feedback | Contact Us

**CBL** 014 K009001  
**Land Use Type** THREE FAMILY  
**Property Location** 51 CONGRESS ST  
**Owner Information** JACKS GRANT L III & MARGARET STEVENS JACKS  
 529 OVERBROOK RD  
 BALTIMORE MD 21212  
**Book and Page** 9893/248  
**Legal Description** 14-K-9  
 CONGRESS ST 51-53  
 EMERSON ST 1-7  
 3960 SF  
**Acres** 0.091

**Current Assessed Valuation:**

<b>TAX ACCT NO.</b>	2050	<b>OWNER OF RECORD AS OF APRIL 2011</b>
<b>LAND VALUE</b>	\$158,000.00	JACKS GRANT L III &
<b>BUILDING VALUE</b>	\$226,400.00	MARGARET STEVENS JACKS
<b>NET TAXABLE - REAL ESTATE</b>	\$384,400.00	529 OVERBROOK RD
<b>TAX AMOUNT</b>	\$7,026.84	BALTIMORE MD 21212

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**Building Information:**

Card 1 of 1

**Year Built** 1875  
**Style/Structure Type** OLD STYLE  
**# Stories** 2.5  
**Bedrooms** 6  
**Full Baths** 3  
**Total Rooms** 18  
**Attic** NONE  
**Basement** FULL  
**Square Feet** 3259

[View Sketch](#)      [View Map](#)      [View Picture](#)



**Outbuildings/Yard Improvements:**

Card 1

**Year Built** 1900  
**Structure** FLAT BARN  
**Size** 24X40  
**Units** 1  
**Grade** C  
**Condition** A

**Sales Information:**

Sale Date	Type	Price	Book/Page
11/1/1991	LAND + BUILDING	\$6,800.00	9893/248

[New Search!](#)



Please feel free to call me at 874-8709 if you have any questions.

Yours truly,

Ann B. Machado  
Zoning Specialist  
(207) 874-8709

Cc file



# PORTLAND MAINE

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*Penny St. Louis Littell - Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

September 14, 2009

Margaret Stevens Jacks &  
Grant L. Jacks, III  
529 Overbrook Road  
Baltimore, MD 21212

Re: 51 Congress Street – 014 K009 – R-6- deck – permit #09-0847

Dear Ms. & Mr. Jacks,

I have reviewed the building application to add an 8'x 8' deck and a 3'6" x 5'6" landing off the third floor of the rear of the building extending over the existing barn. The proposed addition does not meet the lot coverage, so I must deny the application.

51 Congress Street is located in the R-6 residential zone. Section 14-139(d)(3) gives the side setback for a three story structure as 10'. The setback given for the distance from the right side property line to the proposed landing is 9'. Although 10' is required, section 14-433 allows the side setback to be reduced to 5' for an addition if the principal structure existed as of July 19, 1988 and the normal applicable yard requirements can't be met. Since the landing needs to be at 9' because of the existing conditions of the third floor, the side setback can be reduced to 9' under section 14-433.

Section 14-139(e) gives the maximum amount of lot coverage as 50%. The lot is 3960 square feet, so 1980 square feet of the lot can be covered by the footprint of any structure. The total footprint of the existing structures is 2296.78 square feet which is 57.9% of the lot. The proposed deck and landing would add 24.22 square feet to the footprint for a total of 2321 square feet which covers 58.6% of the lot. Since the proposed lot coverage is over the maximum allowable lot coverage of 50%, I must deny the permit.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have thirty days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. You may contact our office for the necessary paper work that is required to file an appeal. If you choose not to file an appeal, you are entitled to get most of your money back if you bring in the original receipt you got when you applied for the permit.

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0847	Issue Date:	CBL: 014 K009001
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Location of Construction: 51 Congress St	Owner Name: Jacks Grant L Iii &	Owner Address: 529 Overbrook Rd	Phone:
Business Name:	Contractor Name: David Cray	Contractor Address: 51 Congress Street Portland	Phone: 4436901685
Lessor/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi Family / 3 Units	Proposed Use: Multi Family / Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment. <i>legalse - 3 dm</i>	Permit Fee: \$50.00	Cost of Work: \$3,000.00	CEO District: 1
Proposed Project Description: Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approve <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: gg	Date Applied For: 08/06/2009	Zoning Approval
------------------------	---------------------------------	-----------------

EXPIRED

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zoning or Reviews <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date:
--	---	--	---

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, if Any,  
Attached

## BUILDING DEPARTMENT PERMIT

Permit Number: 090847

This is to certify that Jacks Grant L. Iii & David Cray  
has permission to Construction of outside deck on top of existing garage deck will be accessed from the third floor apartment  
AT 51 Congress St City of Portland, Oregon 97201

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

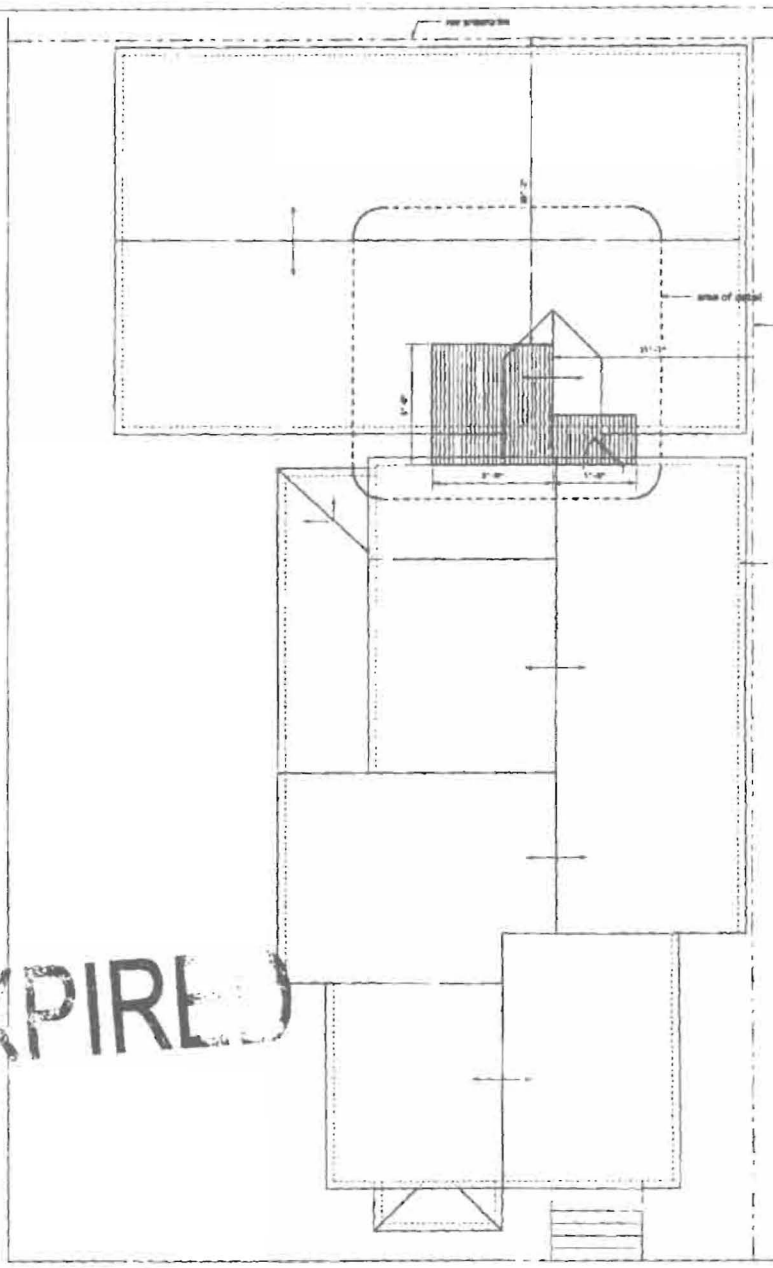
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



EMERSON STREET

**EXPIRED**



PLOT PLAN  
SCALE 1/4"=1'-0"

**PROPOSED DEED AT  
54 CONGRESS STREET  
IN PORTLAND, MAINE**  
PAGE 2 OF 2  
By Anthony Taylor  
in consultation with  
Joseph R. Latham, P.E.  
JULY 10, 2008

CONGRESS STREET

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0847	Date Applied For: 08/06/2009	CBL: 014 K009001
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Location of Construction: 51 Congress St	Owner Name: Jacks Grant L Iii &	Owner Address: 529 Overbrook Rd	Phone:
Business Name:	Contractor Name: David Cray	Contractor Address: 51 Congress Street Portland	Phone (443) 690-1685
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family / Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment.	Proposed Project Description: Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment.
---	--

