

GENERAL REMOVALS NOTES:

1. COORDINATE ALL REMOVALS WORK WITH ALL TRADES PRIOR TO COMMENCING ANY WORK.
2. CONTRACTOR IS TO COORDINATE SALVAGE OF EXISTING BUILDING COMPONENTS WITH BUILDING OWNER PRIOR TO COMMENCING ANY WORK.
3. SAFELY STORE ALL ITEMS INDICATED TO BE SALVAGED AND REINSTALLED. REPLACE ANY DAMAGED ITEMS OR COMPONENTS.
4. PATCH AND REPAIR ALL ADJACENT SURFACES INDICATED TO REMAIN WHICH ARE DAMAGED DURING THE REMOVALS PROCESS.
5. PATCH AND REPAIR ALL REMAINING INTERIOR WALL AND CEILING SURFACES AS REQUIRED. PREPARE WALL SURFACES FOR NEW FINISHES PER FINISH MANUFACTURER'S RECOMMENDATIONS. REFERENCE PARTITION SCHEDULE FOR FURTHER INFORMATION.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT, BRACING AND SHORING AS REQUIRED FOR ANY AND ALL REMOVALS. TEMPORARY BRACING, SUPPORT AND SHORING SHALL BE IN PLACE PRIOR TO ANY AND ALL REMOVALS.
7. REFERENCE THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ALL REMOVALS RELATED TO THE BUILDINGS UTILITIES, CLIMATE CONTROL EQUIPMENT, AND OTHER RELATED ITEMS.
8. THE CONTRACTOR SHALL CUT, PATCH, AND REPAIR ANY AND ALL WALL SURFACES AS REQUIRED FOR INSTALLATION OF BLOCKING THAT IS REQUIRED BY THE INSTALLATION OF CABINETS AND WALL CABINETS. PROVIDE BLOCKING FOR ALL CABINETS AND WALL CABINETS TYPICAL. PROVIDE NEW PAINT FINISHES WITHIN THE ENTIRE SPACE.

REMOVALS NOTES:

