

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that ELIZABETH & MARGOLIS-PINEO Located At 22 EMERSON ST

Job ID: 2011-07-1694-SF

CBL: 014- J-010-001

2012-42999-AMEND

has permission to build a 10'-5" by 15'-4" Deck (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

  
**Code Enforcement Officer / Plan Reviewer**

05/15/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2011-07-1694-SF

Located At: 22 EMERSON ST

CBL: 014- J-010-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Since the original deck was legally nonconforming as to the rear setback, you have one (1) year to replace it in the same footprint (no expansions) at the same height. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year started at the time of removal.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Building**

1. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.
2. Frost protection must be installed per the enclosed detail as discussed w/owner/contractor (at least 4' from grade).
3. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
4. R502.5 Allowable girder spans. The allowable spans of girders fabricated of dimension lumber shall not exceed the values set forth in Tables R502.5(1) and R502.5(2).
5. Note: Finish grade to decking will be 7-3/4" or less; see attachment for ledger fastening schedule.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
  2. Close In Elec/Plmb/Frame prior to insulate or gypsum
  3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

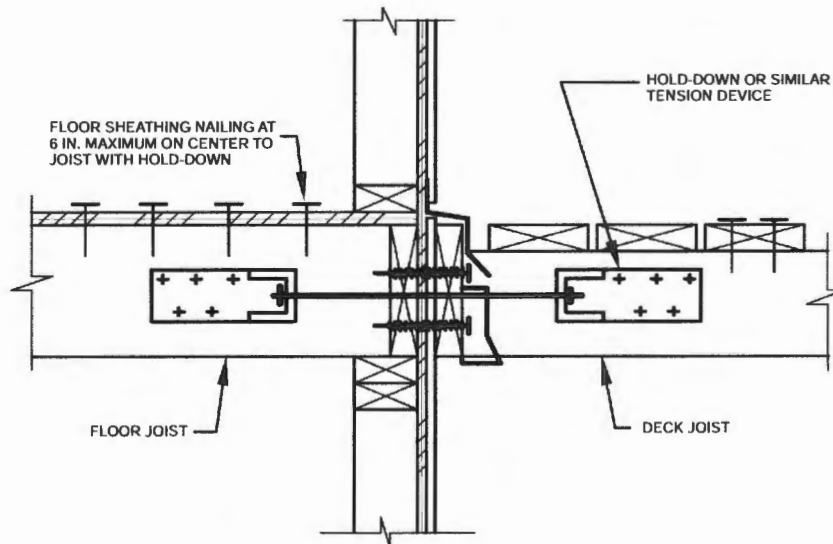
IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**TABLE R502.2.2.1**  
**FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER**  
**AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST<sup>c, f, g</sup>**  
 (Deck live load = 40 psf, deck dead load = 10 psf)

JOIST SPAN	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
<b>Connection details</b>	<b>On-center spacing of fasteners<sup>d, e</sup></b>						
1/2 inch diameter lag screw with 15/32 inch maximum sheathing <sup>a</sup>	30	23	18	15	13	11	10
1/2 inch diameter bolt with 15/32 inch maximum sheathing	36	36	34	29	24	21	19
1/2 inch diameter bolt with 15/32 inch maximum sheathing and 1/2 inch stacked washers <sup>b, h</sup>	36	36	29	24	21	18	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm. 1 pound per square foot = 0.0479 kPa.

- a. The tip of the lag screw shall fully extend beyond the inside face of the band joist.
- b. The maximum gap between the face of the ledger board and face of the wall sheathing shall be 1/2".
- c. Ledgers shall be flashed to prevent water from contacting the house band joist.
- d. Lag screws and bolts shall be staggered in accordance with Section R502.2.2.1.1.
- e. Deck ledger shall be minimum 2 x 8 pressure-preservative-treated No. 2 grade lumber, or other approved materials as established by standard engineering practice.
- f. When solid-sawn pressure-preservative-treated deck ledgers are attached to a minimum 1 inch thick engineered wood product (structural composite lumber, laminated veneer lumber or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.
- g. A minimum 1 x 9 1/2 Douglas Fir laminated veneer lumber rimboard shall be permitted in lieu of the 2-inch nominal band joist.
- h. Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch in thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.