Dept: Zoning	Status:	Reviewer: Ann Machado	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: Building	Status: Pending	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

**EXPIRED**

<p><b>Comments:</b></p> <p>8/18/2009-amachado: Spoke to David Cray, contractor. Existing footprint is already over the allowable maximum lot coverage. Even though the footprint of the deck is only adding a total of 28 more feet the footprint is already at 2300.5 sf and 50% is 1980 sf. David said that he would get back to me. I told him that a deck would have to be built within the existing footprint.</p> <p>9/14/2009-amachado: After meeting with the owner at the counter a couple of weeks ago, I wrote a denial letter.</p> <p>12/7/2010-amachado: No action on permit for over 180 days. Permit has expired.</p> <p>10/2/2009-amachado: Met with Grant Jacks. Went over options. He was either going to appeal or revise the plans.</p> <p>12/31/2009-amachado: Thirty day period to appeal was up October 14, 2009. Didn't appeal.</p>
---



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov*

*Penny St. Louis Littell - Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

# EXPIRED

*30 days to appeal - up - Oct 14  
- met w/ Grant. Went over the issues. He'll  
either appeal or revise plans - 10/2/09*

September 14, 2009

Margaret Stevens Jacks &  
Grant L. Jacks, III  
529 Overbrook Road  
Baltimore, MD 21212

Re: 51 Congress Street - 014 K009 - R-6- deck - permit #09-0847

Dear Ms. & Mr. Jacks,

I have reviewed the building application to add an 8'x 8' deck and a 3'6"x 5'6" landing off the third floor of the rear of the building extending over the existing barn. The proposed addition does not meet the lot coverage, so I must deny the application.

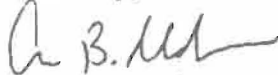
51 Congress Street is located in the R-6 residential zone. Section 14-139(d)(3) gives the side setback for a three story structure as 10'. The setback given for the distance from the right side property line to the proposed landing is 9'. Although 10' is required, section 14-433 allows the side setback to be reduced to 5' for an addition if the principal structure existed as of July 19, 1988 and the normal applicable yard requirements can't be met. Since the landing needs to be at 9' because of the existing conditions of the third floor, the side setback can be reduced to 9' under section 14-433.

Section 14-139(e) gives the maximum amount of lot coverage as 50%. The lot is 3960 square feet, so 1980 square feet of the lot can be covered by the footprint of any structure. The total footprint of the existing structures is 2296.78 square feet which is 316.78 square feet over the maximum allowable lot coverage. It covers 57.9% of the lot. The proposed deck and landing would add 24.22 square feet to the footprint for a total of 2321 square feet which covers 58.6% of the lot. Since the proposed lot coverage is over the maximum allowable lot coverage of 50%, I must deny the permit.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have thirty days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. You may contact our office for the necessary paper work that is required to file an appeal. If you choose not to file an appeal, you are entitled to get most of your money back if you bring in the original receipt you got when you applied for the permit.

Please feel free to call me at 874-8709 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "Ann B. Machado". The signature is fluid and cursive, with the first name "Ann" being the most prominent.

Ann B. Machado  
Zoning Specialist  
(207) 874-8709

Cc file





# General Building Permit Application

If you or the property owner own real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>51 CONGRESS STREET PORTLAND 04101</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>014      K      009</u>	Applicant *must be owner, Lessee or Buyer* Name <u>GRANT L JACKS, II</u> Address <u>529 OVERLOOK ROAD</u> City, State & Zip <u>BALTIMORE MD 21212</u>	Telephone: <u>443</u> <u>690 1685</u>
Lessee/DBA (If Applicable)	Owner of different from Applicant Name Address City, State & Zip	Cost Of Work: \$ <u>300</u> C of O Fee: \$ _____ Total Fee: \$ <u>50.00</u>
<b>EXPIRED</b>		
Current legal use (i.e. single family) <u>MULTI-FAMILY</u>	Number of Residential Units <u>3</u>	
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Same</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: <u>CONSTRUCTION OF OUTSIDE DECK ON TOP OF EXISTING GARAGE.</u> <u>THE DECK WILL BE ACCESSED FROM THE THIRD FLOOR APT.</u>		
Contractor's name: <u>DAVID CRAY</u>		
Address: <u>51 CONGRESS ST.</u>		
City, State & Zip: <u>PORTLAND, ME 04101</u>		Telephone: <u>207-949-5934</u>
Who should we contact when the permit is ready: <u>DAVID CRAY OR GRANT L JACKS</u>		Telephone: _____
Mailing address: <u>51 CONGRESS ST. PORTLAND, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

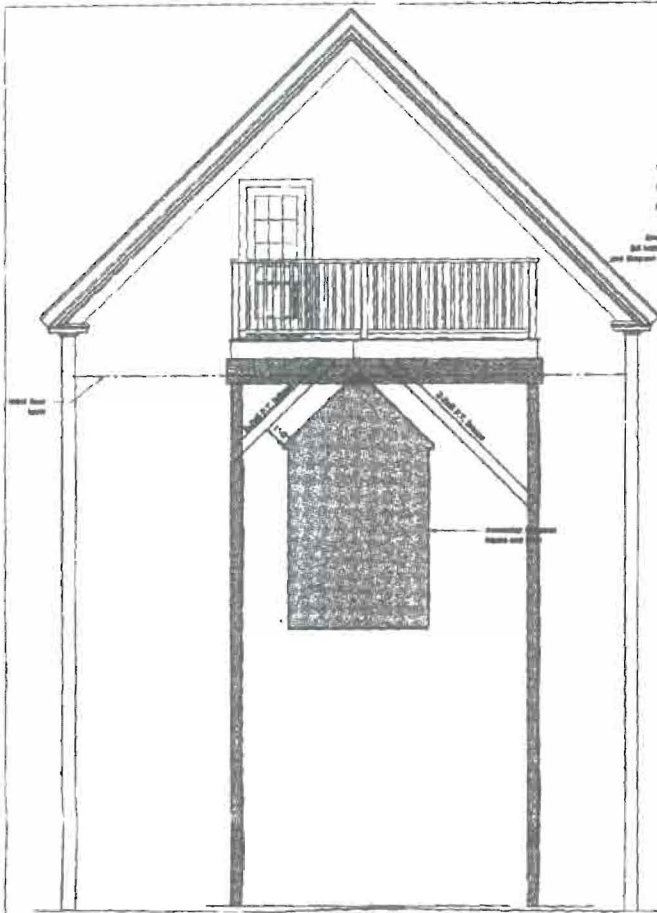
Signature: [Signature]

Date: 8/3/09

This is not a permit; you may not commence ANY work until the permit is issued

MIC - 6 2009  
JxCell

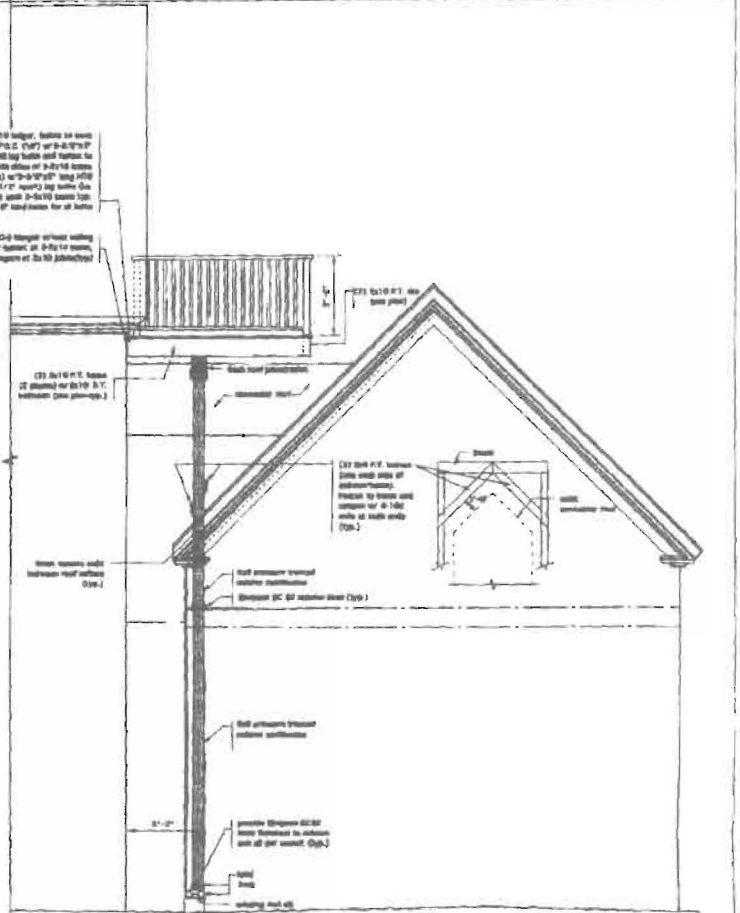
AUG 12 2008



SOUTH ELEVATION  
3/8"=1'-0"

