

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 090847

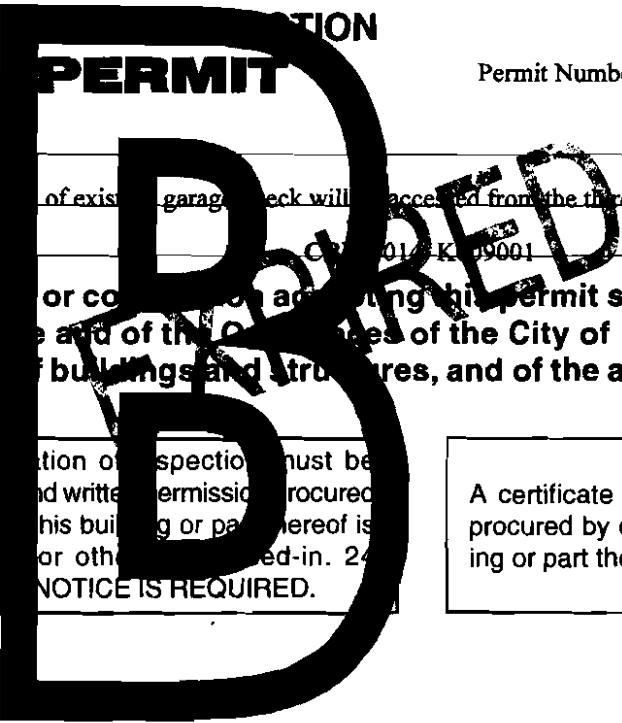
Please Read Application And Notes, if Any, Attached

This is to certify that Jacks Grant L. Iii &/David Cray

has permission to Construction of outside deck on top of existing garage deck will be accessed from the third floor apartment.

AT 51 Congress St City of Portland, Oregon 97201

provided that the person or persons, firm or contractor accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise changed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0847	Issue Date:	CBL: 014 K009001
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Location of Construction: 51 Congress St	Owner Name: Jacks Grant L Iii &	Owner Address: 529 Overbrook Rd	Phone:
Business Name:	Contractor Name: David Cray	Contractor Address: 51 Congress Street Portland	Phone 4436901685
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi Family / 3 Units	Proposed Use: Multi Family / Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment. <i>leglise - 3 du</i>	Permit Fee: \$50.00	Cost of Work: \$3,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description: Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment.	Signature:	Signature:
	PEDESTRIAN ACTIVITY DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approve <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: gg	Date Applied For: 08/06/2009	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zoning or Reviews</p> <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0847	Date Applied For: 08/06/2009	CBL: 014 K009001
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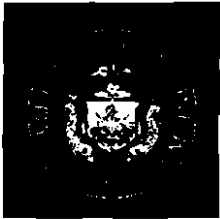
Location of Construction: 51 Congress St	Owner Name: Jacks Grant L Iii &	Owner Address: 529 Overbrook Rd	Phone:
Business Name:	Contractor Name: David Cray	Contractor Address: 51 Congress Street Portland	Phone (443) 690-1685
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi Family / Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment.	Proposed Project Description: Construction of outside deck on top of existing garage. Deck will be accessed from the third floor apartment.
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Dept: Zoning	Status:	Reviewer: Ann Machado	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Building	Status: Pending	Reviewer: Review	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

EXPIRED

Comments: 8/18/2009-amachado: Spoke to David Cray, contractor. Existing footprint is already over the allowable maximum lot coverage. Even though the footprint of the deck is only adding a total of 28 more feet the footprint is already at 2300.5 sf and 50% is 1980 sf. David said that he would get back to me. I told him that a deck would have to be built within the existing footprint. 9/14/2009-amachado: After meeting with the owner at the counter a couple of weeks ago, I wrote a denial letter. 12/7/2010-amachado: No action on permit for over 180 days. Permit has expired. 10/2/2009-amachado: Met with Grant Jacks. Went over options. He was either going to appeal or revise the plans. 12/31/2009-amachado: Thirty day period to appeal was up October 14, 2009. Didn't appeal.
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PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Penny St. Louis Littell - Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator*