For SI: 1 inch = 25.4 mm.

**FIGURE 502.2.2.3**  
**DECK ATTACHMENT FOR LATERAL LOADS**

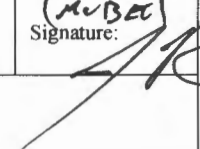
**R502.3 Allowable joist spans.** Spans for floor joists shall be in accordance with Tables R502.3.1(1) and R502.3.1(2). For other grades and species and for other loading conditions, refer to the AF&PA Span Tables for Joists and Rafters.

**R502.3.1 Sleeping areas and attic joists.** Table R502.3.1(1) shall be used to determine the maximum allowable span of floor joists that support sleeping areas and

attics that are accessed by means of a fixed stairway in accordance with Section R311.7 provided that the design live load does not exceed 30 pounds per square foot (1.44 kPa) and the design dead load does not exceed 20 pounds per square foot (0.96 kPa). The allowable span of ceiling joists that support attics used for limited storage or no storage shall be determined in accordance with Section R802.4.

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-07-1694-SF 2012-42999-AMEND	Date Applied: 4/18/2012	CBL: 014- J-010-001	
Location of Construction: 22 EMERSON ST	Owner Name: ELIZABETH & DAVID MARGOLIS-PINEO	Owner Address: PO BOX 10001  PORTLAND, ME 04104	Phone:  207-400-6695
Business Name:	Contractor Name: Papi & Romano	Contractor Address: PO BOX 1079 Portland ME 04104	Phone:  (207) 797-3381
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone:  R-6
Past Use:  New Single family home (Permit #2011-07-1694)	Proposed Use:  Same – new single family home – build 10.5' by 15' 4" rear deck partially in footprint of deck that was demolished	Cost of Work: 20000.00	CEO District:
		Fire Dept:  ___ Approved ___ Denied ___ N/A	Inspection: Use Group: R3 Type: SB SRC, 2009 (MUBEC) Signature: 
Proposed Project Description: build 10.5' x 15'4" deck		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	<b>Zoning Approval</b>		

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building Permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</li> </ol>	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Mirf <input type="checkbox"/> MM Date: <i>OK w/ cardy hand</i> <i>4/19/12 ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>ABM</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

