

244-248 EASTERN PROMENADE

SHANK BILKIN  
Full cut # 020H - 1/2 cut # 0202H - 1/4 cut # 031H - Full cut

**CERTIFICATE OF APPROVAL  
FOR INTERNAL PLUMBING**

THE TOWN/CITY OF Porter

TOWN/CITY CODE 05070 LPI NUMBER 00733 DATE ISSUED 2 13 82 Certificate of App. Number 62039 IC  
Month Day Year

Installer's Name Robert [unclear] F.I.M.J. [unclear] Installer Code 2  
Last Name

Owner Robert [unclear]  
Last Name

Address 246 [unclear]  
St/Lot Number Street, Road Name Subdivision  
(Location where plumbing was done and inspected)

1. Owner  
2. Licensed Master Plumber  
3. Licensed Oil Burnerman  
4. Employee of Public Utility  
5. Manufactured Housing Dealer  
6. Manufactured Housing Mechanic  
7. Limited License

THE INTERNAL PLUMBING INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN TESTED IN MY PRESENCE, FOUND TO BE FREE FROM LEAKS, AND WAS INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE PLUMBING RULES.

**OWNER'S COPY**

Signature of LPI [Signature]  
 Date Inspected MAR 9 1982

**INTERNAL PLUMBING PERMIT FOR THE TOWN/CITY OF**

Town/City Code 05070 LPI Number 00733 Date Issued 2 13 82 INSTALLER'S License No. 62039 IP  
Month Day Year

Address of Where Plumbing Is Done 246 [unclear] Installer Code 2 PERMIT NUMBER  
St/Lot Number Street/Road Name Subdivision

Name of Owner [unclear] F.I.M.J. [unclear] Mailing Address [unclear] Zip Code [unclear]  
Last Name

Type of Construction	1. New 2. Remodeling	3. Addition 4. Remodeling & Addition	5. Replacement of Hot Water Heater 6. Hook-up of Mobile Home	7. Hook-up of Modular Home 8. Other (Specify) <u>7</u>
Plumbing To Serve	1. Single (Res) 2. Multi-Fam(Res)	3. Mobile Home 4. Modular Home	5. Commercial 6. School	7. Other (Specify) <u>5</u>
Number of Fixtures or Hook-Ups	Sink(s) <u>2</u> Toilet(s) <u>1</u> Bathtub(s) <u>2</u> Lavatory(s) <u>1</u> Shower(s) <u>1</u> Urinal(s) <u>1</u>	Clothes Washer(s) <u>1</u> Dish-Washer(s) <u>1</u> Hot Water Heater(s) <u>1</u> Floor Drains(s) <u>1</u> Hook-Up(s) <u>1</u>		

**TOWN'S COPY**

**IMPORTANT: Note the following conditions**  
 1. This Permit is non transferable to another person or party.  
 2. If construction has not started within 6 months from the Date of Issue, this Permit becomes invalid.

Fixture Fee 12.00  
 Hook Up Fee 00.00  
 Total Fee 12.00  
 If Double Fee Check Box

Dept. of Human Services  
 Div. of Health Engineering

Signature of LPI \_\_\_\_\_



FILL IN AND SIGN WITH INK  
APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine

PERMIT ISSUED  
0781 AUG 15 1974  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 246 Eastern Promenade of Building Res. No. Stories 2 New Building Existing "  
Name and address of owner of appliance Mrs. Esther Albert 119 Morning St.  
Installer's name and address Ballard Oil & Equip. Co. Telephone 772-1991

General Description of Work

To install Replacement Waltham oil burner

3rd apt 18  
Mrs Cotton

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? No  
If so, how protected? Kind of fuel? # 2 FO  
Minimum distance to burnable material, from top of appliance or casing top of furnace fireproof boiler room  
From top of smoke pipe From front of appliance From sides or back of appliance  
Size of chimney flue 12 x 14 Other connections to same flue None  
If gas fired, how vented? Rated maximum demand per hour  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Waltham Labelled by underwriters' laboratories? Yes  
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Bottom  
Type of floor beneath burner ; concrete Size of vent pipe 1 1/4"  
Location of oil storage basement Number and capacity of tanks 2-275  
Low water shut off Yes Make MDM # 67 No  
Will oil tanks be more than five feet from any flame? Yes How many tanks enclosed? None  
Total capacity of any existing storage tanks for furnace burners 550

