

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BU **INSPECTION**

**PERMIT**

Permit Number: 090165  
 MAR 13 2009

This is to certify that HATT YUN OK /property owner  
 has permission to Relocate rear egress stairs 10' from right side property line - add windows, Amend permit #081557  
 AT 67 CONGRESS ST CE 014 J019001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
 Health Dept. \_\_\_\_\_  
 Appeal Board \_\_\_\_\_  
 Other \_\_\_\_\_  
Department Name

*Jeannie Bonke* 3/13/09  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

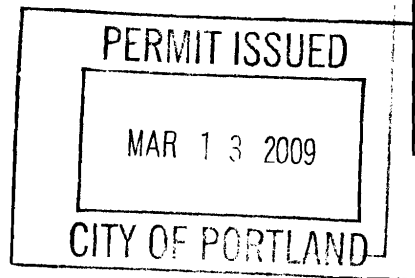
Permit No: 09-0165	Issue Date:	CBL: 014 J019001
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Location of Construction: 67 CONGRESS ST	Owner Name: HATT YUN OK	Owner Address: 3 HOWARD ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Multifamily	Zone: R-6

Past Use: Residential 4 unit	Proposed Use: Residential 4 unit - Relocate rear egress stairs ten feet from right side property line - add 4 <del>egress</del> windows, Amend permit#081557	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1
Proposed Project Description: Relocate rear egress stairs 10' from right side property line - add 4 <del>egress</del> windows, Amend permit#081557		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>JMB same conditions</i>	INSPECTION: Use Group: R2 Type: SB JBC-2003 Signature: JMB 3/13/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Ldobson	Date Applied For: 03/04/2009	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>using section 14-44 for rear setback</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: 3/13/09 ABU	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0165	<b>Date Applied For:</b> 03/04/2009	<b>CBL:</b> 014 J019001
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<b>Location of Construction:</b> 67 CONGRESS ST	<b>Owner Name:</b> HATT YUN OK	<b>Owner Address:</b> 3 HOWARD ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> property owner	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Multifamily	

<b>Proposed Use:</b> Residential 4 unit - Relocate rear egress stairs ten feet from right side property line - add 4 windows, Amend permit#081557	<b>Proposed Project Description:</b> Relocate rear egress stairs 10' from right side property line - add 4 windows, Amend permit#081557
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 03/13/2009
<b>Note:</b> Using section 14-440 for means of egress since the egress stairs do not meet the rear setback of 20'. 1) This property shall remain a four family dwelling. Any change of use shall require a separate permit application for review and approval. 2) This permit is being approved on the basis of plans submitted. The approved plot plan is the one that was submitted on 3/13/09. Any deviations shall require a separate approval before starting that work.			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Jeanine Bourke	<b>Approval Date:</b> 03/13/2009
<b>Note:</b> 1) All conditions and inspections of permit 08-1557 apply			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Fire	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Jeanine Bourke	<b>Approval Date:</b> 03/13/2009
<b>Note:</b> 1) All previous conditions of permit # 08-1557 apply			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>