**CITY OF PORTLAND, MAINE**

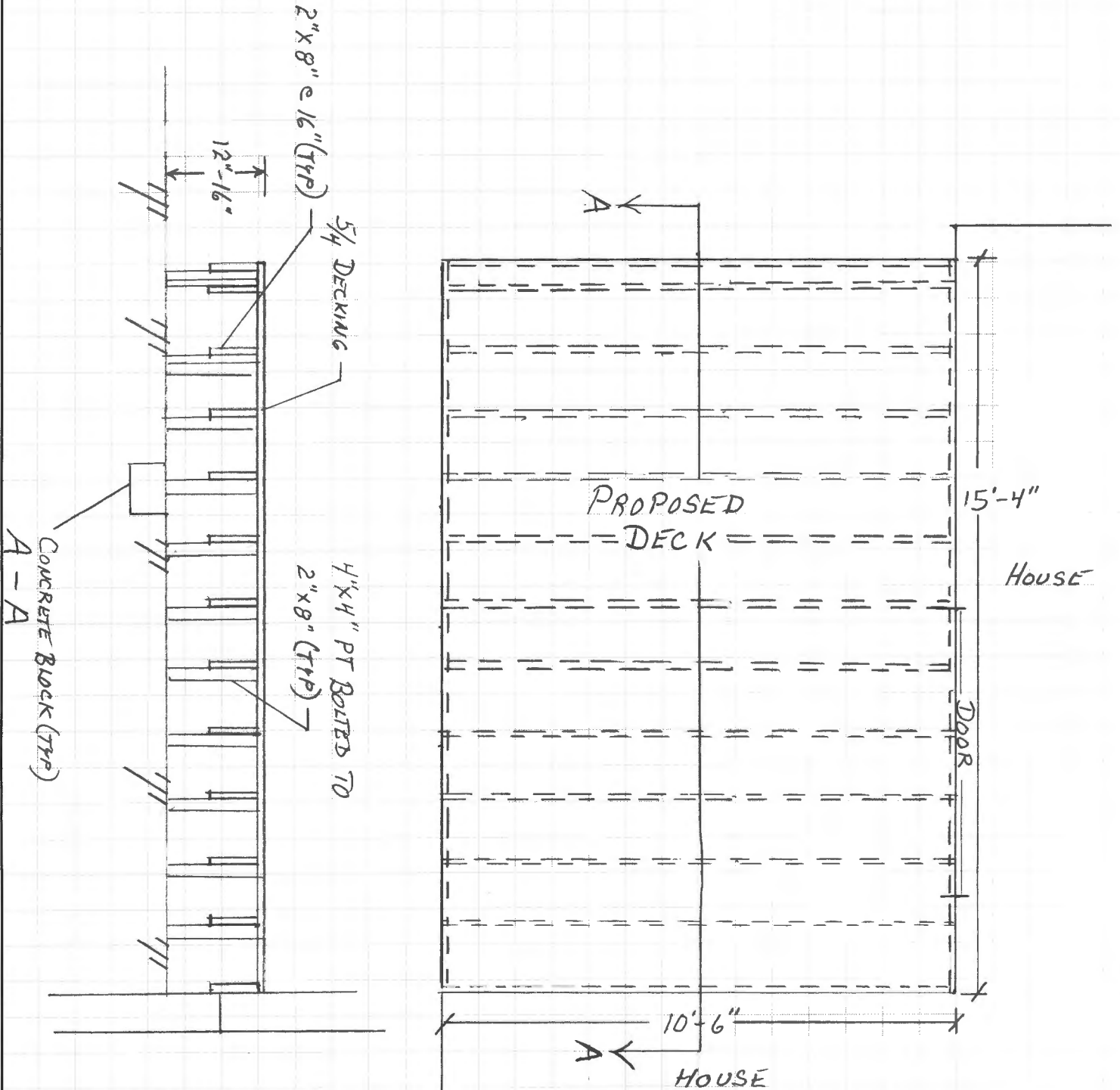
Department of Public Works  
Engineering Division

55 Portland Street, Portland, Maine 04101  
(207) 874-8846 Fax (207) 874-8852

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Project: MARGOLIS - PINED 22 EMERSON ST.  
Sheet No.: \_\_\_\_\_ Of \_\_\_\_\_  
Calculated By: \_\_\_\_\_ Date \_\_\_\_\_  
Checked By: \_\_\_\_\_ Date 4-18-12  
Scale: 1" = 3'

**PROPOSED DECK  
22 EMERSON ST.  
MARGOLIS - PINED**



**Jonathan Rioux - Re: 22 Emerson Street**

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**From:** Rick Romano <rickromano@maine.rr.com>  
**To:** Jonathan Rioux <JRIOUX@portlandmaine.gov>  
**Date:** 5/15/2012 10:04 AM  
**Subject:** Re: 22 Emerson Street  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>, Wayne Trombley <wayne@papi...

