

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

PERMIT ISSUED

Permit Number: 060060

FEB 13 2009

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that TURNER EASTERN PROMPT NADE LLC /Toothacker, Cr

has permission to Renovations, add full third floor to each building, increase livable units for each building from four to five

AT 7 TURNER ST 014 1013001

provided that the person or persons in firm or possession of this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is opened or occupied. Closed-in areas. FOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. Greg Casper 1-16-09  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
DepartmentName

*Al J. Cramer* 1/19/06  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Issue Date:	06/06/06	CEB:	014 ID13001
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<b>Location of Construction:</b> 7 TURNER ST	<b>Owner Name:</b> TURNER EASTERN PROMENAD	<b>Owner Address:</b> 200 HIGH ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Toothacker, Crandall	<b>Contractor Address:</b> 200 High Street Portland	<b>Phone:</b> 2072526264
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Zone:</b> R-2	

<b>Past Use:</b> Multi-Family <i>8 DU existing (4 each in 2 Bldgs)</i>	<b>Proposed Use:</b> Multi-Family- Renovations, add full third floor to each building, increase living units for each building from four to five <i>TOTAL = 10 DU (5 each in 2 Bldgs)</i>	<b>Permit Fee:</b> \$1,530.00	<b>Cost of Work:</b> \$151,000.00	<b>CEO District:</b> 1	
<b>Proposed Project Description:</b> Renovations, add full third floor to each building, increase living units for each building from four to five		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>sprinkler Req to 101 # 30</i>	<b>INSPECTION:</b> Use Group <i>R2</i> Type: <i>5B</i> <i>2/9/06</i> Signature: <i>[Signature]</i>		
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____			

<b>Permit Taken By:</b> Idobson	<b>Date Applied For:</b> 01/11/2006	<b>Zoning Approval</b>		
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<p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>PAvelid zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2005-0276</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>8/24/06</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner ones real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>7 and 11 Turner Street</u>		
Total Square Footage of Proposed Structure <u>#7 - 4,174#</u> <u>*wasted space #11 - 4,260*</u>	Square Footage of Lot <u>14,444 sf</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>14            I            13</u>	Owner: <u>Crandall Toothaker</u>	Telephone: <u>252-6264</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Barba + Wheelock Architecture</u> <u>for Crandall Toothaker</u> <u>500 Congress Street</u> <u>Portland, ME 04101</u> <u>772.12722</u>	cost Of Work: <u>\$151,000.00</u> Fee: \$ <u>1380.00</u> C of O Fee: \$ <u>150.00</u> <span style="float: right;">75x2</span>
<u>Re</u>		
Contractor's name, address & telephone: <u>Crandall Toothaker owner</u> <u>Turner Eastern Prom LLC</u>		
Who should we contact when the permit is ready: <u>Crandall Toothaker</u>		
Mailing address: <u>200 High Street</u> <u>Portland, me 04101</u>		Phone: <u>252-6264</u>

**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>1/4/2006</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**

Applicant: BARBA Arch.  
Address: 7<sup>1/2</sup> Turner St

Date: 11/17/06 #06-0060  
C-B-L: 14-I-03

CHECK-LIST AGAINST ZONING ORDINANCE

- Date - Existing Dev. - 2 bldgs on lot (4 DU each) Bldg
- Zone Location - R-6
- Interior (or corner lot) - Turner St = E Prom
- Proposed Use/Work - to change the use from 8 total to 10 total
- Sewage Disposal - City with additions to each Bldg → going up on existing footprint using 14-436 80% increase of 45.5% shown
- Lot Street Frontage - 40' - 50' shown
- Front Yard - 10' min - 10' shown
- Rear Yard - 20' min - 20' shown
- Side Yard - 10' min - 10' being shown
- Projections - removing projections in the required setbacks
- Width of Lot - 50' min - 100' + shown
- Height - 45' max - 33' setback
- Lot Area - 14,838 sq ft given
- Lot Coverage/Impervious Surface - 50% allowed - ok
- Area per Family - 1000 sq ft of Land Area per DU (8 DU already existing)
- Off-street Parking - 8 pkg spaces for existing + 4 (2 ea New DU) req = 12 - 12 pkg sp. shown
- Loading Bays - N/A
- Site Plan - # 2005-0276
- Shoreland Zoning/Stream Protection - N/A
- Flood Plains - Panel 1A - Zone C



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04 101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: Nancy L. Barba, Barba + Wheelock Architecture