<b>Comments:</b> 3/6/2009-amachado: Left vcm for Aaron Hatt. The footprint of the egress stairs needs to be a minimum of 10' from the side property line. 3/13/2009-amachado: Aaron brought in a revised plot plant that shows that the egress stairs are 10' from the right side property line.
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# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>67 CONGRESS ST. PORTLAND ME. 04101</u>		
Total Square Footage of Proposed Structure/Area <u>1656 sq ft.</u>	Square Footage of Lot <u>4000 sq ft.</u>	Number of Stories
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>14            J            19</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>YUN OK HATT</u> Address <u>67 CONGRESS ST.</u> City, State & Zip <u>PORTLAND ME. 04101</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>AARON HATT</u> Address <u>1014 WASHINGTON AVE.</u> City, State & Zip <u>PORTLAND ME. 04103</u> <u>207-415-7500</u>	Cost Of Work: \$ <u>0</u> C of O Fee: \$ <u>30.00</u> Total Fee: \$ <u>30.00</u>
Current legal use (i.e. single family) <u>MULTI FAMILY APT.</u> Number of Residential Units <u>4</u> If vacant, what was the previous use? _____ Proposed Specific use: <u><del>Single Family</del> MULTI FAMILY</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>RELOCATE EGRESS STAIRS TO RIGHT REAR CORNER</u> <u>ADD 4 EGRESS WINDOWS. AMEND PERMIT # 081557</u>		
Contractor's name: <u>AARON HATT</u> Address: <u>1014 WASHINGTON AVE.</u> City, State & Zip <u>PORTLAND ME 04103</u> Telephone: <u>207-415-7500</u> Who should we contact when the permit is ready: <u><del>Yun Ok Hatt</del> AARON HATT</u> Telephone: <u>632-1459</u> Mailing address: <u>1014 WASHINGTON AVE PORTLAND ME. 04103</u>		

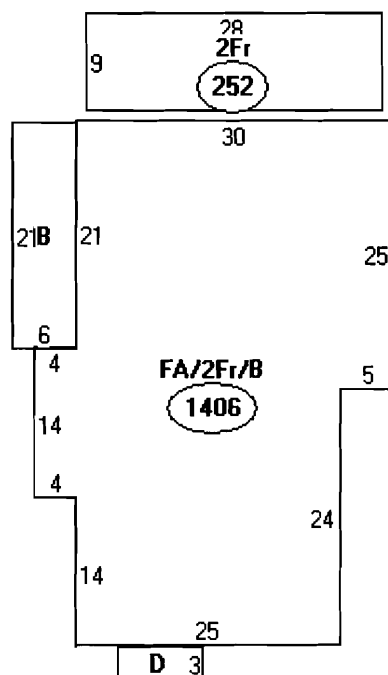
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Aaron Hatt      Date: 3-4-09

This is not a permit; you may not commence ANY work until the permit is issue

Descriptor/Area

A: FA/2Fr/B  
1406 sqft

B: OFP  
126 sqft

C: 2Fr  
252 sqft

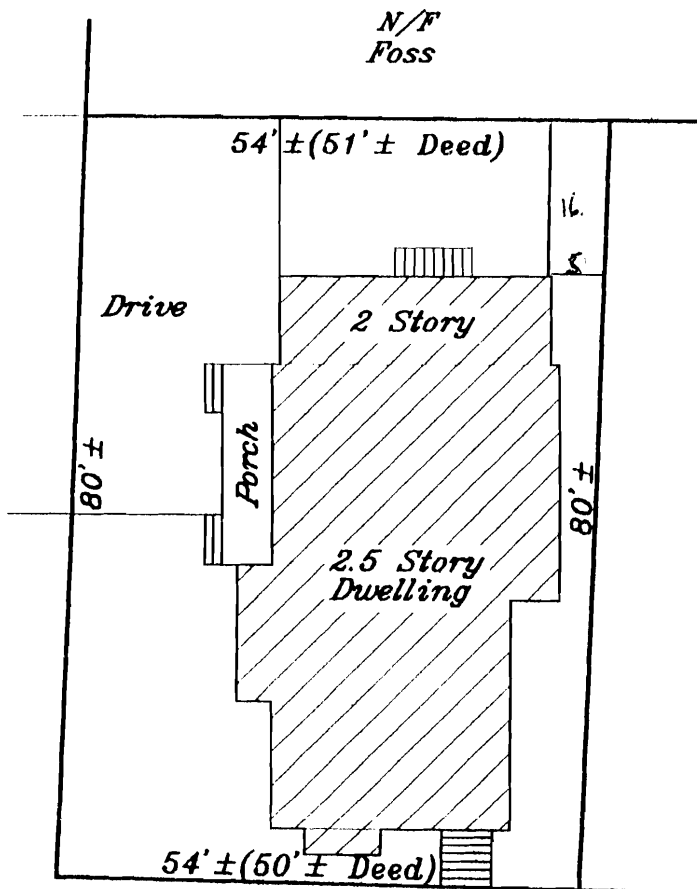
D: 2FBAY/B  
24 sqft

# FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND SHOULD NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, AND/OR ENCROACHMENTS.