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Hi Jonathan ,

The following information is being submitted as requested for the deck @ 22 Emerson Street in Portland . Margolis - Pineo ( Owners )

- concrete filed tubes ( 2 ) will be 8" Preformed " Big Foot " sonotubes
- 6" x 6" nominal posts ( 2 ) will be secured to the sonotubes and deck framing with 6" x 6" zmax post anchors
- sonotubes will be spaced approx . 7' -9" apart ( centers )
- the deck framing is 2" x 10" nominal pressure treated pine , spaced 16" on center
- the ledger is a 2" x 10" nominal pressure treated pine anchored with 2 rows of 4" GRK Structural Anchors @ 12" staggered centers
- the deck is flashed at its intersection to the house ( 2 sides ) , lead flashing 6" up the sidewalls and lapping the ledger
- there are no girders
- as noted the joist size is 2" x 10" nominal pressure treated pine , spaced 16" on center
- the joists are hung with 2" x 10" zmax joist hangers and fastened with Galvanized Tico Joist Fasteners
- the decking is a 1" x 5-½" actual size composite decking
- the deck is 8" off finish grade , no handrails , guardrails or stairs required

I hope this helps you out and includes necessary information for the permit process . Please confirm .

Many Thanks , Rick Romano



**Rick Romano**  
**Papi & Romano Builders Inc.**  
**P.O. Box 1079**  
**Portland, Maine 04104**

Telephone : 207-797-3381  
Fax : 207-797-5313  
Pager : 207-750-3240  
Cell : 207-650-3670

[rick@papiandromanobuilders.com](mailto:rick@papiandromanobuilders.com)  
[www.Papiandromanobuilders.com](http://www.Papiandromanobuilders.com)

On May 14, 2012, at 3:36 PM, Jonathan Rioux wrote:

Mr. Romano,

Can you provide a response to the deck guideline questions, see below? The permit is missing info. i.e. beam sizing/ spans: frost protection (if connected to the structure), ledger connection, and steps.

<http://www.portlandmaine.gov/planning/deckguidelines.pdf>

If it helps you can schedule a quick mtg. @ 207.874.8703 and we can mark/ issue the permit within that time frame, JGR

Jonathan Rioux  
Code Enforcement Officer/ Plan Reviewer

City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101  
Office: 207.874.8702  
Support Staff: 207.874.8703  
[jrioux@portlandmaine.gov](mailto:jrioux@portlandmaine.gov)



**Jonathan Rioux - Re: 22 Emerson Street**

---

**From:** Rick Romano <rickromano@maine.rr.com>  
**To:** Jonathan Rioux <JRIOUX@portlandmaine.gov>  
**Date:** 5/15/2012 11:14 AM  
**Subject:** Re: 22 Emerson Street  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>

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Jonathan the rim joists are doubled and the finish grade to finish decking will be 7-<sup>3</sup>/<sub>4</sub>" or less .  
 Landscaping is not within our work scope as it will be undertaken by Owner , rough grade to finish decking will be greater than 7-<sup>3</sup>/<sub>4</sub>" until landscaping is completed



Rick Romano  
 Papi & Romano Builders Inc.  
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 Portland , Maine 04104

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On May 15, 2012, at 10:35 AM, Jonathan Rioux wrote:

Rick,

Are you doubling or tripling the 2 x 10 inch Beams between the "Sonatubes" spaced 7 foot 9 inches apart? Is the decking to grade going to be at or below 7 3/4 inch vs 8 inches?

Jonathan Rioux  
 Code Enforcement Officer/ Plan Reviewer

City of Portland  
 Planning and Urban Development Department  
 Inspection Services Division  
 389 Congress St. Rm 315  
 Portland, ME 04101  
 Office: 207.874.8702  
 Support Staff: 207.874.8703  
[jrioux@portlandmaine.gov](mailto:jrioux@portlandmaine.gov)

>>> Rick Romano <[rickromano@maine.rr.com](mailto:rickromano@maine.rr.com)> 5/15/2012 10:04 AM >>>

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Many Thanks , Rick Romano  
<Mail Attachment.jpeg>

**Rick Romano**  
**Papi & Romano Builders Inc.**  
**P.O. Box 1079**  
**Portland , Maine 04104**

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[www.Papiandromanobuilder.com](http://www.Papiandromanobuilder.com)

2-6

demo permit issued 6/20/12

Entered 4/18/12 (833)