EXPIRED

30 days to appeal - Up - Oct 14

- met w/ Grant. Went over the issues. He'll either appeal or revise plans - 10/2/09

September 14, 2009

Margaret Stevens Jacks &
Grant L. Jacks, III
529 Overbrook Road
Baltimore, MD 21212

Re: 51 Congress Street - 014 K009 - R-6- deck - permit #09-0847

Dear Ms. & Mr. Jacks,

I have reviewed the building application to add an 8' x 8' deck and a 3'6" x 5'6" landing off the third floor of the rear of the building extending over the existing barn. The proposed addition does not meet the lot coverage, so I must deny the application.

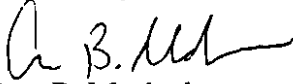
51 Congress Street is located in the R-6 residential zone. Section 14-139(d)(3) gives the side setback for a three story structure as 10'. The setback given for the distance from the right side property line to the proposed landing is 9'. Although 10' is required, section 14-433 allows the side setback to be reduced to 5' for an addition if the principal structure existed as of July 19, 1988 and the normal applicable yard requirements can't be met. Since the landing needs to be at 9' because of the existing conditions of the third floor, the side setback can be reduced to 9' under section 14-433.

Section 14-139(e) gives the maximum amount of lot coverage as 50%. The lot is 3960 square feet, so 1980 square feet of the lot can be covered by the footprint of any structure. The total footprint of the existing structures is 2296.78 square feet which is 316.78 square feet over the maximum allowable lot coverage. It covers 57.9% of the lot. The proposed deck and landing would add 24.22 square feet to the footprint for a total of 2321 square feet which covers 58.6% of the lot. Since the proposed lot coverage is over the maximum allowable lot coverage of 50%, I must deny the permit.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have thirty days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. You may contact our office for the necessary paper work that is required to file an appeal. If you choose not to file an appeal, you are entitled to get most of your money back if you bring in the original receipt you got when you applied for the permit.

Please feel free to call me at 874-8709 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "Ann B. Machado". The signature is fluid and cursive, with a long horizontal stroke at the end.

Ann B. Machado
Zoning Specialist
(207) 874-8709

Cc file



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>51 CONGRESS STREET PORTLAND 04101</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>014 K 009</u>	Applicant ⁺ <u>must</u> be owner, Lessee or Buyer ⁺ Name <u>GRANT L JACKS, II</u> Address <u>529 OVERLOOK ROAD</u> City, State & Zip <u>BALTIMORE MD 21212</u>	Telephone: <u>443</u> <u>690 1685</u>
Lessee/DBA (If Applicable)	Owner of different from Applicant Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>3000</u> C of O Fee: \$ _____ Total Fee: \$ <u>50.00</u>
Current legal use (i.e. single family) <u>MULTI-FAMILY</u> Number of Residential Units <u>3</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>CONSTRUCTION OF OUTSIDE DECK ON TOP OF EXISTING TERRACE.</u> <u>THE DECK WILL BE ACCESSED FROM THE THIRD FLOOR APT.</u>		
Contractor's name: <u>DAVID CRAY</u>		
Address: <u>51 CONGRESS ST.</u>		
City, State & Zip: <u>PORTLAND, ME 04101</u>		Telephone: <u>207-949-5934</u>
Who should we contact when the permit is ready: <u>DAVID CRAY OR GL JACKS</u>		Telephone: _____
Mailing address: <u>51 CONGRESS ST. PORTLAND, ME 04101</u>		

EXPIRED

Jxcell

Please submit all of the information outlined on the applicable Checklist Failure to do so will result in the automatic denial of your permit.