ADDRESS: 67 CONGRESS STREET INSPECTION DATE: APRIL 17, 2002  
PORTLAND, MAINE SCALE: 1" = 20'

HOWARD STREET



CONGRESS STREET

*Recommend Boundary Survey for accurate location.*

SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: YUN OK HATT REQUESTING PARTY: LEETE & LEMIEUX  
 OWNER: same ATTORNEY: JAMES R. LEMIEUX  
 LENDER: \_\_\_\_\_ FILE No. 20211715 FIELD BOOK: 259

TITLE REFERENCES:  
 DEED BOOK: 15418 PAGE: 184  
 PLAN BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_ LOT: \_\_\_\_\_  
 COUNTY: CUMBERLAND

YOUR FILE #: 104711

MUNICIPAL REFERENCE:  
 MAP: 14 BLOCK: J LOT: 19

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 230051 PANEL: 0014B ZONE: C DATE: DECEMBER 8, 1998

THE DWELLING WAS ██████ IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
918 BRIGHTON AVENUE PORTLAND, ME 04108 (207) 878-7870  
 832 CLARKS WOODS ROAD LYMAN, ME 04008 (207) 499-2358

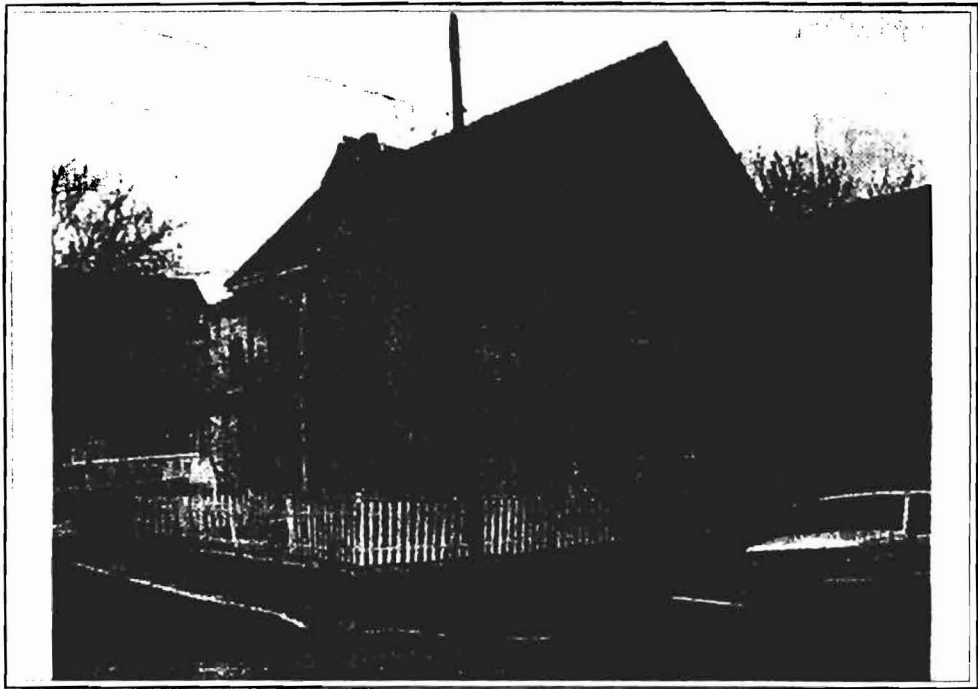
James R. Lemieux  
4-19-02

INSP. BY: TPB

**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**

**SUBJECT PROPERTY PHOTO ADDENDUM**

Borrower: Yun Ok Hatt	File No.: cs003537
Property Address: 67 Congress Street	Case No.: 231-0691823
City: Portland	State: Me
Lender: Countrywide Home Loans	Zip: 04101