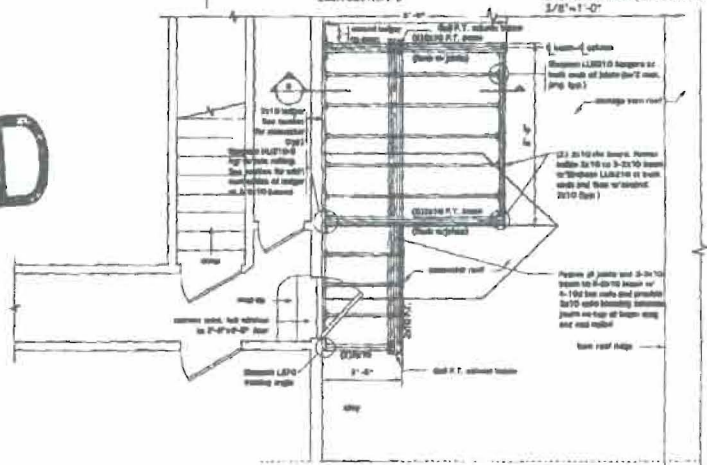
2x10 rafters, spaced on 24" centers, cut at 12:6 pitch and fastened to walls on both sides of 2x4x10 beam. (4 pieces) 2x4x10 beam, spaced 12" apart, lag bolts. On 10' spans of wall 2x4x10 beam type. Provide 2x12 end bracing for all beams.

2x10 rafters spaced on 24" centers, cut at 12:6 pitch and fastened to walls on both sides of 2x4x10 beam. (4 pieces) 2x4x10 beam, spaced 12" apart, lag bolts. On 10' spans of wall 2x4x10 beam type. Provide 2x12 end bracing for all beams.



EAST ELEVATION (rear of Abutment between house and carriage barn)  
3/8"=1'-0"

**EXPIRED**



FRAMING PLAN OF DECK

**PROPOSED DECK AT  
51 CONGRESS STREET  
IN PORTLAND, MAINE**

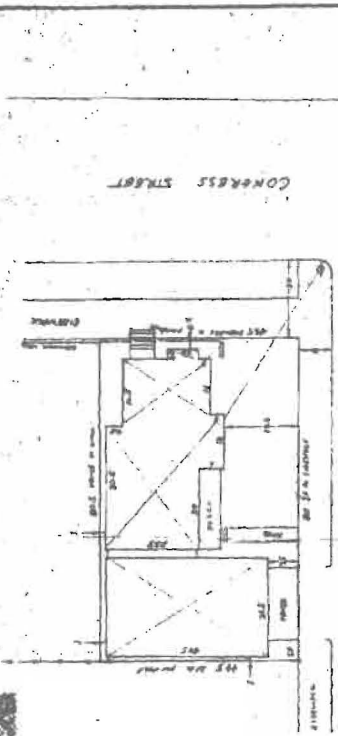
PAGE 2 OF 2

By Anthony Taylor  
in consultation with  
Joseph H. Lobbare, P.E.

JULY 10, 2008

EXPIRED

14-4-9



NOTES:  
 This plan was not made from an instrument survey and is not for recording purposes. The plan shows conditions existing at the date of the survey. Conditions shown are for reference only. Property lines as shown are apparent only.

2. In accordance with The Department of H.U.D., Federal Insurance Administration Maps this lot is within a flood hazard zone.

3. The town code enforcement officer knows of no apparent zone violation at the time of construction.

Remarks: Garage Substantially  
 sold

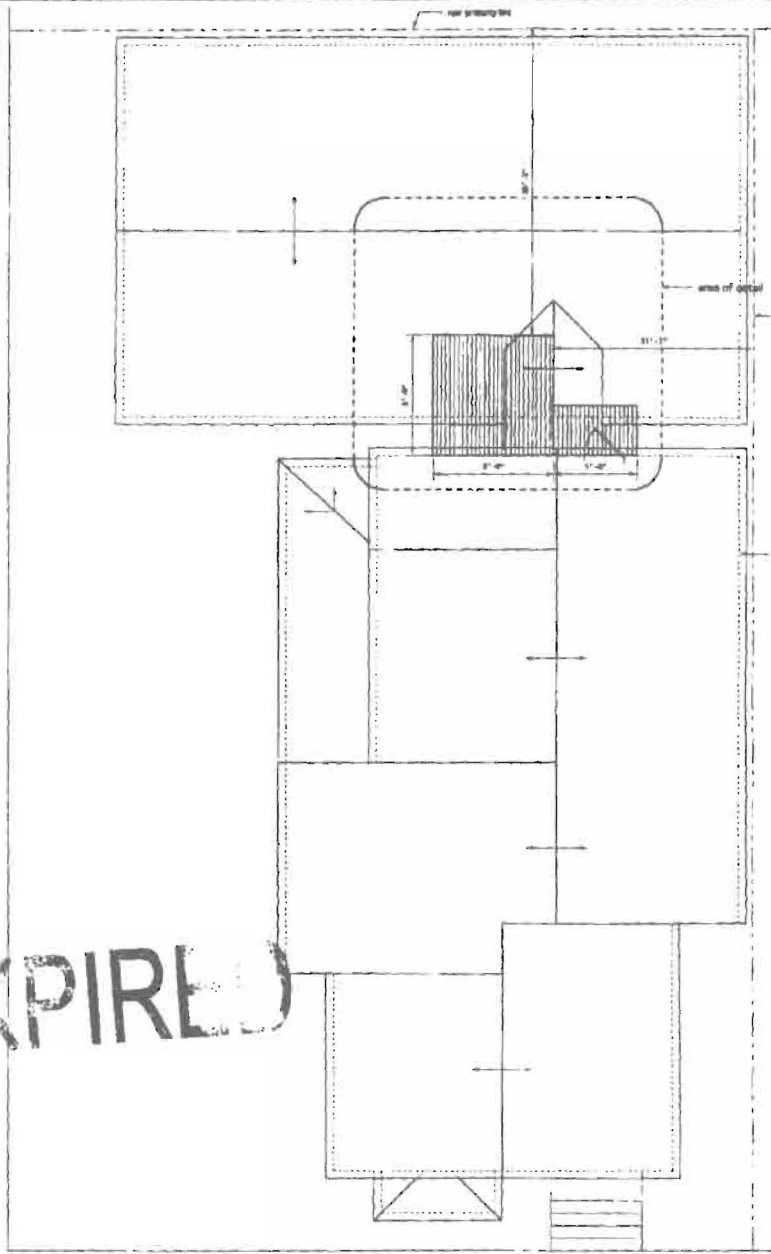
MORTGAGE CERTIFICATION DRAWING

PROPERTY OF: TERRY L. SHAW  
51 Congress Street, Scarborough, ME  
 DRAWN BY: REGISTERED  
 DATE: 1/21/87  
 SCALE: AS SHOWN  
 DRAWN BY: REGISTERED  
 DATE: 1/21/87  
 DRAWN BY: REGISTERED  
 DATE: 1/21/87  
 DRAWN BY: REGISTERED  
 DATE: 1/21/87



Surveyor: Peter A. Webber, R.L.S. 0039  
 Office: Scarborough, Maine

EMERSON STREET



EXPIRED

PROPOSED DECK AT  
54 CONGRESS STREET  
IN PORTLAND, MAINE

PAGE 2 OF 2

By Anthony Taylor  
in consultation with  
Joseph R. Lawson, P.E.