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?  
If so, how protected? Height of Legs, if any  
Skirting at bottom of appliance? Distance to combustible material from top of appliance?  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented? Forced or gravity?  
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? Mrs Cotton  
772-5153  
for 9 AM - Wed

APPROVED:  
OK - 8-15-74 - MKC

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

J. F. Leidy  
Signature of Installer

NOTES

11-5-74 AM -  
 Will call Eames  
 for appointment to get  
 in.

11-5-74 PM -  
 Talked with Mrs Cotton who  
 said Mrs. Gilly is Elec Dept

*[Signature]*

Permit No. 74/781  
 Location V.L.E. Power Co.  
 Owner Electric  
 Date of permit 8/15/74  
 Approved

*[Signature]*

*[Large section of the page is crossed out with a large 'X' mark.]*



**CITY OF PORTLAND, MAINE**  
**Application for Permit to Install Wires**

Permit No. 8182  
 Issued 8/5/79  
 1979

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

*(This form must be completely filled out — Minimum Fee, \$1.00)*

Owner's Name and Address Mrs. Esther Albert 119 Morning St.  
 Contractor's Name and Address Ballard Oil & Equip. Co. Tel. 772-1991  
 Location 246 Eastern Promenade Use of Building Res.  
 Number of Families Apartments 6 Stores Number of Stories 2  
 Description of Wiring: New Work Additions Alterations X  
 Wiring of replacement High Pressure Gun Type Burner and controls  
 Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)  
 No. Light Outlets Plugs Light Circuits Plug Circuits  
 FIXTURES: No. Fluor. or Strip Lighting (No. feet)  
 SERVICE: Pipe Cable Underground No. of Wires Size  
 METERS: Relocated Added Total No. Meters  
 MOTORS: Number 1 Phase 1 H. P. 1/4 Amps 6 Volts 115 Starter  
 HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.  
 Commercial (Oil) No. Motors Phase H.P.  
 Electric Heat (No. of Rooms)  
 APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)  
 Elec. Heaters Watts  
 Miscellaneous Watts Extra Cabinets or Panels  
 Transformers Air Conditioners (No. Units) Signs (No. Units)  
 Will commence 19 Ready to cover in 19 Inspection 19  
 Amount of Fee \$  
 Signed Ballard Oil & Equipment Co.

DO NOT WRITE BELOW THIS LINE

SERVICE ..... METER ..... GROUND .....  
 VISITS: 1 ..... 2 ..... 3 ..... 4 ..... 5 ..... 6 .....  
 7 ..... 8 ..... 9 ..... 10 ..... 11 ..... 12 .....

REMARKS:

INSPECTED BY

*Libby*

(OVER)

PERMIT TO INSTALL PLUMBING

Address **246 Eastern Promenade** PERMIT NUMBER **760**

Installation For \_\_\_\_\_

Owner of Bldg: **Ruther Romani**

Owner's Address: **Gama**

Plumber: **Ruben Katz** Date: **10-10-72**

**173 Beal St.** NO FEE

Date Issued **10-10-72**  
 Portland Plumbing Inspector  
 By **ERNOLD R. GOODWIN**

App. First Insp.  
 Date \_\_\_\_\_  
 By \_\_\_\_\_

App. Final Insp.  
 Date \_\_\_\_\_  
 By \_\_\_\_\_

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

NEW	REPL		NO	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
<b>1</b>		HOUSE SEWERS		<b>2.00</b>
		ROOF LEADEFs		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
TOTAL				<b>2.00</b>