**FRONT VIEW OF  
SUBJECT PROPERTY**

Appraised Date: April 3, 2000  
Appraised Value: \$ 224,000



**REAR VIEW OF  
SUBJECT PROPERTY**



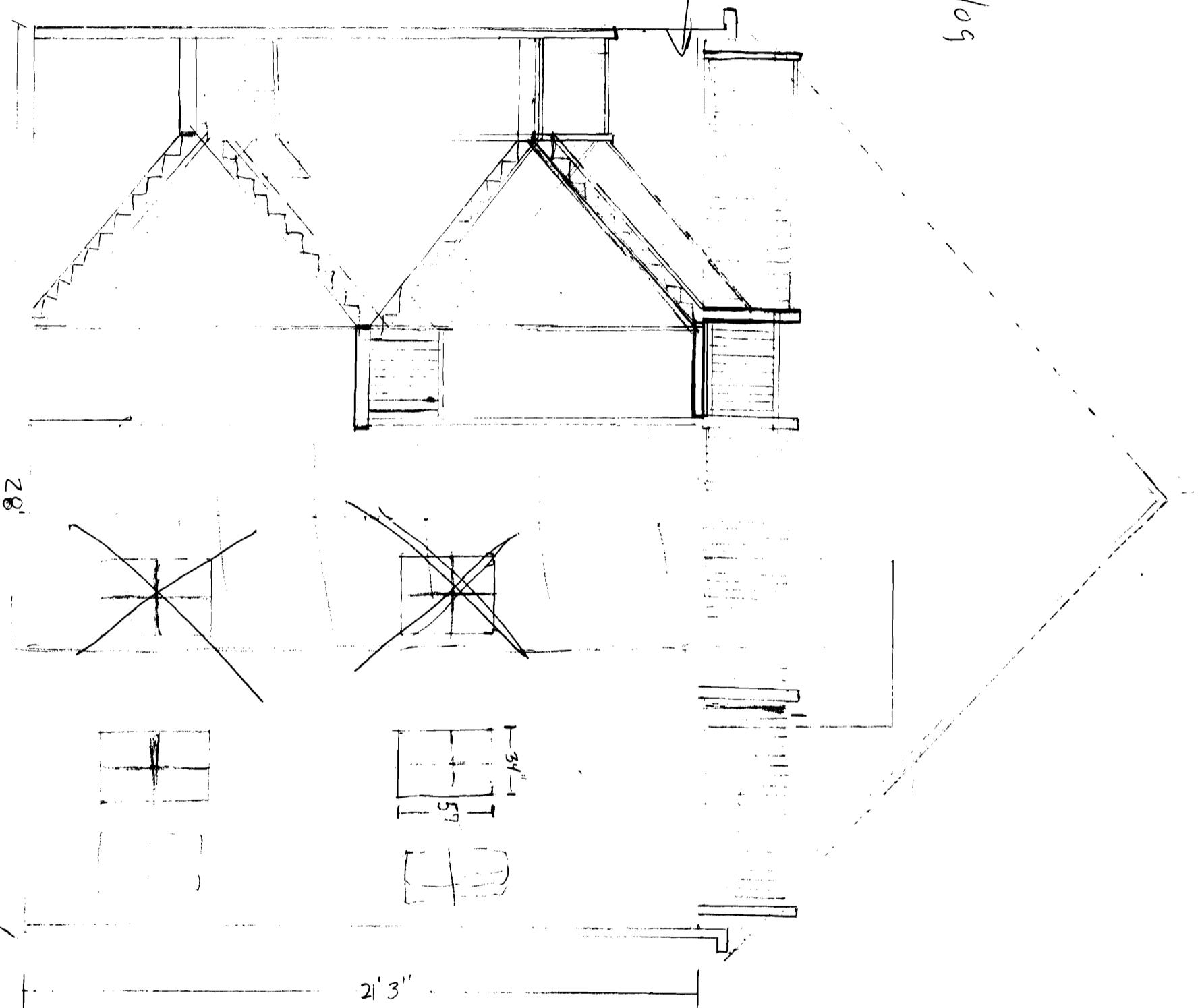
**STREET SCENE**

Uncovered stairs  
 shall be cleared of ice & snow

See Plot Plan 3/13/09

~~Egress~~ stairs to be  
 located 10' from  
 Right side line

\* Decking, RAILSINGS + TREADS TO BE  
 5/4" x 6" P.T. STRIPS  
 7" RAILS  
 11" TREADS  
 42' x 6" of AVAILABLE DECKING 34'-0"