# General Building Permit Application



Permit 2011-07-1694 - SF Child 202-42999  
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>22 EMERSON STREET</u>		
Total Square Footage of Proposed Structure/Area <u>1,500</u>	Square Footage of Lot <u>3780 S.F.</u>	Number of Stories <u>TWO</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>014 - J - 010 - 001</u>	Applicant: (must be owner, lessee or buyer) Name <u>DAVID MARGOLIS - PINEO</u> Address <u>P.O. Box 10001</u> City, State & Zip <u>PORTLAND, ME 04104</u>	Telephone: <u>207 - 400-6695</u>
Lessee/DBA  <b>RECEIVED APR 18 2012 Dept. of Building Inspections City of Portland Maine</b>	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$2,000</u> C of O Fee: <u>\$</u> Historic Review: <u>\$</u> Planning Amin.: <u>\$4</u>  Total Fee: <u>\$ 40</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>ONE</u> If vacant, what was the previous use? <u>SINGLE FAMILY</u> Proposed Specific use: <u>RESIDENTIAL</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>ADD DECK TO REAR OF PROPERTY</u> <u>10.6" X <del>10.6"</del> 15'4"</u>		
Contractor's name: <u>PAPI &amp; ROMANO</u>		Email: <u>RICKROMANO.ME.COM</u>
Address: <u>P.O. Box 1079</u>		<u>RICKROMANO.MAINE.RR.COM</u>
City, State & Zip <u>PORTLAND, ME 04104</u>		Telephone: <u>797-3381</u>
Who should we contact when the permit is ready: <u>DAVID MARGOLIS - PINEO</u>		Telephone: <u>400-6695</u>
Mailing address: <u>P.O. Box 10001 PORTLAND 04104</u>		

**Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: David Margolis-Pineo Date: 4-4-12

**This is not a permit; you may not commence ANY work until the permit is issued**



# PORTLAND MAINE

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## Receipts Details:

**Tender Information:** Check , Check Number: 306  
**Tender Amount:** 40.00

## Receipt Header:

**Cashier Id:** bsaucier  
**Receipt Date:** 4/18/2012  
**Receipt Number:** 43000

## Receipt Details:

Referance ID:	6143	Fee Type:	UI-MI
Receipt Number:	0	Payment Date:	
Transaction Amount:	40.00	Charge Amount:	40.00
Job ID: Job ID: 2011-07-1694-SF - New Single Family			
Additional Comments: 22 Emerson			

**Thank You for your Payment!**

NOW OR FORMERLY  
JAMES HAYMAN  
JEANNE HAYMAN  
BOOK 19446, PAGE 287  
25 HOWARD STREET  
(LOT 8 SEE NOTE 2)

**RECEIVED**

APR 18 2012

Dept. of Building Inspections  
City of Portland Maine

NOW OR FORMERLY  
JON PETRUSCHKE  
JASA PORCELLO  
BOOK 23330, PAGE 237  
21 HOWARD STREET  
(LOT 7 SEE NOTE 2)

12x11 = 1m2  
225x  
23x39 = 690  
5x6 = 30  
412

NOW OR FORMERLY  
DAVID M. HALSTEAD II  
SIMONE HALSTEAD  
DAVID M. HALSTEAD  
PATRICIA M. HALSTEAD  
BOOK 27473, PAGE 207  
22 EMERSON STREET  
14-J-8  
(LOT 15 SEE NOTE 2)

NOW OR FORMERLY  
SHELIA JACKSON  
BOOK 16557, PAGE 216  
20 EMERSON STREET  
(LOT 17 SEE NOTE 2)

CONTRACTOR TO  
INSTALL ONE  
DECIDUOUS TR

EMERSON  
(Accept

AREA BENCH MARK  
NAIL IN BRICK SIDEWALK  
ELEVATION = 123.47  
NGVD 1929 DATUM

PINEO DATED OCTOBER 26, 2007

WILLIAM NOBLE, AND CHARLES B. STROUT",  
DED IN THE SUPREME JUDICIAL COURT  
IVES IN AUGUSTA, MAINE.

ING.