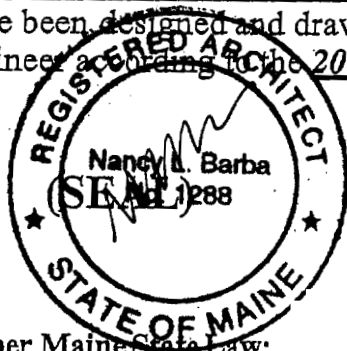
RE: Certificate of Design

DATE: 2/1/2006

These plans and/ or specifications covering construction work on:

7 and 11 Turner Street, Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Signature: \_\_\_\_\_

As per Maine State Law:

\$50,000.00 or more in **new** construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Firm: Barba + Wheelock

Address: 500 Congress Street  
Portland, ME 04101



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: \* Nancy L. Barba  
Address of Project: ? and 11 Turner Str & A-  
Nature of Project: Demolition and additions  
7 and 11 Turner Street

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: \_\_\_\_\_

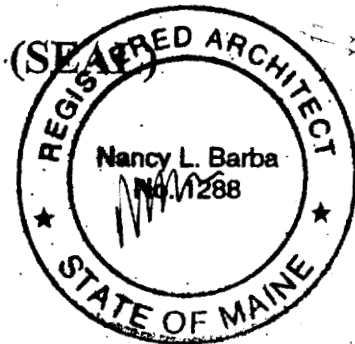
Title: \_\_\_\_\_

Firm: Barba + Wheeler

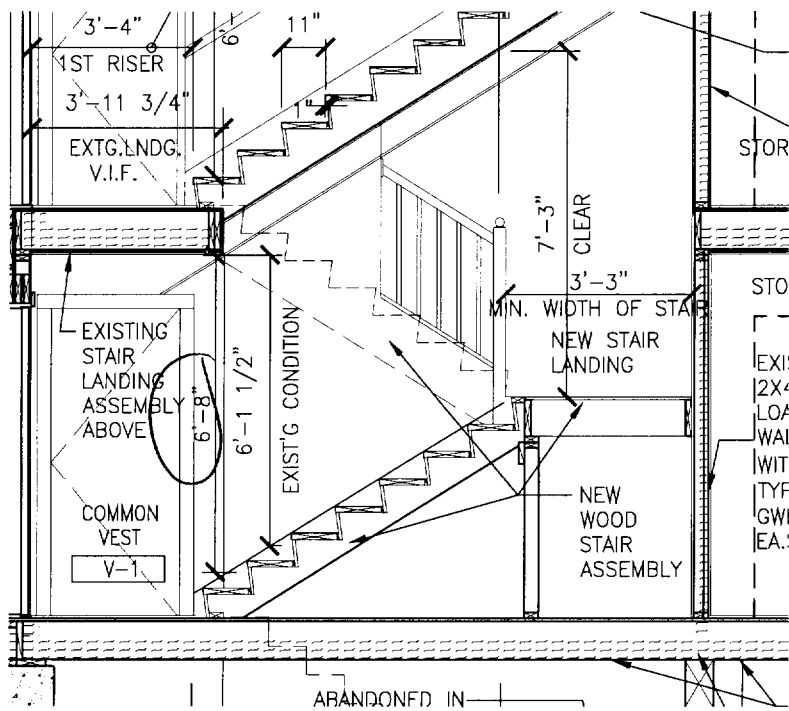
Address: 500 Congress Street

Portland, ME 04101

Phone: 207.772.2722



**NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.**



RECEIVED  
 2/8/06  
*[Handwritten Signature]*

FROM DESIGNER: Price Structural Engineers Inc  
 DATE: 2/1/06  
 Job Name: Toothaker  
 Address of Construction: 7, 11 Turner St. Portland

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) Residential  
 Type of Construction Wood Frame

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC \_\_\_\_\_  
 Is the Structure mixed use? \_\_\_\_\_ if yes, separated or non separated (see Section 302.3) \_\_\_\_\_  
 Supervisory alarm system? \_\_\_\_\_ Geotechnical/Soil report required? (See Section 1802.2) No

STRUCTURAL DESIGN CALCULATIONS

— Submitted for all structural members (1003.1, 1003.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1608)

Uniformly distributed floor live loads (703.2.1, 1607)

Floor Area Use	Loads Shown
<u>Attic</u>	<u>No Storage</u>
<u>Floor</u>	<u>40 psf</u>
<u>Bedroom</u>	<u>30 psf</u>