FRAME IN 4 EGRESS DOORWAYS

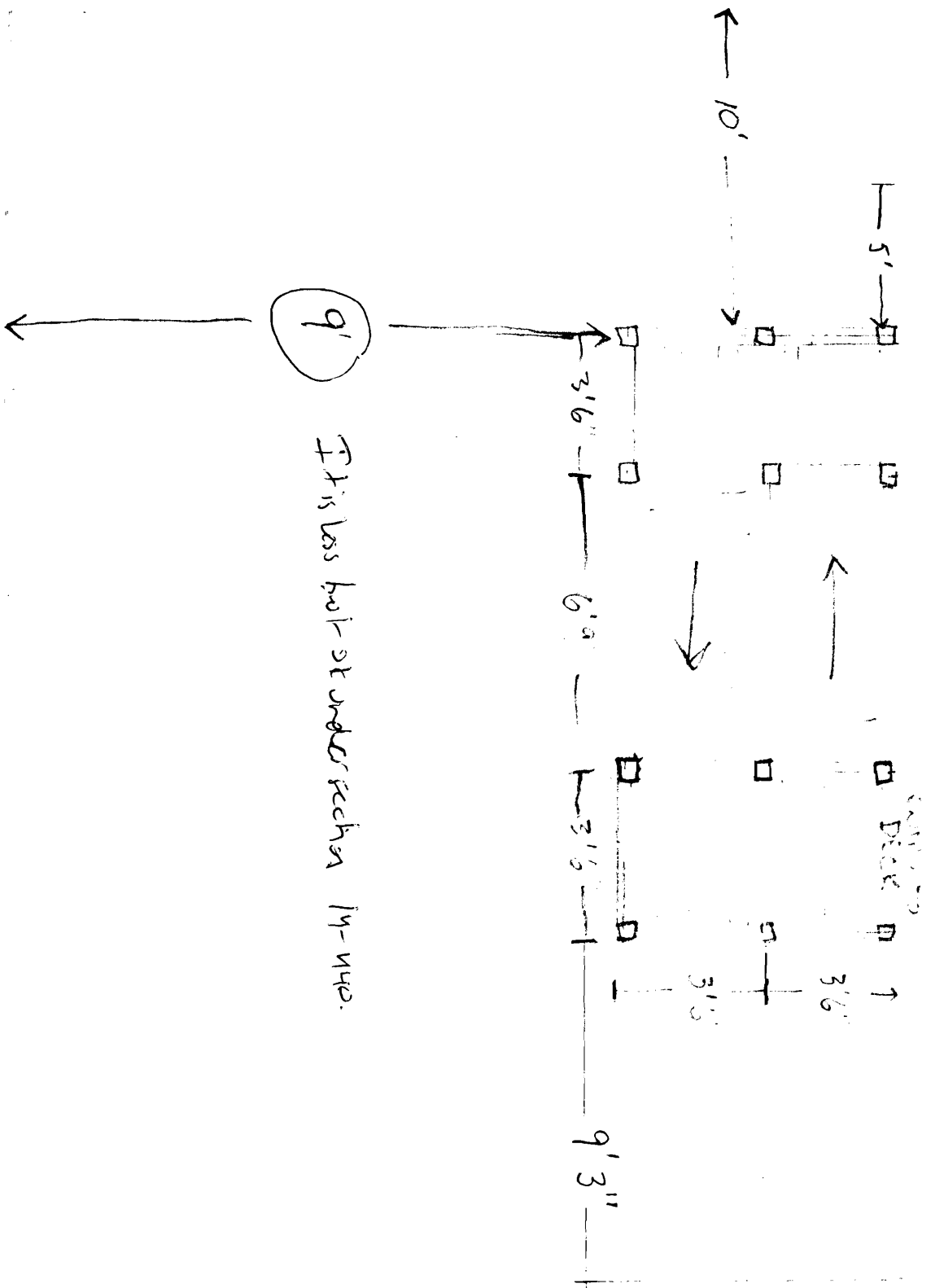
2 ON TOP 4 FOR  
 2 ON SECOND FLOOR

(3) 2x10 NAILS WITH 2" COR PERWOOD  
 IN BETWEEN  