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| <ol style="list-style-type: none"> 1 REMOVE EXISTING DOOR, DOOR TRACK & HARDWARE COMPLETE; DOOR FRAME TO REMAIN. 1B REMOVE EXISTING DOOR, FRAME, & ASSOCIATED HARDWARE COMPLETE. 2 REMOVE EXISTING EXTERIOR WINDOW SASH, CUT PORTION OF EXISTING WOOD TRIM, AND HALF ROUND WOOD TRIM - REFER TO DRAWING A4.1A/1 FOR REMOVALS DETAILS. 2A REMOVE EXISTING EXTERIOR WINDOWS, FRAME AND ASSOCIATED HARDWARE COMPLETE. REFER TO DRAWING A4.1A/3 FOR NEW BRICK VENEER INFILL. 3 REMOVE EXISTING GYPSUM BOARD PARTITION TO EXTENTS INDICATED ON PLAN. 4 REMOVE EXISTING SINK AND ASSOCIATED PLUMBING COMPLETE. 5 REMOVE EXISTING TUB/SHOWER AND ASSOCIATED PLUMBING COMPLETE. 6 REMOVE EXISTING TOILET FIXTURE AND ASSOCIATED PLUMBING COMPLETE. 7 REMOVE EXISTING CABINETS, COUNTER TOP, WALL CABINETS, AND ASSOCIATED HARDWARE COMPLETE. 8 REMOVE EXISTING APPLIANCES - REFRIGERATOR, RANGE, MICROWAVE WALL OVEN, DUCT HOOD AND ASSOCIATED HARDWARE COMPLETE. 9 REMOVE EXISTING GYPSUM WALL OPENINGS COMPLETE. 10 REMOVE EXISTING CLOSET RODS, SHELVES AND ASSOCIATED HARDWARE COMPLETE. 11 REMOVE EXISTING VCT AND/OR CARPET FLOOR FINISH AND WALL BASE, COMPLETE; PATCH, LEVEL & SAND SUBSTRATE AS REQ'D TO INSTALL NEW FLOORING - SEE FINISH SCHEDULE FOR FINISH FLOOR. 12 REMOVE PORTION OF EXISTING INTERIOR BEARING WALL TO THE EXTENTS INDICATED ON PLAN. 13 REMOVE EXISTING LIGHTING FIXTURES AND ASSOCIATED HARDWARE COMPLETE. 14 REMOVE/ MODIFY EXISTING ELECTRICAL PANEL, EXIT LIGHT, EMERGENCY LIGHTING HEAD, SWITCHES, OUTLETS, ELECTRICAL CONDUIT, ELECTRICAL WIRING, AND ASSOCIATED ELECTRICAL AS REQUIRED. 15 REMOVE EXISTING WATER HEATER AND ASSOCIATED HARDWARE COMPLETE. 16 REMOVE EXISTING ELECTRIC BASEBOARD COVER IN UNITS AND ALL OTHER SPACES AND ASSOCIATED HARDWARE COMPLETE. REFER MECHANICAL DWG FOR DETAIL. 17 REMOVE EXISTING MAILBOXES AND ASSOCIATED HARDWARE. 18 REMOVE / MODIFY PORTION OF EXISTING INFILL GWB WALL BEHIND EXISTING EXTERIOR WINDOWS - REFERENCE REMOVAL PLANS FOR MORE INFORMATION. 19 CUT PORTION OF EXISTING INTERIOR WALL FOR NEW OPENING - 12'-0" WIDE x 9'-8" HIGH. 20 UPGRADE OF EXISTING SPRINKLER SYSTEM TO NFPA 13R FOR ALL UNITS AND NFPA 13 FOR ALL COMMON SPACES. 21 REMOVE EXISTING EXTERIOR SLIDING DOOR AND ASSOCIATED HARDWARE COMPLETE. 22 NOT USED. 23 REMOVE EXISTING EXTERIOR WOOD STUD WALL PARTITION COMPLETE. 24 REMOVE EXISTING ABANDONED BOILER AND COMPONENTS OF OIL-FIRED HEATING SYSTEM. 25 NOT USED. 26 REMOVE EXISTING EXTERIOR WOOD DECKING TO TOP OF EXISTING DECK JOISTS, GUARDRAILS, AND WALLS COMPLETE. 27 REMOVE EXISTING WASHER AND DRYER AND ASSOCIATED HARDWARE COMPLETE. 28 REMOVE EXISTING INTERIOR STAIR, HANDRAILS AND ASSOCIATED HARDWARE COMPLETE. 29 REMOVE EXISTING SKYLIGHTS AND ASSOCIATED HARDWARE COMPLETE. 30 REMOVE PORTION OF EXISTING CEILING IN DWELLING UNITS TO CREATE WINDOW WELLS FOR NEW FULL HEIGHT WINDOWS. 31 REMOVE PORTION OF EXISTING CEILING TO INSTALL NEW LVL. REFERENCE TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION. 32 REMOVE EXISTING BATHROOM SINK COMPLETE. 33 CUT EXISTING BEARING WALL FOR NEW OPENING. 34 SAW CUT EXISTING CONCRETE SLAB FOR NEW PLUMBING TRENCH - COORD. WITH PLUMBING DRAWINGS FOR NEW PIPING AND SAW CUT LOCATIONS. 35 NOT USED. 36 REMOVE PORTION OF EXISTING GWB WALL FOR INSTALLATION OF NEW COLUMN, REFERENCE STRUCTURAL DRAWINGS FOR DETAIL. | <ol style="list-style-type: none"> 37 REMOVE EXISTING PLYWOOD INFILL WINDOW OPENINGS COMPLETE. 38 REMOVE EXISTING PAINT FROM EXISTING MASONRY WALLS AND COLUMNS, PREPARE SURFACE TO RECEIVE NEW PRIMER AND PAINT. 39 SANDBLAST CONCRETE FLOOR, PATCH CRACKS & HOLES & APPLY LEVELING COMPOUND TO SMOOTH OUT ALL IRREGULARITIES AND PROVIDE A CLEAN, LEVEL SURFACE FOR NEW FINISHES. 40 REMOVE DUCT WORK, PIPING, WALL GRILLES, AND ASSOCIATED PLUMBING COMPLETE. 41 REMOVE EXISTING INTERIOR WOOD HANDRAIL AND ASSOCIATED HARDWARE COMPLETE. 42 REMOVE EXISTING PAINT FROM METAL PIPE HANDRAILS, PREPARE SURFACE TO RECEIVE NEW PRIMER AND PAINT. 43 REMOVE EXISTING CMU WALL COMPLETE. 44 REMOVE EXISTING OPENING WD/ METAL CASING COMPLETE. 45 REMOVE EXISTING BUILDING ROOF SHINGLES, UNDERLAYMENT AND ASSOCIATED HARDWARE COMPLETE; PREPARE ROOF TO RECEIVE NEW ROOFING. 46 REMOVE EXISTING EPDM ROOFING MEMBRANE ASSEMBLY COMPLETE. 47 REMOVE PORTION OF EXISTING FLOOR FRAMING SYSTEM FOR NEW STAIRCASE ABOVE. 48 REMOVE EXISTING WOOD STUDS WALL PARTITION COMPLETE. 49 MODIFY EXISTING OPENING PER DRAWING A4.3/5. 50 REMOVE EXISTING SOFFIT ABOVE WALL CABINETS COMPLETE. 51 REMOVE EXISTING MECHANICAL DUCTS AND ASSOCIATED HARDWARE COMPLETE. 52 REMOVE PAINT FROM EXISTING EXTERIOR DOOR, DOOR FRAME, & CASING PER SPECIFICATION SECTION 09 91 13 EXTERIOR PAINTING AND REHABILITATION. 53 SAW CUT EXISTING CONCRETE SLAB FOR NEW RADON PIPING SYSTEM - COORD. WITH BASEMENT PLAN FOR NEW PIPING LOCATIONS. 54 REMOVE EXISTING STEEL BEAMS. 55 REMOVE PORTION OF EXISTING CONCRETE COLUMN BASE TO ALLOW FOR NEW WALL INSTALLATION. 56 SELECTIVELY REMOVE PORTION OF EXISTING GWB WALL FOR NEW BLOCKING AS REQUIRED FOR NEW HANDRAIL AND CHAIR RAIL INSTALLATION. REFERENCE FLOOR PLANS FOR NEW HANDRAIL AND CHAIR RAIL LOCATIONS. 57 REMOVE RAISED FLOOR ASSEMBLY. 58 REMOVE PORTION OF EXISTING GWB CEILING AS REQUIRED TO ALLOW FOR NEW INSULATION INSTALLATION. REFERENCE A7.2/7 & 11. |
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NOT USED

REFERENCED FROM:

SCALE: N/A

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REMOVALS NOTES

REFERENCED FROM:

SCALE: N/A

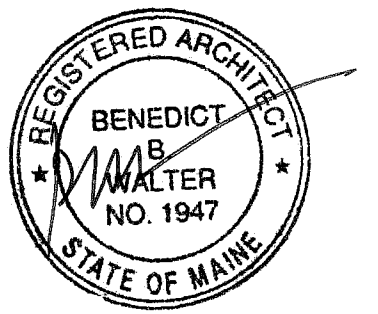


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**Munjoy Commons
Apartments**

Portland, Maine

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**EMERSON
REMOVALS
NOTES**

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