

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021333

This is to certify that Papi Peter M &/Coastal Restoration Services, Inc.

has permission to Repairing fire damage

AT 65 Congress St 014 J020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit in progress before this building or part thereof is placed or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 12/6/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1833	Issue Date: DEC 6	CBL: 014 J020001
-----------------------	----------------------	---------------------

Location of Construction: 65 Congress St	Owner Name: Papi Peter M &	Owner Address: 111 Regan Ln	Phone: 207-878-2045
Business Name: n/a	Contractor Name: Coastal Restoration Services, Inc.	Contractor Address: PO Box 283 Cape Elizabeth	Phone: 2077999777
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type:	Zone: R-6

Past Use: Multi Family / 4 units	Proposed Use: Multi Family / Repairing Fire Damage	Permit Fee: \$723.00	Cost of Work: \$100,000.00	CEO District: 1
Proposed Project Description: Repairing fire damage <i>LEGAL 4 DU. - No change of use permitted</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 5B 12/6/02	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 12/04/2002	Zoning Approval		
------------------------	---------------------------------	------------------------	--	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/4/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>12/4/02</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	<i>[Handwritten notes and signatures]</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

1/24/03 Left for Mass on 3rd - 110
1/24/03 Can go ahead with
flashing, etc.

1/27/03 Test 100psi on supply line - checked protection
plates on flashing - electrical lines ok to close
ok for m.c.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

AK **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

AK **Footing/Building Location Inspection:** Prior to pouring concrete

AK **Re-Bar Schedule Inspection:** Prior to pouring concrete

AK **Foundation Inspection:** Prior to placing ANY backfill

AK **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

AK **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

AK **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

AK **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of applicant/designee

12/16/02
Date

[Signature]
Signature of Inspections Official

12/16/02
Date

CBL: 04-9-020 Building Permit #:

02-1333

Application ID Number: 2-1333

Department: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal

Comments: 65 Congress St Approval Date: 12/05/2002

Given On Date: 12/04/2002

OK to Issue Permit Name: Marge Schmuckal Date: 12/05/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a four (4) family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

IT is understood that this repair after fire shall not increase the original footprint of the building. The repairs shall not increase the height of the original building. Any changes to either the footprint or height shall be approved separately by permit PRIOR to its construction.

Create Date: 12/04/2002 By: gg Update Date: 12/05/2002 By: mes



**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

November 4, 2002

John Harvey
Coastal Restoration Services, Inc.
P.O. Box 283
Cape Elizabeth, Maine 04107

Subject: Roof framing located at 65 Congress Street-Portland, Maine.

Dear Mr. Harvey,

We have completed our review of the roof framing as a result of the recent fire damage. For our analysis we used the dead weight of the materials plus the code live load. The live load was also reduced due to the steep roof pitch (10/12) as permitted by the local building code Boca 1999.

The existing framing consists of 2"x6" roof rafters spaced at 27" on center. They are supported on an existing 2x4 wall that was balloon framed during the original construction. At the site we have observed that twelve roof rafters on either side of the main ridge were damaged by the fire. However, for comparison we have used the actual undamaged design properties for our analysis.

Our analysis indicates that the existing roof rafters are over-stressed in bending (i.e. above the allowable load) by a factor of 2.54. They also, under full live load, will deflect 2.33" (L/86). The allowable live load deflection is L/360 for this type of construction. This value converts into 0.55". Based on these analysis results we can conclude that if the undamaged rafters do not meet the standards of the current building code, then any damage to them caused by the fire will make them less safe. Therefore, it is our recommendation that the rafters be removed and replaced. To perform this task correctly it may be necessary to remove the section of roof affected and re-build with materials that meet the requirements of the building code.

65 Congress Street-Portland, Maine

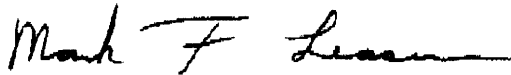
November 4, 2002

Page 2

If you have any questions or require additional information, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.



Mark F. Leasure, P.E.
President



COASTAL RESTORATION SERVICES, INC.

General Contractors
Since 1988

10/6/02

SAMSON Tufts.
STATE FARM INS.