 WITH KINGS STUD AND JACK STUD  
 ON EACH SIDE.

Revised

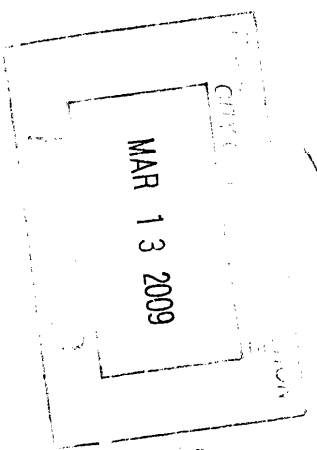
MAR 13 2009



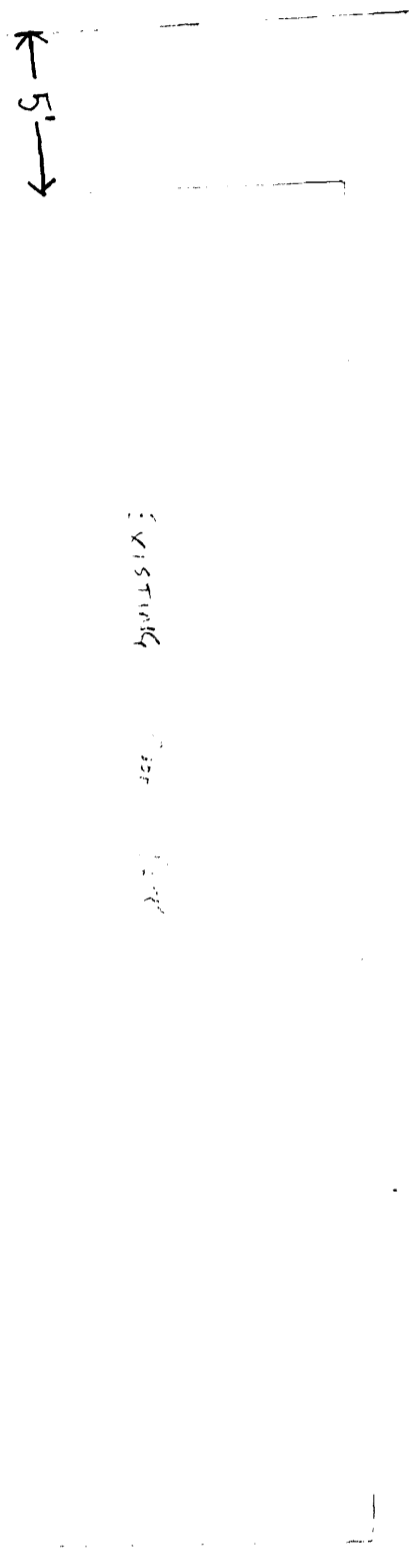


Proposed Zone  
50'

CURRENT

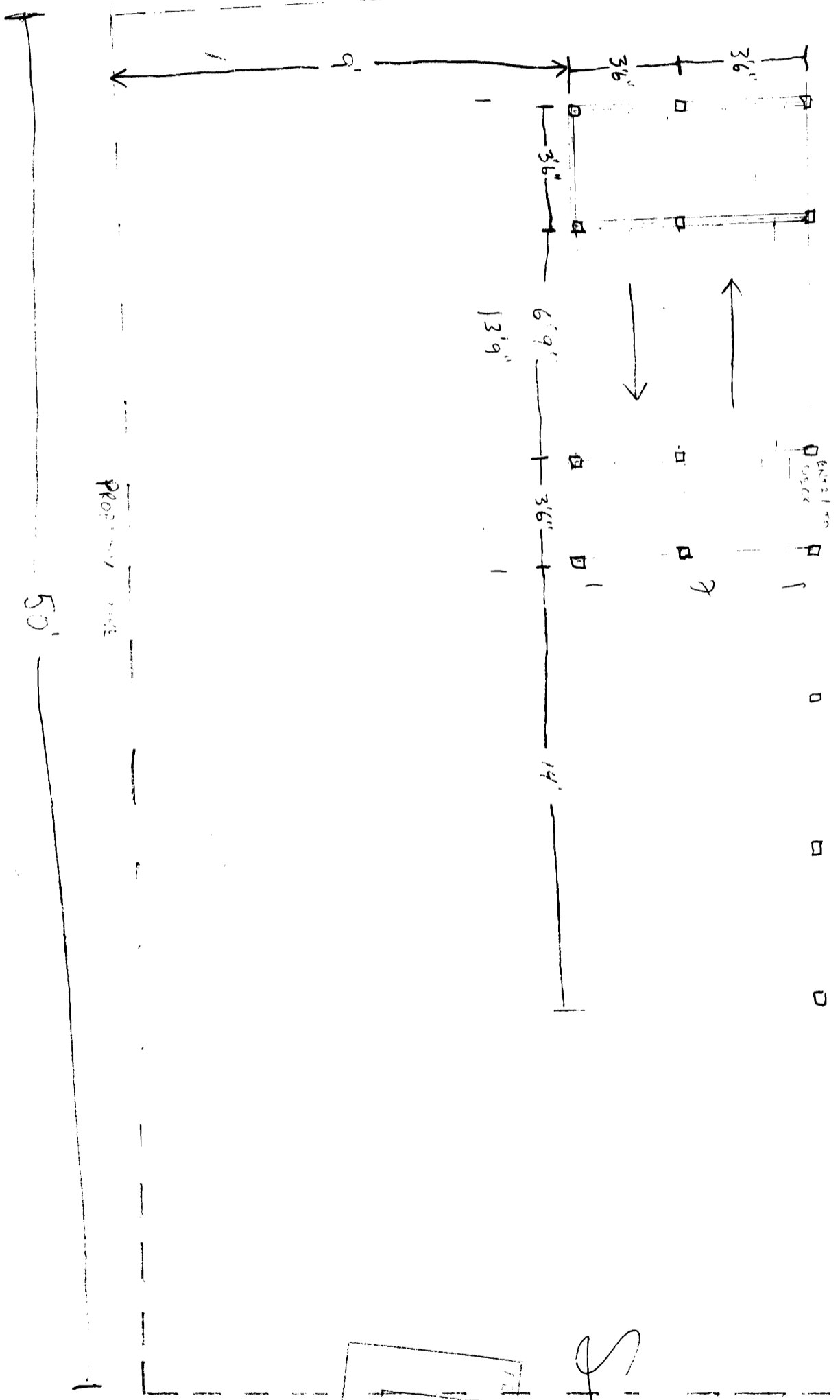


# Enlarged Plot Plan



## Pt

lot size - 4195  
 front setback 10' or more - N/A  
 rear setback - 20' - 11.5 9'  
 side setback - 10' min - 5 shown  
 - needs to be 10'  
 Search record plan (shown)  
 3/13/09  
 lot coverage - 55% = 2097.5 sq ft  
 - existing = 1808 sq ft  
 proposed 9625 7x13.75  
 190425 ok



See  
 Current