JULY 10, 2009

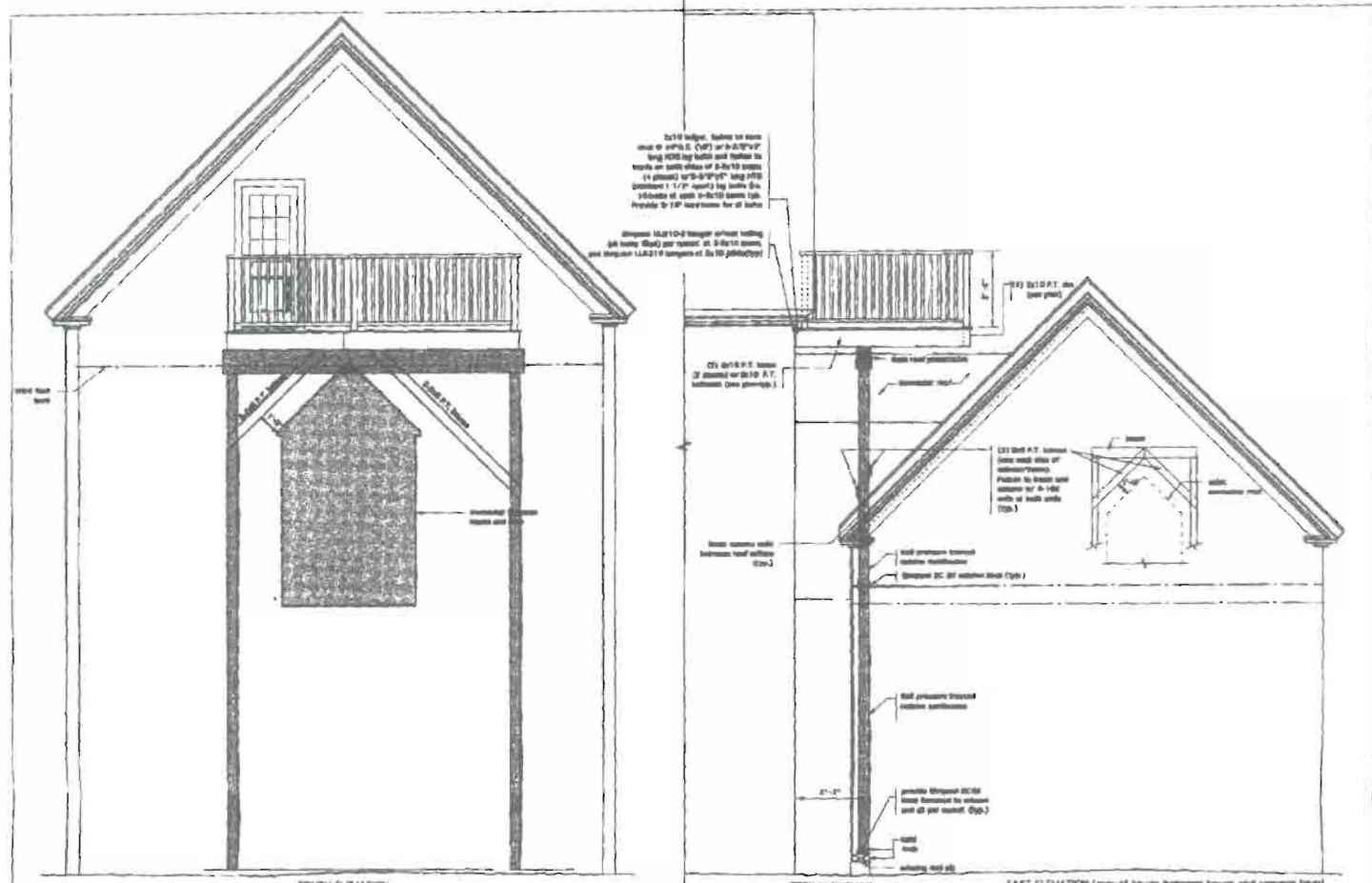
PLOT PLAN  
SCALE 1/4"=1'-0"

CONGRESS STREET

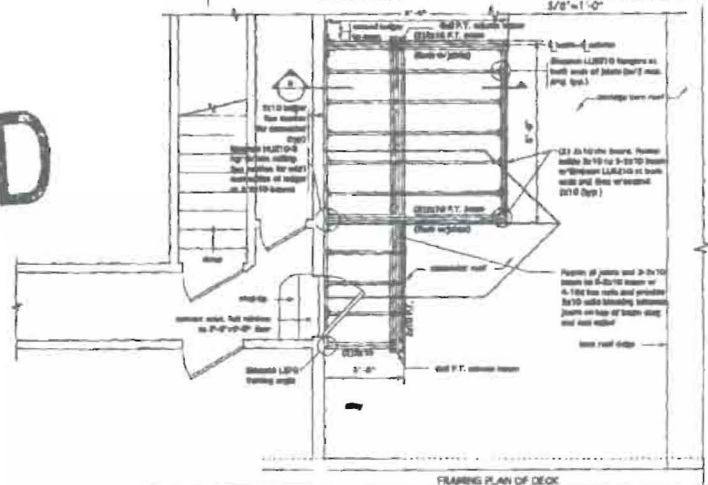




AUG 12 2008



**EXPIRED**



**PROPOSED DECK AT 51 CONGRESS STREET IN PORTLAND, MAINE**

PAGE 2 OF 2

By Anthony Taylor  
 in consultation with  
 Joseph H. Latham, P.E.

JULY 10, 2008





# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

20

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

**Total:** \_\_\_\_\_

Building (11) \_\_\_\_\_ Plumbing (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (12) \_\_\_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: \_\_\_\_\_ **Total Collected \$** \_\_\_\_\_

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: \_\_\_\_\_

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy





# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

12-20-11

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 50

Building (1L) \_\_\_\_\_ Plumbing (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 19-857

Check #: 3746 Total Collected \$ 50

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

~~December 5, 2011~~

Via Facsimile 207-874-8716

Attn. Ms. Marge Schmuckal

January 4, 2012

Please reply.

Thank you..

Re: 51 Congress St.

Dear Ms. Schmuckel:

I am writing in response to your letter of October 31, 2011, to seek clarification.

We heeded the advice given to us in 2009, and did not appeal, since we understood that avenue would likely not be fruitful. The plans submitted on October 12, 2011 were revised to meet what we understand the requirements to be, that is, that the footprint of the buildings on our property cannot be enlarged. From a bird's eye view, the proposed deck is within the footprint.

If there was a time frame within which revised plans had be submitted, we did not know that. Is that the issue? If not, and the revised plans are still non-complying, please let me know.

Thank you for your assistance.

Sincerely,



Margaret Stevens Jacks

410 559 2034

Date/Time: Jan. 6. 2012 1:36PM

File No.	Mode	Destination	Page(s)	Result	Page Not Sent
0283	Memory TX	914103587850	P. 1	E-3) 3)	P. 1

Reasons for error  
 1) Hang up or line fail  
 2) Busy  
 3) No answer  
 4) No facsimile connection  
 5) Exceeded max. E-mail size

FAX



To: Margaret Stevens Jacks  
 Fax Number: 410-358-7850  
 From: Marge Schuckel  
 Fax Number:  
 Date: 1/6/12  
 Regarding: 51 Congress St.  
 Total Number Of Pages Including Cover: 1  
 Phone Number For Follow-Up:

Comments:

Hi Margaret,  
 That is accurate that you can not increase the existing footprint of the building because of lot coverage requirements for the R-6 zone. It was not very evident that the new deck was within the existing footprint. As a matter of fact the elevation views do not support your statement. However, I would be glad to sit down with you or your contractor to go over these details to be sure both of us are understanding all issues.

Marge Schuckel  
 City Of Portland, Maine  
 Inspections Division Services  
 389 Congress St. Room 315 Portland Me 04101-3509  
 Phone: (207) 874-8703 or (207) 874-8693  
 Fax: (207) 874-8716  
 http://www.portlandmaine.gov/

FAX



To: Margaret Stevens Jacks

Fax Number: 410-358-7850

From: Marge Schmuckel

Fax Number:

Date: 1/6/12

Regarding: 51 Congress St.

Total Number Of Pages Including Cover: 1.

Phone Number For Follow-Up:

Comments:

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However, I would be glad to sit down with you or your contractor to go over these details to be sure both of us are understanding all issues.

City Of Portland, Maine

Inspections Division Services

389 Congress St Room 315 Portland Me 04101-3509

Phone: (207) 874-8703 or (207) 874-8693

Fax: (207) 874-8716

<http://www.portlandmaine.gov/>

Marge Schmuckel

Zoning Administrator





# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

*Penny St. Louis Littell - Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

September 14, 2009

Margaret Stevens Jacks &  
Grant L. Jacks, III  
529 Overbrook Road  
Baltimore, MD 21212

Re: 51 Congress Street – 014 K009 – R-6- deck – permit #09-0847

Dear Ms. & Mr. Jacks,

I have reviewed the building application to add an 8' x 8' deck and a 3'6" x 5'6" landing off the third floor of the rear of the building extending over the existing barn. The proposed addition does not meet the lot coverage, so I must deny the application.

51 Congress Street is located in the R-6 residential zone. Section 14-139(d)(3) gives the side setback for a three story structure as 10'. The setback given for the distance from the right side property line to the proposed landing is 9'. Although 10' is required, section 14-433 allows the side setback to be reduced to 5' for an addition if the principal structure existed as of July 19, 1988 and the normal applicable yard requirements can't be met. Since the landing needs to be at 9' because of the existing conditions of the third floor, the side setback can be reduced to 9' under section 14-433.