MIG - 6 2009

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8/3/09

This is not a permit; you may not commence ANY work until the permit is issue

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

July 31, 2009

Grant Jacks
529 Overbrook Road
Baltimore, Maryland 21212

EXPIRED

Subject: Building located at 51 Congress Street, Portland, Maine -
Proposed Exterior Deck

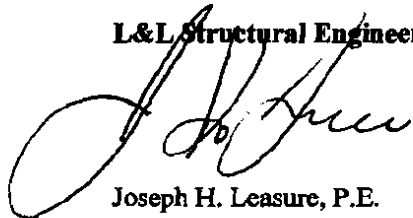
Dear Mr. Jacks,

As per your request we have reviewed the structural framing on the drawings prepared by Tony Taylor of Prostyle Design dated July 26, 2009 for the proposed exterior deck at the second floor of the building located at 51 Congress Street in Portland, Maine. The drawings included the structural modifications recommended by our office. Our analysis utilized the 2003 IRC International Residential Building Code adopted by Portland, Maine. In addition, our analysis considered the latest edition of the NDS National Design Specification for Wood Construction published by the National Forest Products Association. The proposed structural design meets or exceeds the code stipulated design requirements, is acceptable to support the anticipated structural loading, and is in general compliance with our structural design concept.

If you have any questions, please do not hesitate to call.

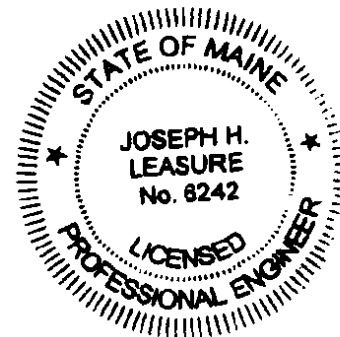
Sincerely,

L&L Structural Engineering Services, Inc.



Joseph H. Leasure, P.E.

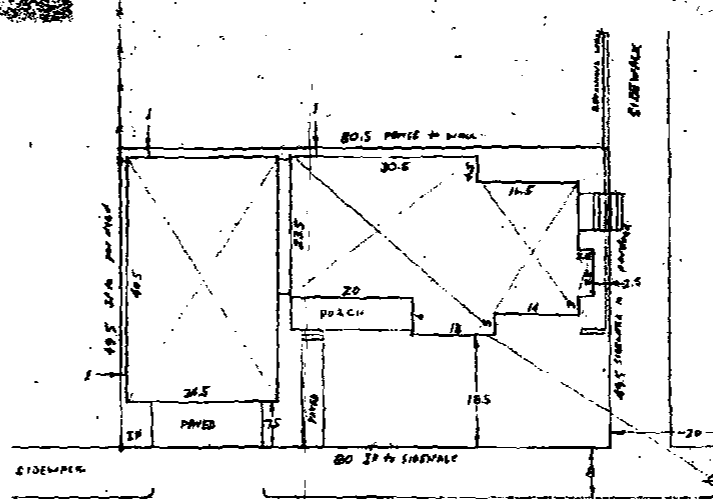
cc: Tony Taylor of Prostyle Design
File



14-k-9

ATC

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS A TRUE AND CORRECT REPRESENTATION OF THE PRESENT RECORDS OF THE TOWN OF PORTLAND, MAINE, AND THAT THE SAME ACCURATELY SHOWS THE LOCATION AND DIMENSIONS OF THE PROPERTY DESCRIBED HEREON.



NOTES:
 This plan was not made from an instrument survey and is not for recording purposes. The plan shows conditions existing as of the date shown hereon. Certification is for mortgage purposes only. Property lines as shown are apparent only.

2. In accordance with The Department of H.U.D. Federal Insurance Administration Maps this lot **is not** within a flood Hazard zone.