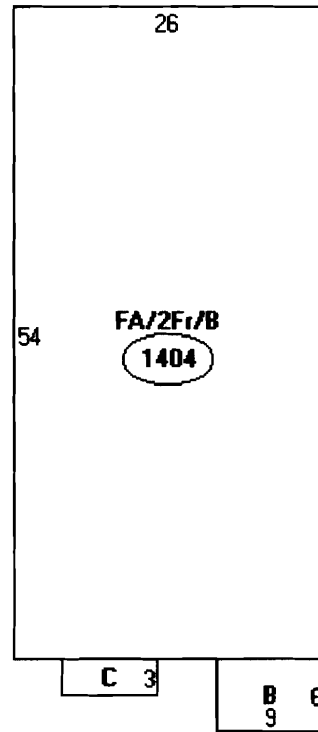
Re: Papi Loss.

Samson,

Thanks for the meeting yesterday!
Enclosed please find the engineering
report on the roof repair. Please
forward to your expert ASAP.

Thanks

John

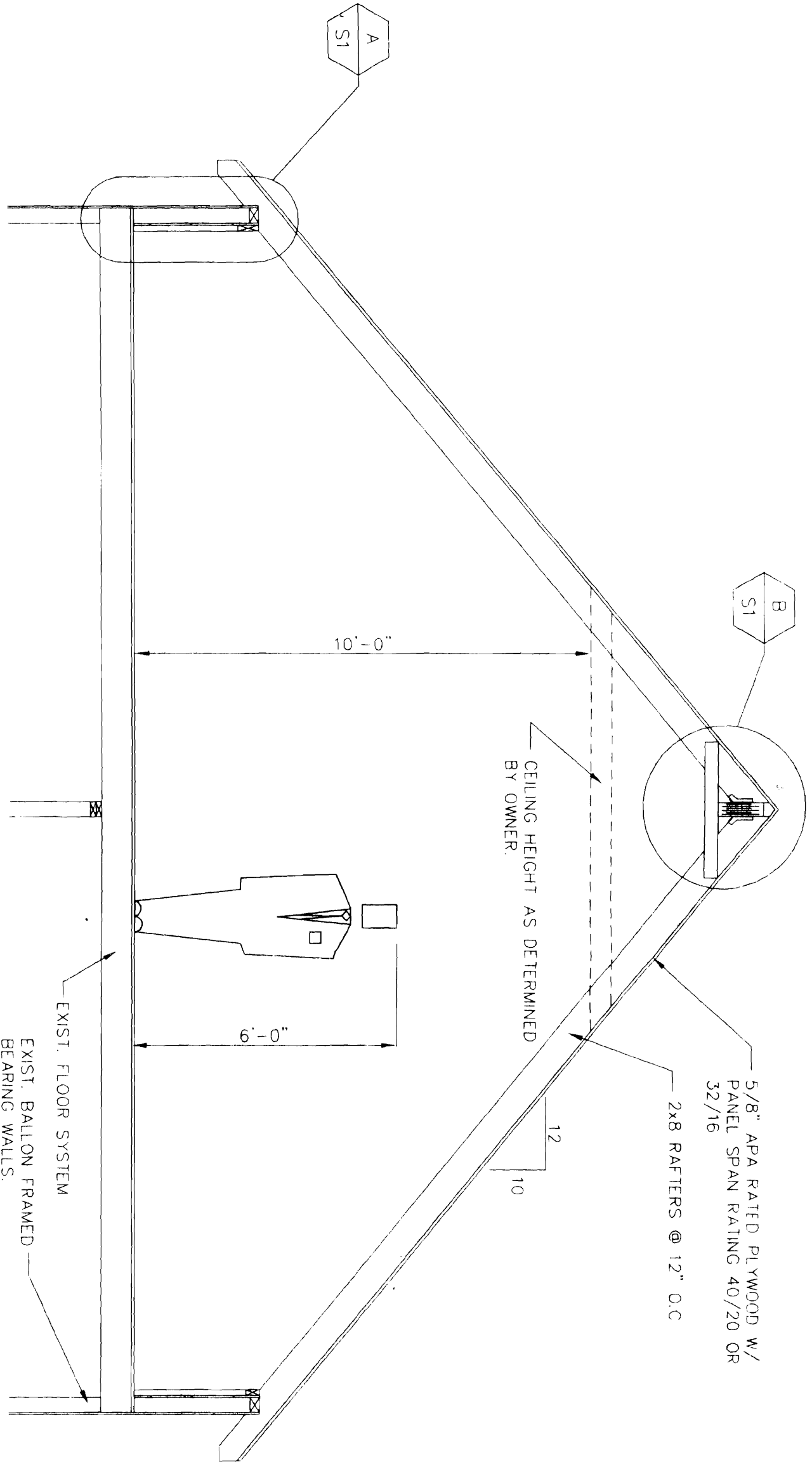


Descriptor/Area

A: FA/2Fr/B
1404 sqft

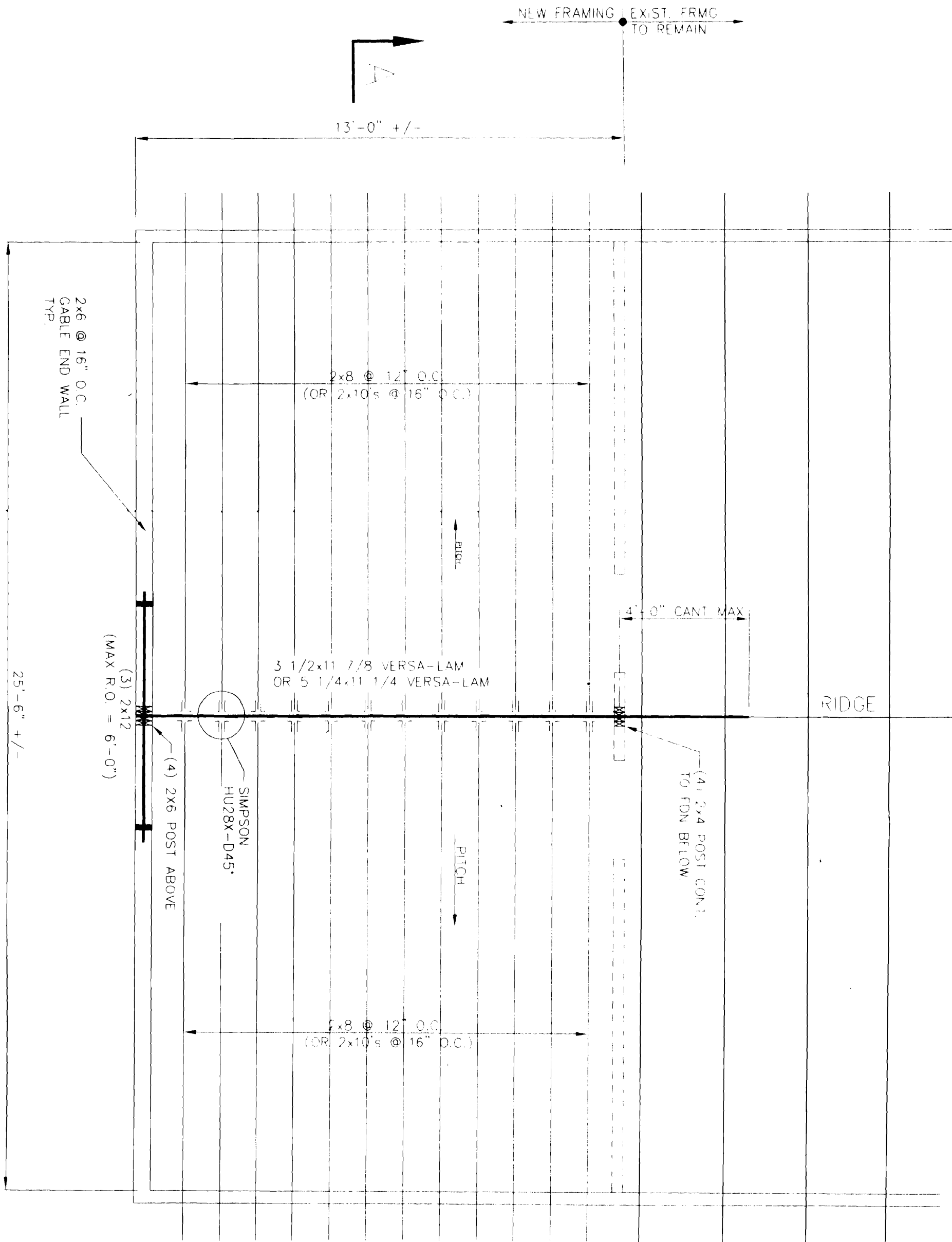
B: WD
54 sqft

C: 2Fr/B
24 sqft



BLDG SECTION A-A
 5/8" = 1'-0"