Section 14-139(e) gives the maximum amount of lot coverage as 50%. The lot is 3960 square feet, so 1980 square feet of the lot can be covered by the footprint of any structure. The total footprint of the existing structures is 2296.78 square feet which is 316.78 square feet over the maximum allowable lot coverage. It covers 57.9% of the lot. The proposed deck and landing would add 24.22 square feet to the footprint for a total of 2321 square feet which covers 58.6% of the lot. Since the proposed lot coverage is over the maximum allowable lot coverage of 50%, I must deny the permit.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have thirty days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. You may contact our office for the necessary paper work that is required to file an appeal. If you choose not to file an appeal, you are entitled to get most of your money back if you bring in the original receipt you got when you applied for the permit.

Please feel free to call me at 874-8709 if you have any questions.

Yours truly,

Ann B. Machado  
Zoning Specialist  
(207) 874-8709

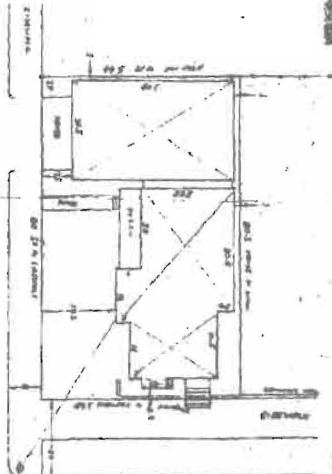
Cc file

NOTES:  
 This plan was not made from an instrument survey and is not intended for legal purposes. It is a rough sketch of the property shown. No guarantee of accuracy is made. This plan is for mortgage purposes only. Property lines as shown are approximate only.

2. In accordance with The Department of H.U.D. Federal Insurance Administration Maps this lot is [ ] within a flood hazard zone.

3. The town code enforcement officer knows of [ ] apparent zone violation at the time of construction. [ ]

Remarks: Garage, Mainland Way, [ ] and [ ]



CONGRESS STREET

EVERSON STREET



**MORTGAGE CERTIFICATION DRAWING**

PROPERTY OF: **Yvesse L. Baisse**

37 Congress Street, Scarborough, ME

Map No. **14-A-9**

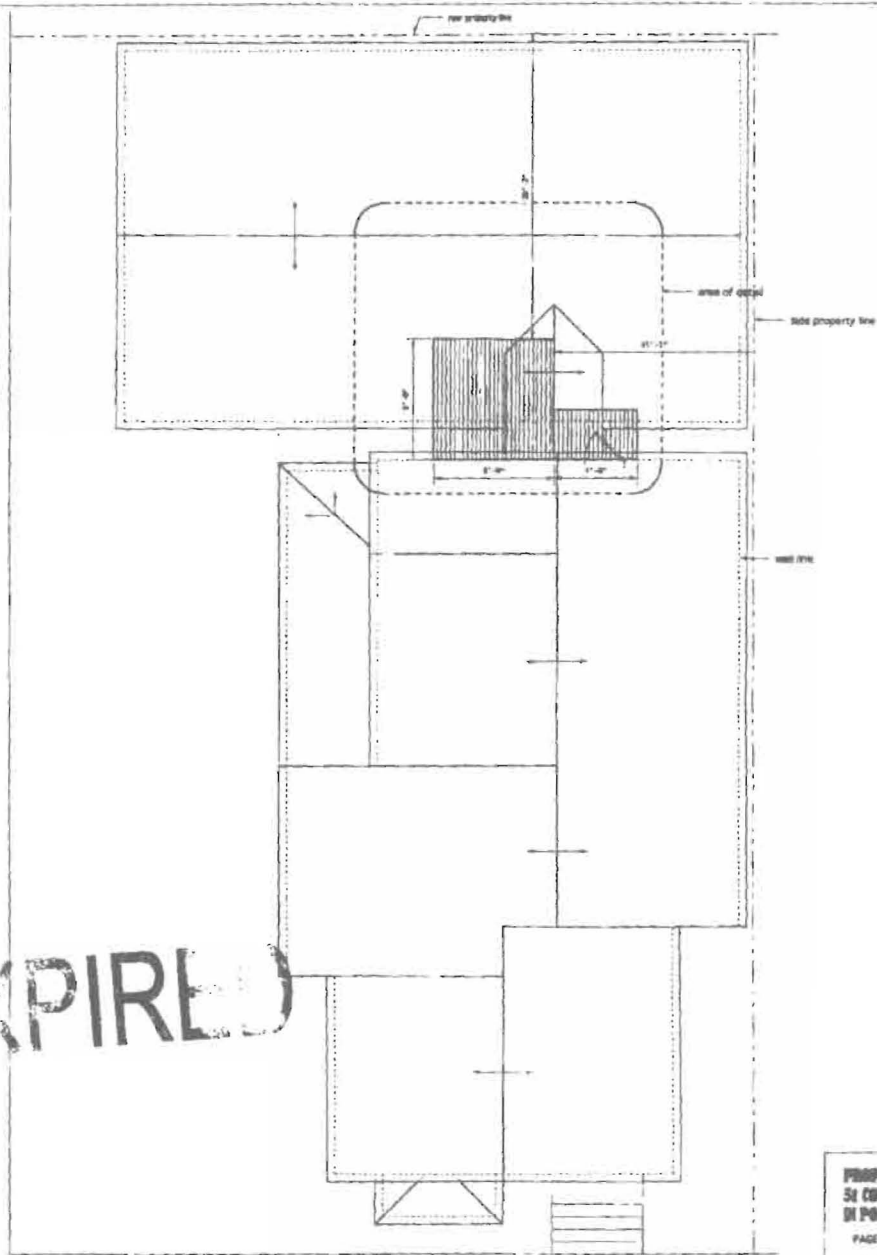
Drawn by: **Peter A. Washburn, H.L.S. 0023**

Checked by: **Peter A. Washburn, H.L.S. 0023**

DATE: **11/17/17**

EXPIRED

EMERSON STREET



**EXPIRED**

PLOT PLAN  
SCALE 1/4" = 1'-0"

**PROPOSED DECK AT  
50 CONGRESS STREET  
IN PORTLAND, MAINE**  
PAGE 2 OF 2  
By Anthony Taylor  
in consultation with:  
Jason H. Leasure, P.E.  
JULY 10, 2008

CONGRESS STREET







**Criteria for an Administrative Authorizations:**  
 (See Section 14-523 (4) on page 2 of this application)

**Applicant's Assessment**  
 Y(yes), N(no), N/A

**Planning Division**  
 Use Only

a) Is the proposal within existing structures?	Yes	No
b) Are there any new buildings, additions, or demolitions?	No	New deck over existing connector – New information received on 1/18/12
c) Is the footprint increase less than 500 sq. ft.?	Yes	yes
d) Are there any new curb cuts, driveways or parking areas?	No	no
e) Are the curbs and sidewalks in sound condition?	Yes	yes
f) Do the curbs and sidewalks comply with ADA?	Yes	yes
g) Is there any additional parking?	No	no
h) Is there an increase in traffic?	No	no
i) Are there any known stormwater problems?	No	no
j) Does sufficient property screening exist?	Yes	yes
k) Are there adequate utilities?	Yes	yes
l) Are there any zoning violations?	No	no
m) Is an emergency generator located to minimize noise?	n/a	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	No	no

The Administrative Authorization for 51 Congress Street was approved by Barbara Barhydt, Development Review Services Manager on January 18, 2012 with the following required Standard Condition of Approval listed below:

1. **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Please note that this project did not meet zoning and was on hold until the revised application was received and reviewed by Marge Schmuckal. I received the revised plans on January 18, 2012 and signed off on that day.