3. The town code enforcement officer knows of **no** apparent zone violation at the time of construction.
 Dwelling built 1875

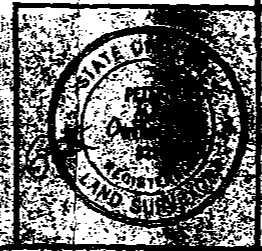
Remarks: Garage Believed Very
old

EMERSON STREET

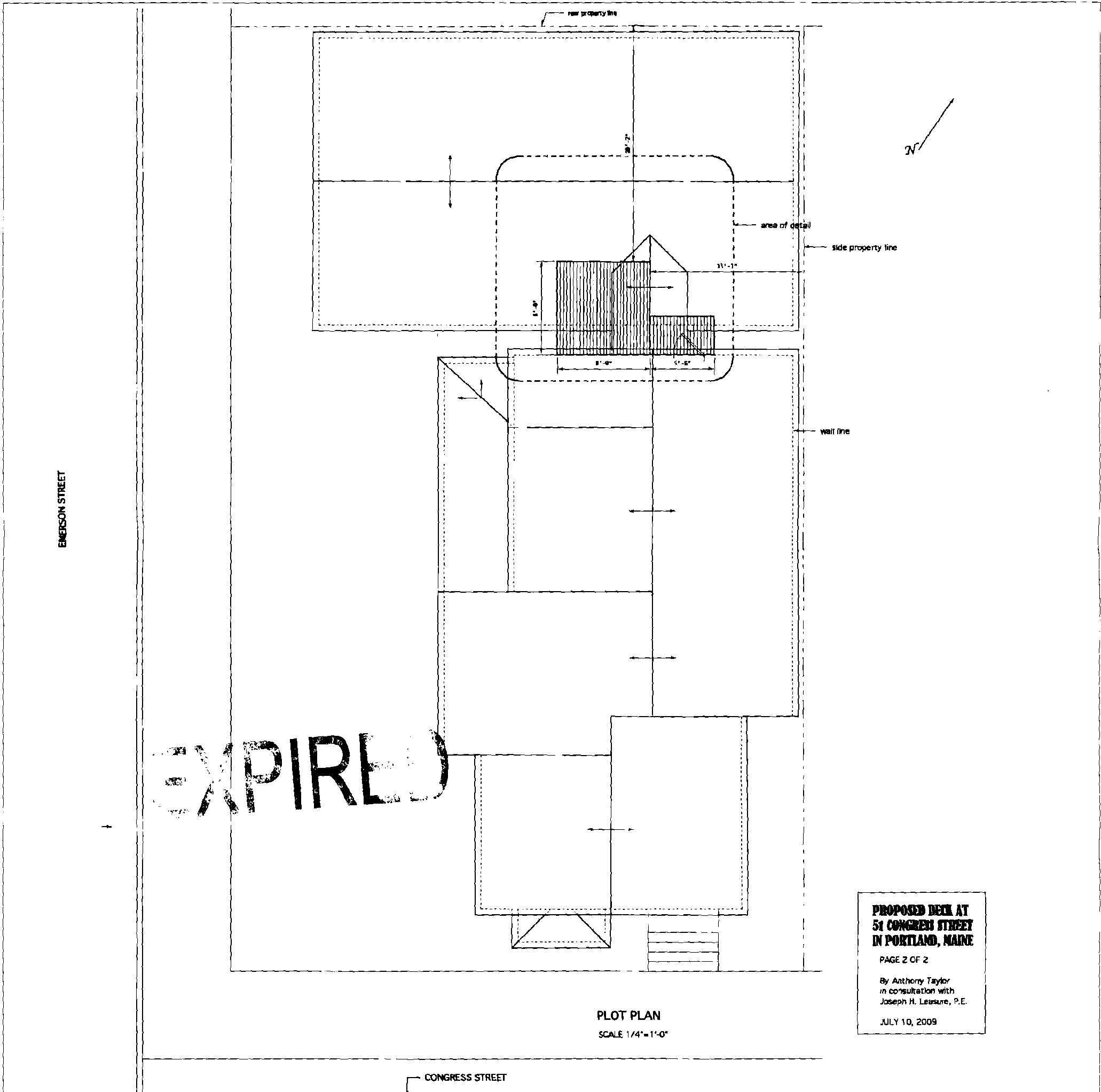
CONGRESS STREET

MORTGAGE CERTIFICATION DRAWING

PROPERTY OF		
TERRANCE L. BALLEW 51 CONGRESS STREET, PORTLAND, ME		
SCALE: 1" = 20'	INSTITUTION	DRAWN BY: P.A.W.
DATE: AUGUST 26, 1987		FILE NO.: 1137
GRANT BENNETT AND MARGARET JACKS		
SURVEYOR	Peter A. Webber, R.L.S. 0829 Scarborough, Maine	DRAWING NUMBER 19870826 LB