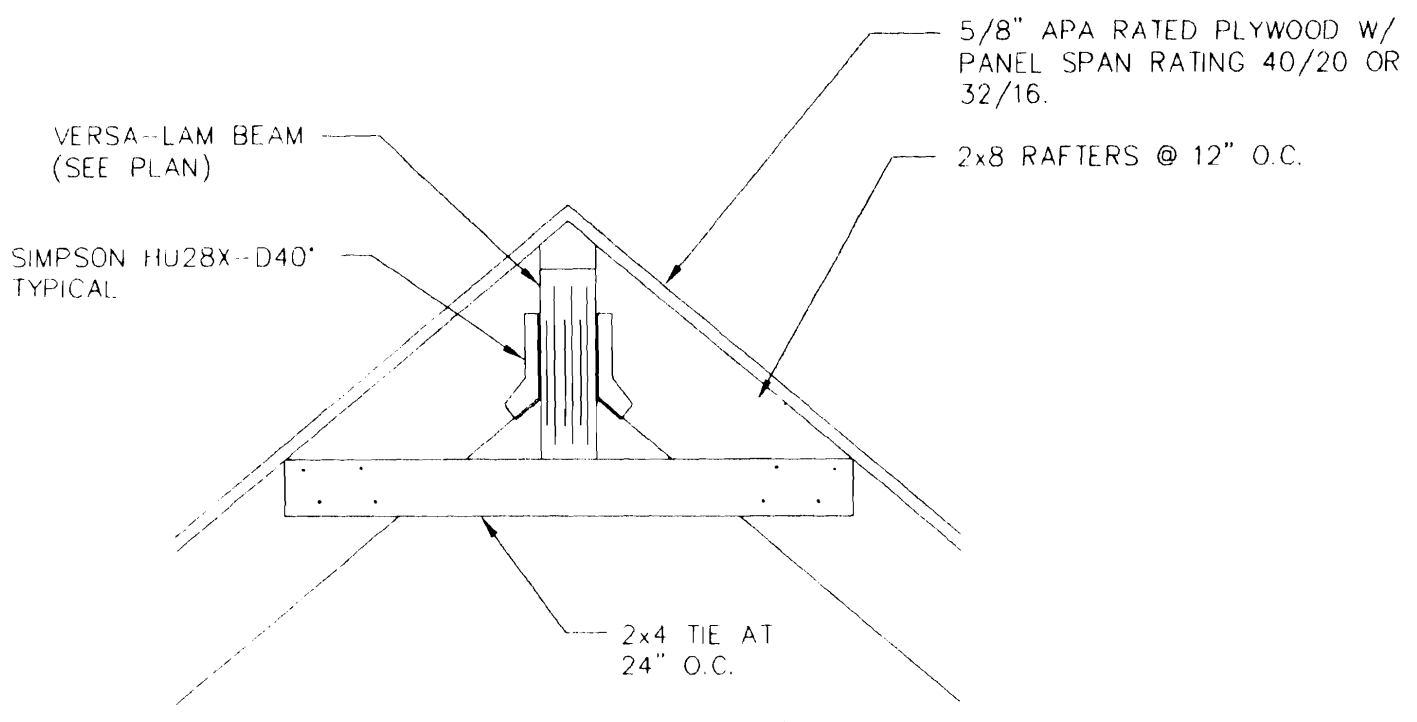
app'r'd 		<p>L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106</p> <p>PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: mark.leasure@verizon.net</p>
-----------------	--	---