*Barbara Barhydt*

*Jan. 18, 2012*

*- Replaces a previous denial*



**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-10-2481-ALTCOMM	Date Applied: 10/12/2011	CBL: 014- K-009-001	
Location of Construction: 51 CONGRESS ST	Owner Name: GRANT L JACKS III & MARGARET JACKS	Owner Address: 529 OVERBROOK RD BALTIMORE, MD 21212	Phone:
Business Name:	Contractor Name: David Cray	Contractor Address: 7 Fore Street #2, Portland, ME 04101	Phone: 410-382-1387
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Legal 3 family dwelling	Proposed Use: Same: Legal 3 family dwelling - to add new deck between existing house and existing barn	Cost of Work: \$3,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type:
Proposed Project Description: Deck and 3rd floor addition		Signature:	
Permit Taken By: Lannie		Pedestrian Activities District (P.A.D.)	
		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date:</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

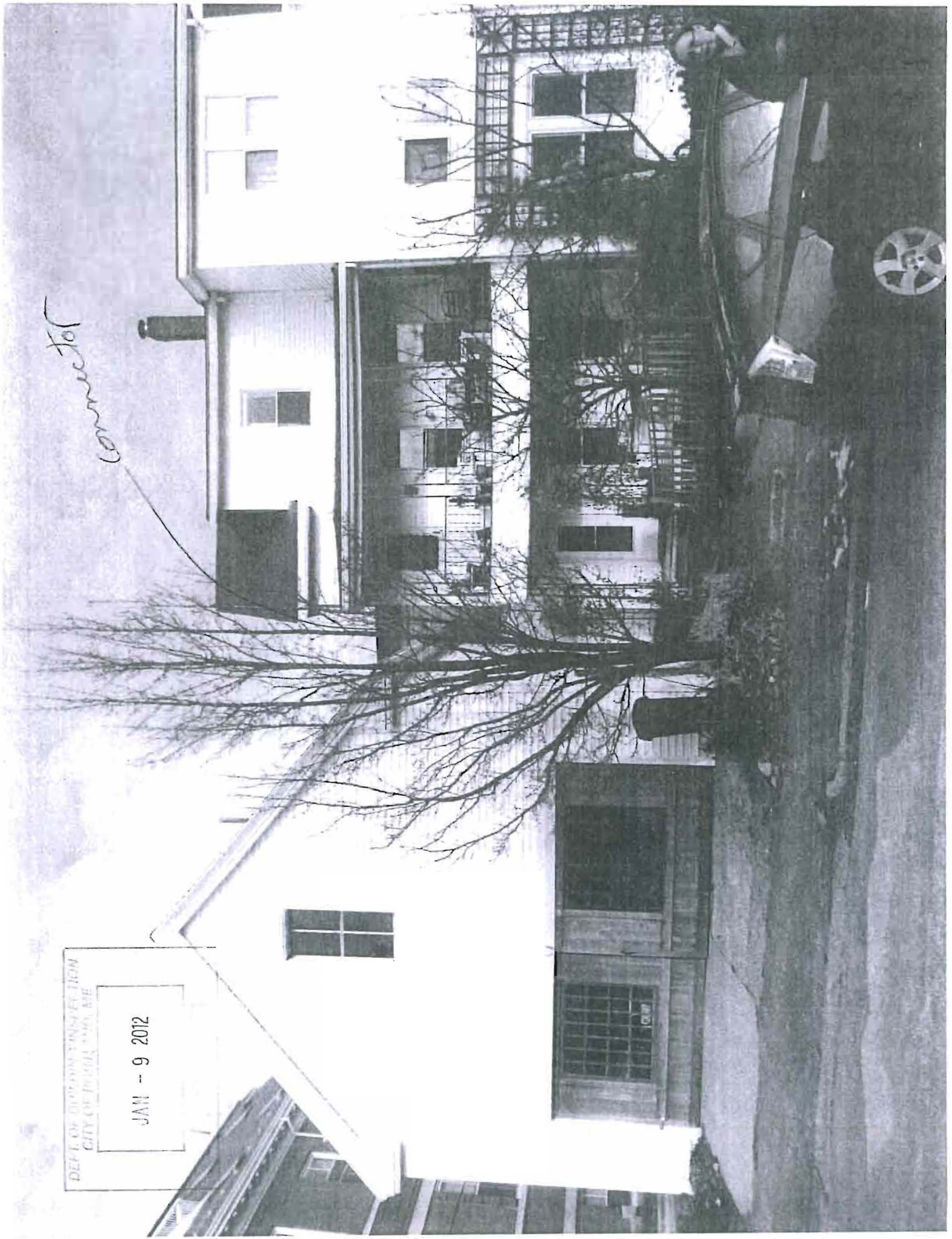




DEPT. OF BUILDING INSPECTION  
CITY OF BURLINGTON, ME

JAN - 9 2012

*Connecticut*





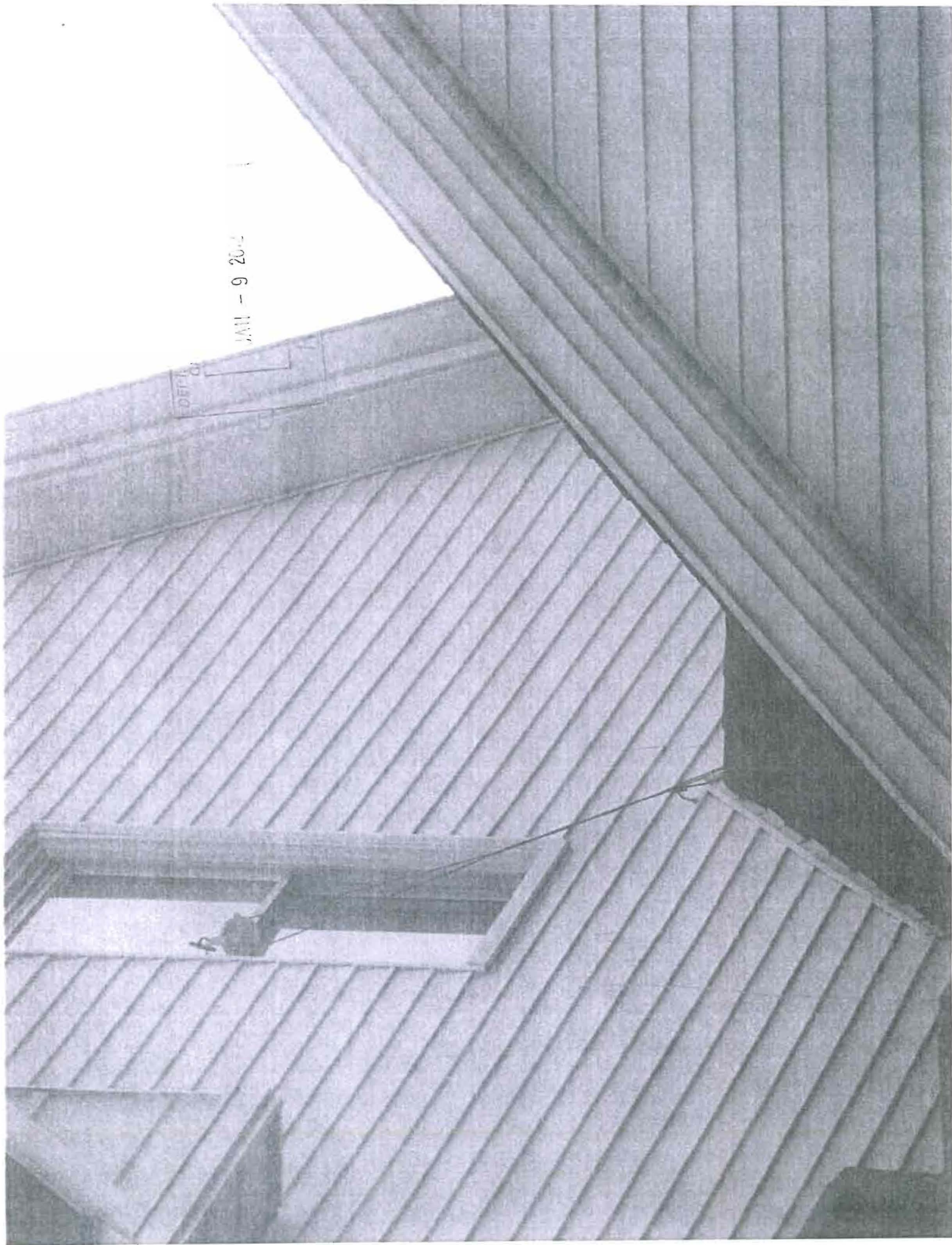


JAN - 9 2012



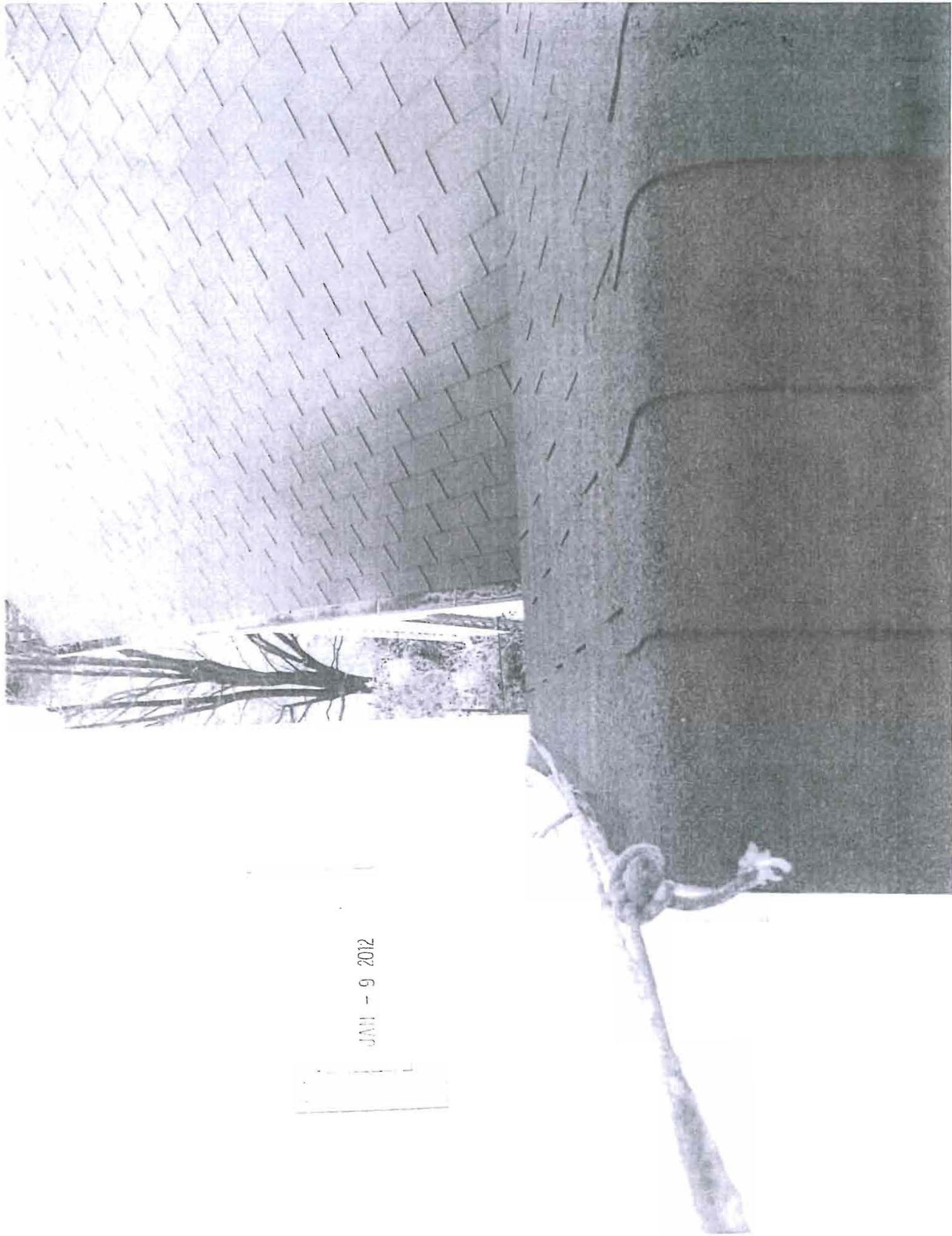
JAN - 9 2011

OFFICE





JAH - 9 2012



JAN - 9 2012







## Marge Schmuckal - 51 Congress St

---

**From:** Marge Schmuckal  
**To:** Barbara Barhydt  
**Date:** 1/13/2012 2:09 PM  
**Subject:** 51 Congress St

Hi Barbara,

The owners of 51 Congress Street came in a few days ago and better explained their project. You did have an Administrative Authorization on this previously that you denied because zoning denied it. So now I think I can issue the permit. So now the AA need to be reactivated. I think it would probably be very helpful to sit down and go over it together soon.