EXPIRED



EMERSON STREET

CONGRESS STREET

new property line

area of detail

side property line

wall line

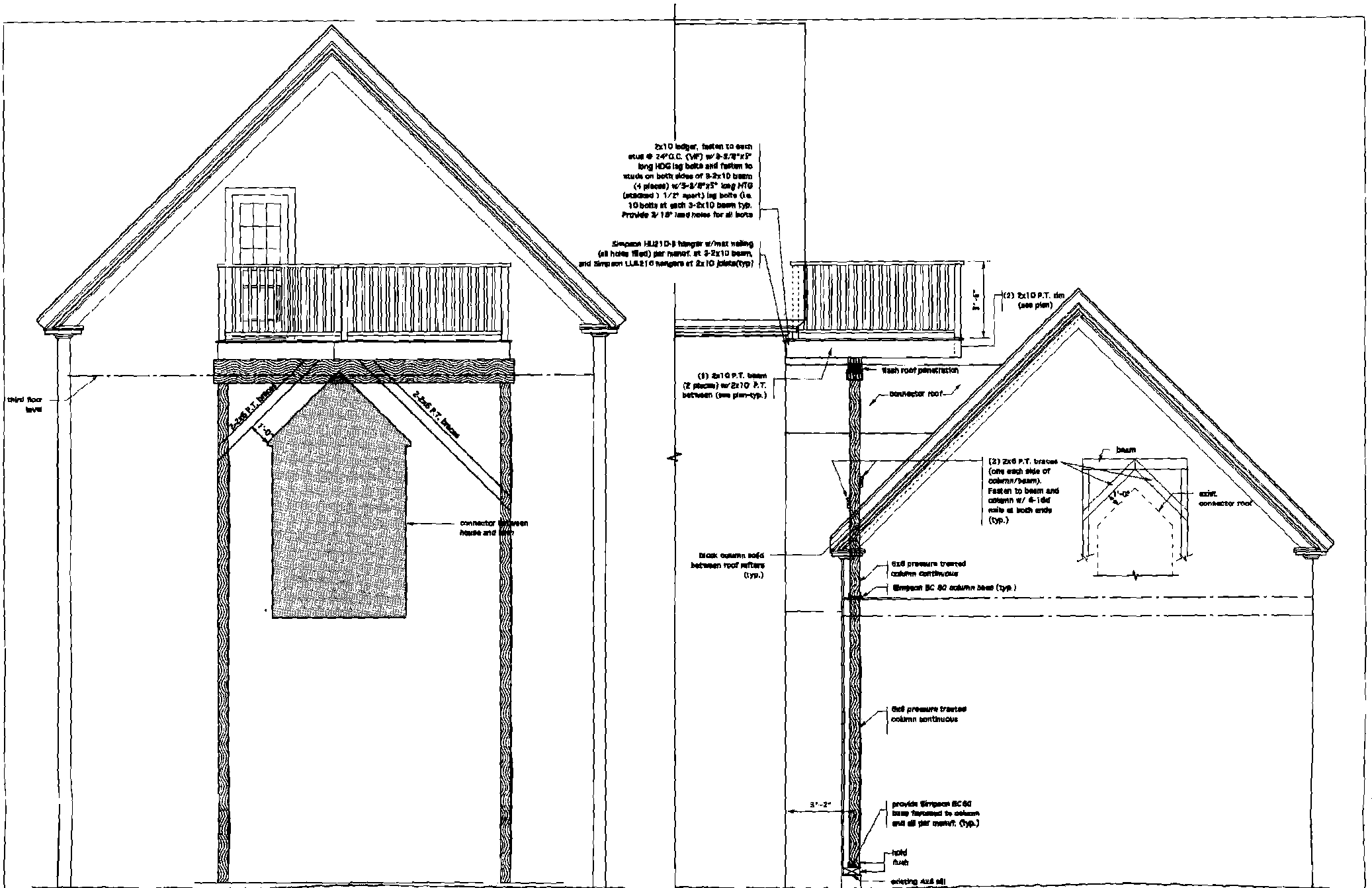
EXPIRED



**PROPOSED DECK AT
51 CONGRESS STREET
IN PORTLAND, MAINE**
PAGE 2 OF 2
By Anthony Taylor
in consultation with
Joseph H. Leasure, P.E.
JULY 10, 2009

PLOT PLAN
SCALE 1/4"=1'-0"

AUG 12 2009

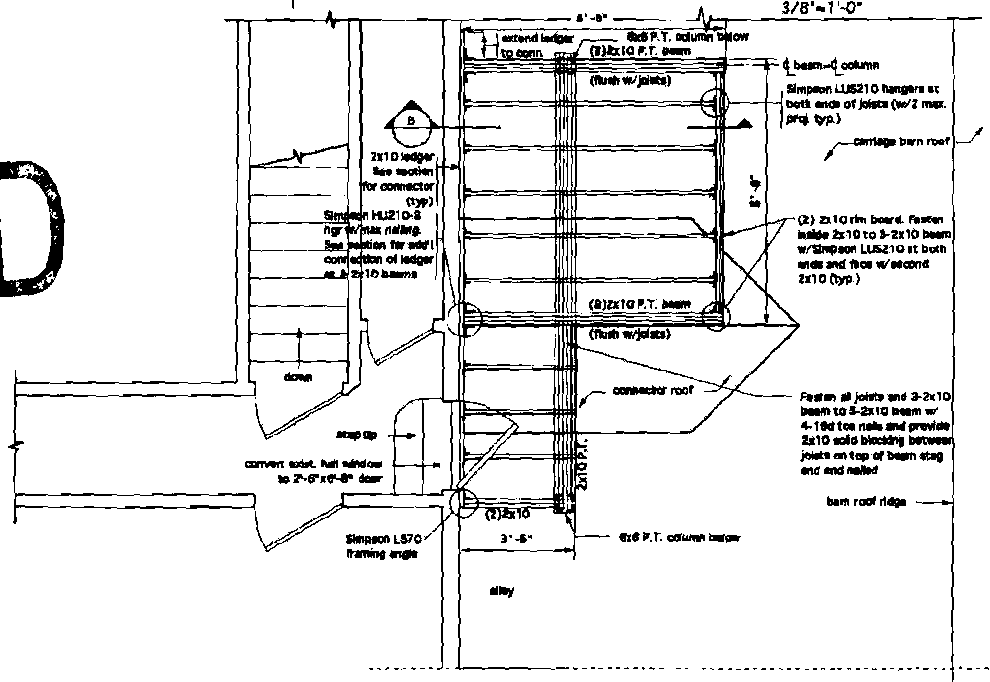


SOUTH ELEVATION
3/8"=1'-0"

DECK SECTION 'B'

EAST ELEVATION (rear of house between house and carriage barn)
3/8"=1'-0"

EXPIRED



FRAMING PLAN OF DECK

**PROPOSED DECK AT
51 CONGRESS STREET
IN PORTLAND, MAINE**

PAGE 2 OF 2

By Anthony Taylor
in consultation with
Joseph H. Leasure, P.E.

JULY 10, 2009



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

August 6 2009

Received from James J. Jacobs

Location of Work 51 Congress St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 50.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 014 K009

Check #: 1046 **Total Collected \$** 50.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: James J. Jacobs

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy