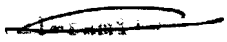
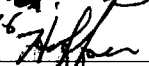


City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 88.0 Congress St. Portland 41		Owner: MAY 1 1998		Phone:		Permit No: 981411	
Owner Address:		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name:		Address:		Phone:		Permit Issued: DEC 15 1998	
Past Use: 		Proposed Use: S4000		COST OF WORK: \$ 1,500		PERMIT FEE: \$ 30.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Private Use Group: 21 Type 5/3 BOCA 96 Signature: 	
				Signature:		Signature:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: CBL:	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval	
				Signature:		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan map <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: 88		Date Applied For: December 11, 1998					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED
WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

December 11, 1998

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT



COMMENTS

2/16/00 Stopped by - owner not home, spoke w/ Tenant on 2nd Floor
 2 units - listed as single family - 3 meters, 2 mail boxes
 Looks like work is completed - will call JB

2-16-00 left message to call JB

3-1-00 left message to call - researched microfiche. This is a 2-Family JB

3/15/2000 Completed w/ exception of stairs AL

4/10/2003 completed M

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

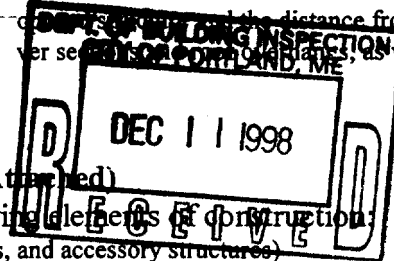
THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE

Tax Assessor's Chart, Block & Lot Number Chart# <u>014</u> Block# <u>5</u> Lot# <u>012</u>			Owner <u>BRADFORD POST</u>	Telephone# <u>761-9424</u>
Owner's Address. <u>20 EMERSON ST</u>		Lessee/Buyer's Name (If Applicable)		cost Of work: <u>\$1,500.00</u> Fee <u>\$30</u>
Proposed Project Description (Please be as specific as possible) <u>TEAR OFF OLD ROTTEN ROOF OFF EXISTING ONE STORY GARAGE. ADD 2ND STORY AND NEW ROOF AND NEW WINDOWS DOORS AND SIDING. Storage</u>				
Contractor's Name, Address & Telephone <u>BRADFORD POST - SAME AS ABOVE.</u>			Rec'd By: <u>[Signature]</u>	

lan) must include:

--- distance from
ver section of the plan, as we

ple Attached)
following elements of construction:
ings, and accessory structures)



Signature of applicant: <u>[Signature]</u>	Date: <u>12/7/98</u>
--	----------------------

BUILDING PERMIT REPORT

DATE: 15 Dec. 98 ADDRESS: 20 Emerson St. CBL 014-J-012
REASON FOR PERMIT: Replace roof on garage add 2nd story for storage.
BUILDING OWNER: B. Post
CONTRACTOR: ↑
PERMIT APPLICANT: ↑
USE GROUP B Private garage BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *8, *10, *26, *28, *29, *31, *32, *33

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". (Section 1203.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise. (Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special

knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it

~~exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1~~
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0

15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1

16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
In all bedrooms
- In each story with a dwelling unit, including basements

In addition to the required AC **primary** power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall be maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 **MRSA** refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

25. All requirements must be met before a final Certificate of Occupancy is issued,

- X 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)

- X 28. Please read and implement the attached Land Use-Zoning report requirements.

- X 29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.

30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.

- X 31. This building permit does not authorize any additional habitable space.

- X 32. If there is not a continuous support under the steel beam a design analysis must be submitted on this beam. This design must be prepared by a prof. engineer.

- X 33. The proposed window must meet the requirement of section 1014.6.3 of the Bldg. Code.

P. Samuel McGee, Building Inspector

cc: Lt. McDougall, PFD

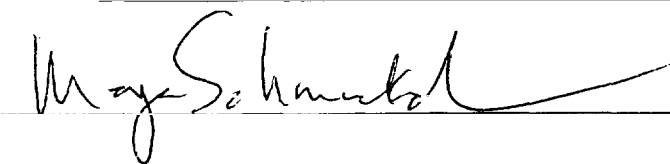
Marge Schmuckal, Zoning Administrator

LAND USE - ZONING REPORT

ADDRESS: 20 Emerson St. DATE: 12/14/98
REASON FOR PERMIT: replace roof on garage for 2nd floor storage
BUILDING OWNER: Bradford Post C-B-L: 14-J-12
PERMIT APPLICANT: owner
APPROVED: W. J. Conditus DENIED: _____
#2, #5, #9

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
- ② The footprint of the existing garage shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will **not** be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the _____ in place and in phases.
- ⑤ This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
- ⑨ This is **not** an approval for an additional dwelling unit. You **shall not** add any additional kitchen equipment, such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
10. Other requirements of condition _____



Marge Schmuckal, Zoning Administrator
City of Portland

Applicant: Bradford Post

Date: 12/14/98

Address: 20 Emerson St

C-B-L: 14-J-12

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-6

Interior or corner lot -

Proposed Use/Work -

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard - } existing legal nonconformity

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area -

3,600[±]

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

14-436 may not increase
more than 50% if nonconformity
lot size? Nonconforming setback

$20' \times 20' = 400'$

$9.5 \times 20 = 190' \rightarrow$ less than $\frac{1}{2}$
The floor below

MORTGAGE LOAN INSPECTION

Cumberland Title Company

P.O. Box 4843

Portland, ME 04112

1-207-774-1773

1-207-774-2278(fax)

Borrower(S): Bradford B. Post

St. No.: 00020

Street: Emerson St.

Town: Portland, ME

Source Deed Bk. 11412 Pg. 00235

CL No.: 012540

Job No.: CTC17-57.

Date: 6/9/98

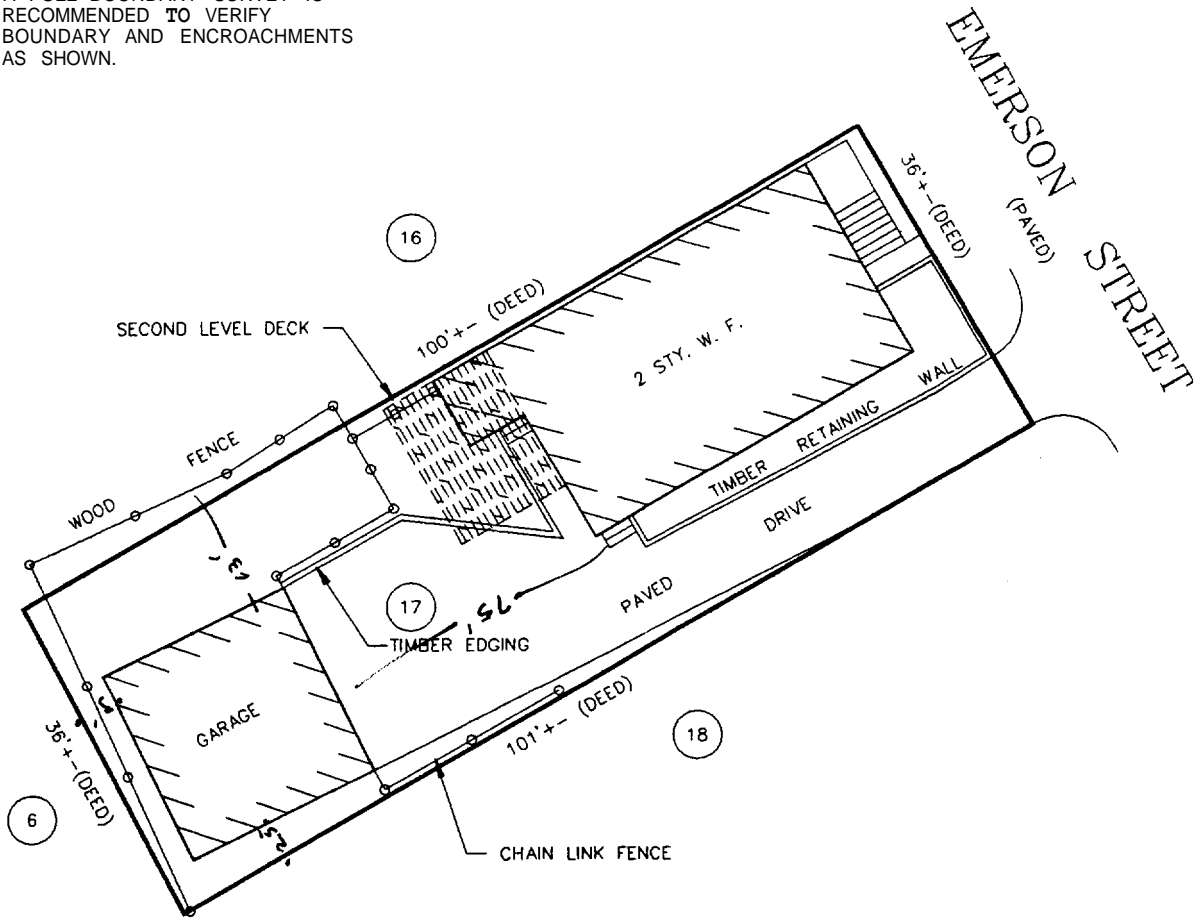
County: Cumberland

Bk. 00061 Pg. 400

Lot(S): 00017

Scale: 1" = 20'

NOTE: A FULL BOUNDARY SURVEY IS
RECOMMENDED TO VERIFY
BOUNDARY AND ENCROACHMENTS
AS SHOWN.



NOTE THIS IS NOT A BOUNDARY SURVEY. This plan is made for the purposes of determining that the improvements are within the apparent boundary lines. **THE PREPARER IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.**

CERTIFICATON: I hereby **certify** to *Peoples Heritage Savings Bank*, and its mortgage title insurer that **based** upon inspection made with reasonable certainty, that:

- a) this plan was made from an inspection of the site.
- b) there **ARE NO** apparent violations of municipal ordinances regarding building setbacks in effect at time of construction.
- c) the principal **structure(s)** located on the premises **ARE NOT** in a flood hazard zone as delineated on the **flood maps** used by the Federal Emergency Management Agency.

Bradford B. Post



BRADFORD B. POST & CO.
FINE HOME BUILDERS
Traditional Maine Craftsmanship

— FIRST FLOOR
WINDOW AND DOOR SCHEDULE —

3	3'-2" 4'-5"	DOUBLE HUNG
1	3'-0" 6'-8"	EXTERIOR DOOR
2	8'-0" 8'-0"	GARAGE DOOR