Marge



**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.

Six Q Street  
South Portland, ME 04106  
Phone: (207) 767-4830  
Fax: (207) 799-5432

April 6, 2012

David Cray  
7 Fore Street Apartment #2  
Portland, Maine 04101

RECEIVED  
APR 09 2012  
Dept. of Building Inspections  
City of Portland Maine

Subject: Building located at 51 Congress Street, Portland, Maine  
Elevated Exterior Third Floor Deck

Dear David,

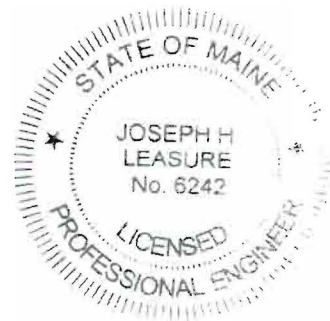
As per your request we have reviewed the structural framing on the drawings prepared by Anthony Taylor dated March 19, 2012 for the proposed elevated exterior third floor deck at 51 Congress Street in Portland, Maine. The drawings included the structural modifications recommended by our office. Our structural analysis utilized the 2009 IRC International Residential Building Code adopted by Portland, Maine. In addition, our analysis considered the latest edition of the NDS National Design Specification for Wood Construction published by the National Forest Products Association. Furthermore, we understand that the elevation of the exterior deck is approximately 28" (to be verified in the field) above the interior third floor elevation. Hence, we assume that the steps on the interior or exterior of the building and the access to the deck (designed by others) shall be code compliant and the access through the exterior wall shall be designed (by others) and constructed weathertight. The proposed structural design meets or exceeds the code stipulated design requirements, is acceptable to support the anticipated structural loading, and is in general compliance with our structural design concept.

If you have any questions, please do not hesitate to call.