— Live load reduction (1609.1.1, 1607.6, 1607.10)  
— Roof live loads (1609.1.2, 1607.11)  
— Roof snow loads (703.2.2, 1608)  
50 psf Ground snow load,  $P_g$  (1608.2)  
39 psf If  $P_g > 10$  psf, flat-roof snow load,  $P_f$  (1608.3)  
1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$  (Table 1608.3.1)  
1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1608.6)  
1.1 Roof thermal factor,  $C_t$  (Table 1608.6.2)  
39 psf Sloped roof snowload,  $P_s$  (1608.4)

Wind loads (1609.1.4, 1609)

Low Rise Designation utilized (1609.1.1, 1609.1.2)  
100 mph Basic wind speed (1609.3)  
1.0 Building category and wind importance factor,  $I_w$  (Table 1604.6, 16.10.5)  
C Wind exposure category (1609.4)  
+/- 0.18 Internal pressure coefficient (1609.5)  
40 psf Component and cladding pressures (1609.1.1, 1609.5.2.2)  
30 psf Main force wind pressures (703.1.1, 1609.5.2.1)

B Seismic design category (1612.8)  
Shear wall Basic seismic-force-resisting system (Table 1617.6.2)  
6/4 Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (Table 1617.6.3)  
Equiv. Lat. Force Analysis procedure (1619.6, 1617.5)  
0.9W Design base shear (1617.4, 1617.5.1)

Flood loads (1609.1.6, 1612)

— Flood hazard area (1612.3)  
— Elevation of structure

Other loads

— Concentrated loads (1607.A)  
Self-wgt Partition loads (1607.5)  
— Impact loads (1607.8)  
— Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Earthquake design data (1609.1.5, 1614-1623)

Equiv. Lat Force Design option utilized (1614.1)  
1 Seismic use group ("Category") (Table 1624.5, 1616.2)  
-28/-17 Spectral response coefficients  $S_{DS}$  &  $S_{D1}$  (1615.1)  
C Site class (1616.1.6)



From: Marge Schmuckal  
To: Jay Reynolds  
Date: 1/18/2006 12:36:19 PM  
Subject: 7-11 Turner Street

Jay,

I have reviewed this site plan proposal. The proposal is meeting the R-6 zone requirements and the requirements of 14-436 for the requested upward expansion on the existing footprints. However, I would like the parking to be specifically shown on the plans. I did receive a reduced copy from you at our site plan review meeting. I understand that this plan will be revised and resubmitted. I can finalize my sign-off when I receive that plan.

Thanks,  
Marge

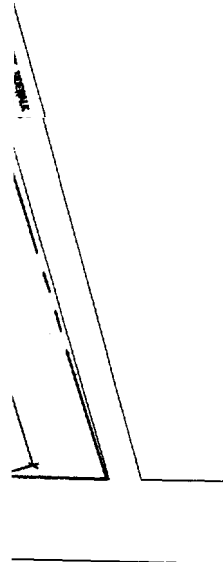
JARJA-WHITE LOCK

ARCHITECTURE  
PRESERVATION  
DESIGN

500 CONGRESS STREET  
PORTLAND, ME 04101  
TEL. 207.772-2722

TOOTHAKER (TURNER ST.)  
PORTLAND, ME

1/18/06



Title:

KEY/SITE PLAN

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

Project No: 200506

Date: 3 JANUARY 2006

Revisions:

JAN 18 2006

RECEIVED

Issued For: CONSTRUCTION

Drawing No:

G1.1



PLACEMENT MARK

Scale

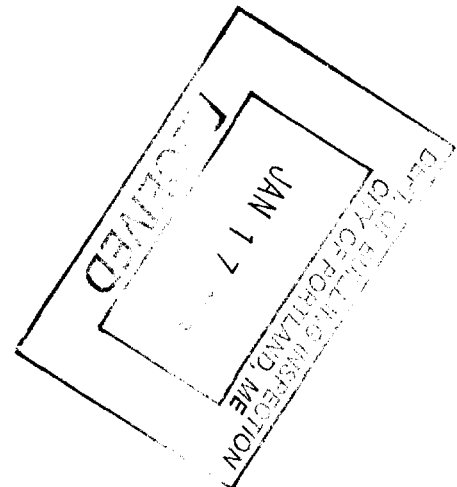
**ARCHITECTURE  
PRESERVATION  
DESIGN**

Date: 11 January 2006  
To: Lannie Dodson  
From: Robin Tannenbaum  
Re: Budding Permit Application for 7 and 11 Turner Street

Enclosed:

Please enclose the following Building Code Summary with the submission materials for 7 and 11 Turner Street that I dropped off earlier today.