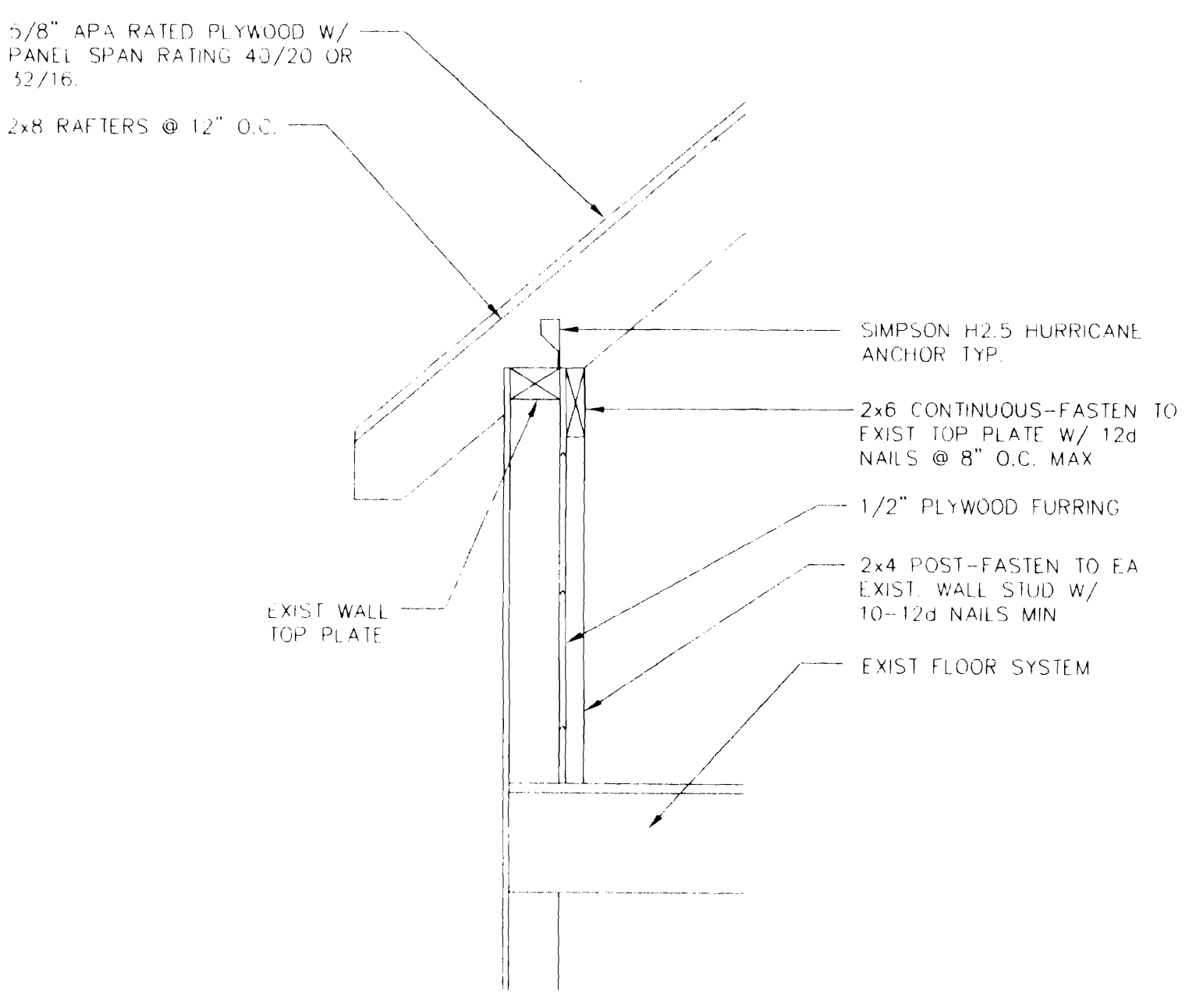
65 CONGRESS STREET
 PORTLAND, MAINE

PARTIAL ROOF RECONSTRUCTION

designed by:	rev.	date	descript
MFL			
drawn by:			
MFL			
checked by:			
JHL			
scale:			
NOTED			
date:			
NOVEMBER 25, 2002			
plot date:			
NOVEMBER 25, 2002			
project #:			
22108			



DETAIL B
S1



DETAIL A
S1

GENERAL NOTES:

1. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
2. Do not scale plans.
3. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
4. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
5. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN CODES:

1. Building code: BOCA Basic Building Code (1999)
2. Design Loads:
Live Load (Snow) 42 psf.
Dead Load 15 psf.
3. Wind: 90 mph, Exposure B

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19 content.
3. Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Nailing not specified shall conform with BOCA.

THESE DRAWINGS HAVE BEEN DEVELOPED BY L&L STRUCTURAL ENGINEERING SERVICES, INC. FOR THE TITLED SET ONLY. THE DRAWINGS ARE THE SOLE PROPERTY OF L&L STRUCTURAL ENGINEERING SERVICES, INC. AND THEY SHALL NOT BE USED, LENT, COPIED OR ALTERED WITHOUT THE WRITTEN CONSENT OF L&L STRUCTURAL ENGINEERING SERVICES, INC.