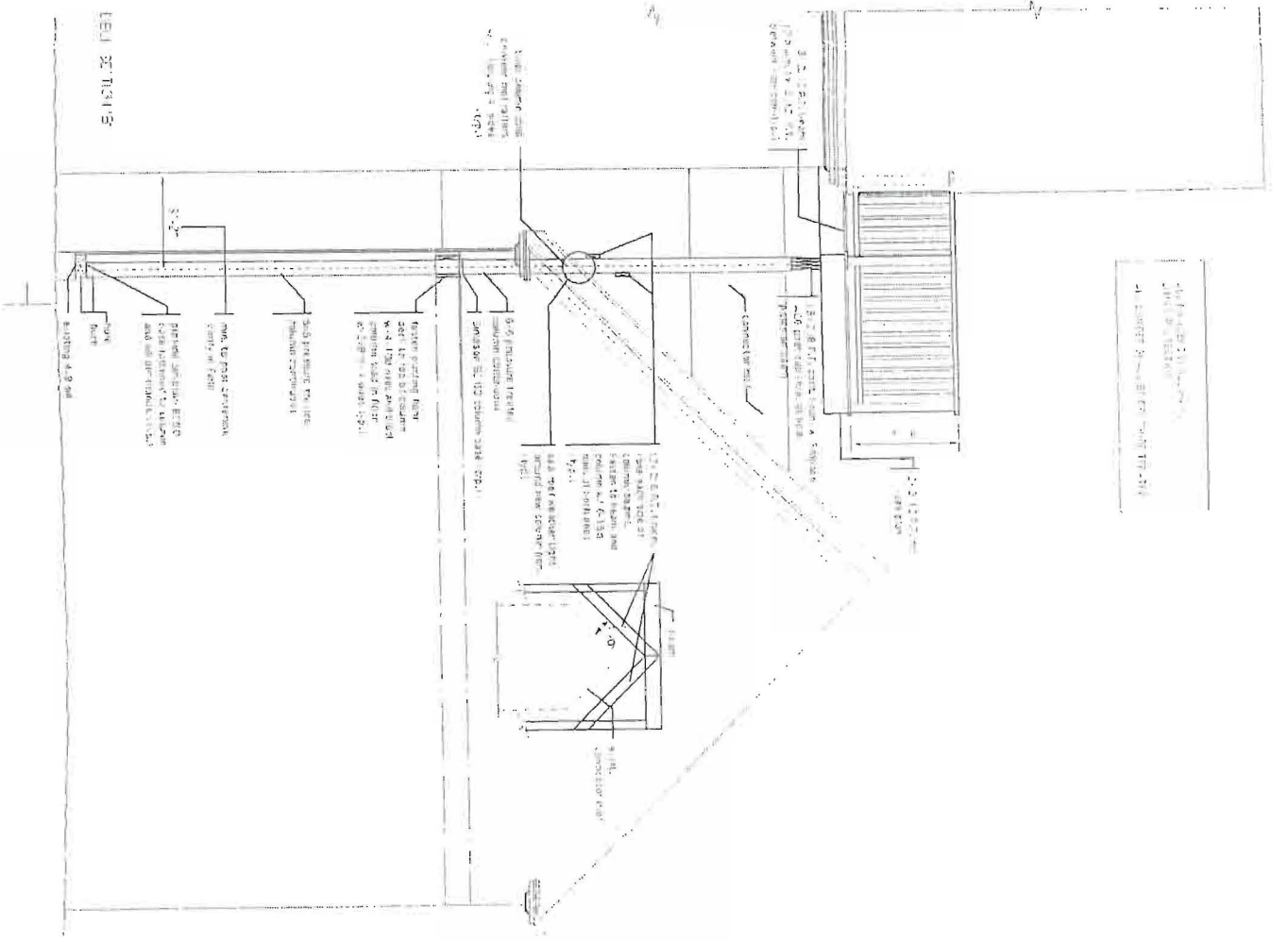
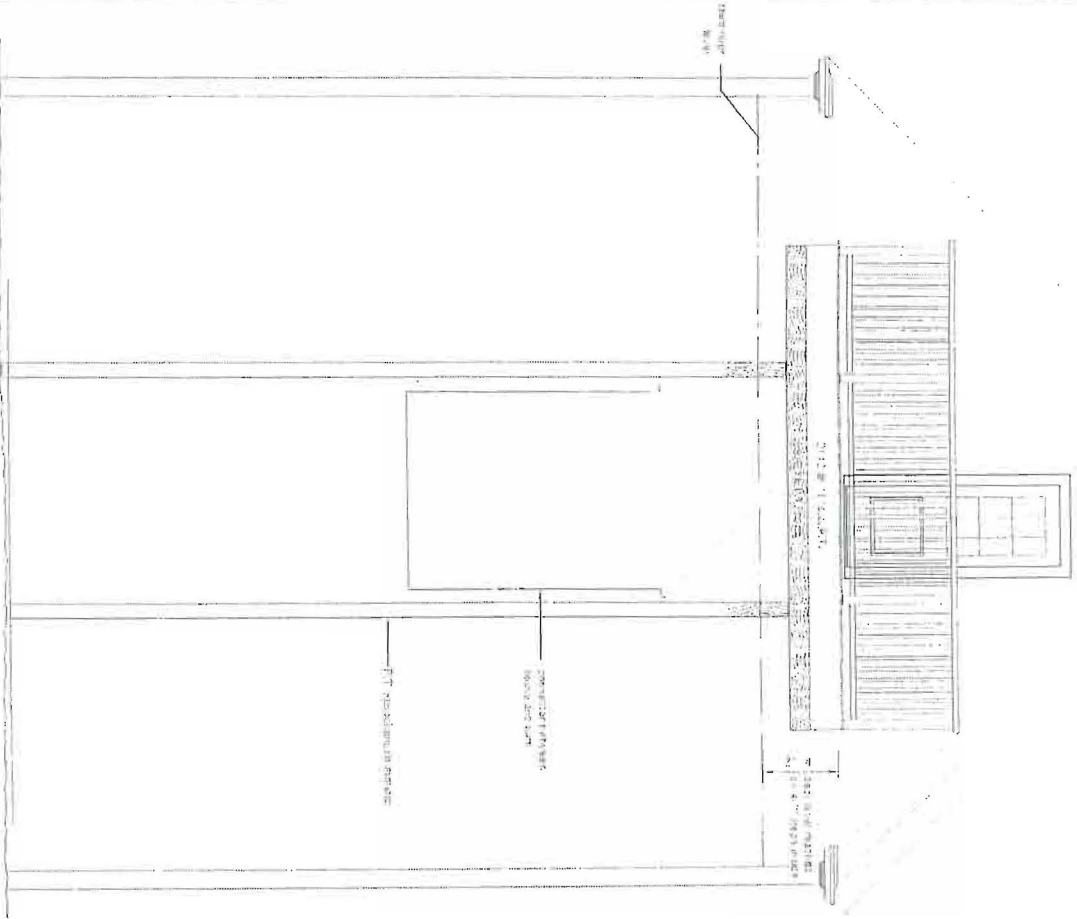
Sincerely,

L&L Structural Engineering Services, Inc.

Joseph H. Leasure, P.E.  
cc: File



4/10/12  
Per David C.  
This is the date of the electronic file not the date on the plans. Plans are dated 10/2/11 JML



Architectural Elevation  
 51 Congress Street, Portland, ME

**PROPOSED DECK AT  
 51 CONGRESS STREET  
 IN PORTLAND, MAINE**

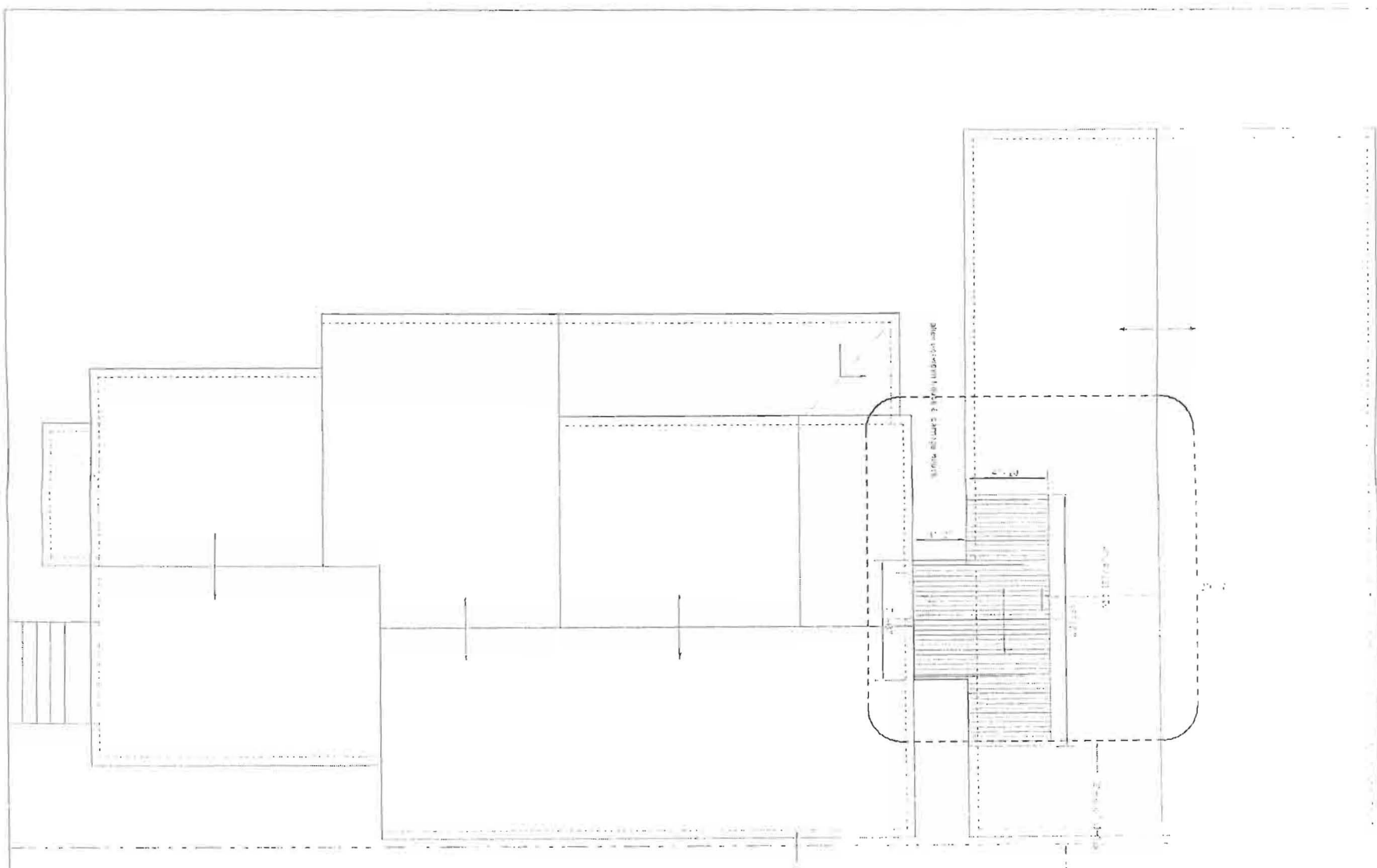
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By: ARCHITECT  
 IN CONSULTATION WITH  
 JOSEPH H. LINDSEY, P.E.  
 REVIEWED: 04/11/2011

EMERSON STREET

CONGRESS STREET

SCALE 1/8" = 1'-0"



PROPOSED DECK AT  
 51 CONGRESS STREET  
 IN PORTLAND, MAINE

1-12-11 (27)

By: JENNIFER TIGHE  
 ARCHITECTURAL FIRM, INC.  
 20000 14th Avenue, E.E.

REvised 07-1-2011