Thank you.





<b>Location of Construction:</b> 7 TURNER ST	<b>Owner Name:</b> TURNER EASTERN PROMENAD	<b>Owner Address:</b> 200 HIGH ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Toothacker, Crandall	<b>Contractor Address:</b> 200 High Street Portland	<b>Phone</b> (207) 252-6264
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	
2) A sewer capacity letter shall be obtained prior to issuance of a building permit.			
<b>Comments:</b> 1/27/2006-mjn: Left a message with Nancy Barbe, have numerous questions on this project.			

**ARCHITECTURE  
PRESERVATION  
DESIGN**

Date: 11 January 2006  
To: Lannie Dodson  
From: Robin Tannenbaum  
Re: Buildmg Permit Application for 7 and 11 Turner Street  
Enclosed: Provided by Northeast Civil Solutions (24x36)  
Site Survey, August 23, 2005

Provided by Barba + Wheelock Architecture Preservation and Design (24x36)

G1.0 Title Sheet  
G1.1 Key/Site Plan  
A1.0 Basement Plan – 7 Turner  
A1.1 1<sup>st</sup> Floor Plan – 7 Turner  
A1.2 2<sup>nd</sup> Floor Plan – 7 Turner  
A1.3 3<sup>rd</sup> Floor Plan – 7 Turner  
A1.4 Basement Plan – 11 Turner  
A1.5 1<sup>st</sup> Floor Plan – 11 Turner  
A1.5 2<sup>nd</sup> Floor Plan – 11 Turner  
A1.5 3<sup>rd</sup> Floor Plan – 11 Turner  
A2.0 Budding Elevations – 7 Turner  
A2.1 Budding Elevations – 7 Turner  
A2.2 Building Elevations – 11 Turner  
A2.3 Budding Elevations – 11 Turner  
A3.0 Building Sections – 7 Turner  
A3.1 Building Sections – 11 Turner  
A7.0 Door and Window Schedules

1 CD containing PDF files of the above drawings (Please note that the door and window schedules are separate documents, and are not embedded in the PDF files of the drawings)

Structural Details from David Price, Structural Engineer

**Comments:**

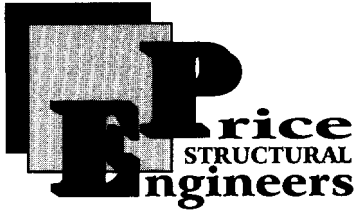
On behalf of our client Crandall Toothaker, I am pleased to submit this Building Permit Application for renovations to 7 and 11 Turner Street. The changes to these properties are limited primarily to adding a full habitable third floor to each of the buildings and increasing the number of living units in each from four to five. A Site Plan application was submitted to the Planning Division on December 29, 2005 and is currently under review. Thank you for your assistance in preparing this submittal. We look forward to hearing back from you about the permit.

**From:** Marge Schmuckal  
**To:** Jay Reynolds  
**Date:** 1/19/2006 3:24:33 PM  
**Subject:** 7-11 Turner St

Jay,

I received the revised parking plan showing 12 parking spaces. This plan is ok for zoning. As I noticed to you previously, the rest of the R-6 zoning is being met also.

Marge



75 Farms Edge Road  
North Yarmouth, ME 04097  
Tel: 207-846-0099  
Fax: 207-846-1633  
E-Mail: PriceEngrs@aol.com

**TOOTHAKER APARTMENTS  
#7 AND #11 TURNER STREET  
Portland Maine**

**STRUCTURAL DETAILS**

**PSE Project No. 122-05**  
Specifications: Pages 1-11  
Plans: Sheets 1 - 5  
Framing Details: S1 - S28  
Foundation Details: F1 - F7

Prepared for:

**BARBA + WHEELLOCK.**  
c/o Nancy Barba  
500 Congress Street  
Portland, ME 04101  
Tel: (207) 772-2722  
Fax: (207) 772-3667

Prepared by:

**David A. Price, P.E.**  
Price Structural Engineers, Inc.  
75 Farms Edge Road  
North Yarmouth, ME 04097  
Tel: (207) 846-0099  
Fax: (207) 846-1633

December 29, 2005

*Not  
on  
PDF.*