Building and Inspection Services Dept: Plumbing Inspection

PERMIT TO INSTALL PLUMBING

Date Issued 12/18/70  
 Portland Plumbing Inspector  
 By ERNOLD R. GOODWIN

Address 246 Eastern Prom PERMIT NUMBER 35  
 Installation For:  
 Owner of Bldg.:  
 Owner's Address: Walter Albert  
246 Eastern Prom  
 Plumber: Reuben Katz, 173 Neal St. Date: 12/18/70

App. First Insp.  
 Date 1/6/71  
 By WALTER H. WALLACE  
DEPUTY PLUMBING INSPECTOR

App. Final Insp.  
 Date 1/6/71  
 By WALTER H. WALLACE  
DEPUTY PLUMBING INSPECTOR

- Type of Bldg.
- Commercial
  - Residential
  - Single
  - Multi Family
  - New Construction
  - Remodeling

NEW	REPL		NO.	
		SINKS		
		LAVATORIES	1	2.00
		TOILETS	1	2.00
		BATH TUBS	1	2.00
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
TOTAL			3	6.00

Building and Inspection Services Dept.: Plumbing Inspection

R6 RESIDENCE ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine Sept. 23, 1964

PERMIT ISSUED

SEP 23 1964

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 245 Eastern Promenade Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Herman Albert, 119 Morning St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address C A Aaskov & Son 39 Reid St. Telephone 778-1335  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building Apartment House No. families 12  
Last use \_\_\_\_\_ " " No. families 12  
Material frame No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 1,000 Fee \$ 5.00

General Description of New Work

To Repair after fire to former condition, without alterations and without change of use, but if conditions in the areas of repair are found to be sub-standard of Building Code requirements, both owner and Building Dept. will be notified immediately.

Date-Sept. 12, 1964  
Cause-cigarette  
Structural damage-none

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber-Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

OK-9/23/64 [Signature]

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Herman Albert  
C A Aaskov & Son

INSPECTION COPY

Signature of owner by:

[Signature]

73



109

Permit No. 6411238

Location 246 East 11th Avenue

Owner Herman Cleveland

Date of permit 9/23/64

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

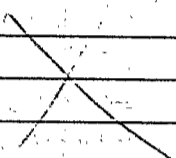
Staking Out Notice

Form Check Notice

NOTES

11-21-64 - MS - 2nd floor

H





FILL IN AND SIGN WITH INK

### APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, .....

PERMIT ISSUED  
61736  
NOV 14 1960  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 24 1/2 Western Prom. Use of Building apt house No. Stories 2 New Building  Existing   
Name and address of owner of appliance Mr. Herman Albert, 119 Loring St.  
Installer's name and address Ballard Oil & Equip. Co., 125 Marginal Way Telephone .....

#### General Description of Work

To install Carlin oil-fired hot water heater, complete (replacement)

#### IF HEATER, OR POWER BOILER

Location of appliance ..... Any burnable material in floor surface or beneath? .....  
If so, how protected? ..... Kind of fuel? .....  
Minimum distance to burnable material, from top of appliance or casing top of furnace .....  
From top of smoke pipe ..... From front of appliance ..... From sides or back of appliance .....  
Size of chimney flue ..... Other connections to same flue .....  
If gas fired, how vented? ..... Rated maximum demand per hour .....  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? .....

#### IF OIL BURNER

Name and type of burner Carlin gun type Labeled by underwriters' laboratories? yes  
Will operator be always in attendance? ..... Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner ..... Size of vent pipe 1 1/2"  
Location of oil storage basement Number and capacity of tanks .....  
Low water shut off ..... Make ..... No. ....  
Will all tanks be more than five feet from any flame? ..... How many tanks enclosed? .....  
Total capacity of any existing storage tanks for furnace burners .....

#### IF COOKING APPLIANCE

Location of appliance ..... Any burnable material in floor surface or beneath? .....  
If so, how protected? ..... Height of Legs, if any .....  
Skirting at bottom of appliance? ..... Distance to combustible material from top of appliance? .....  
From front of appliance ..... From sides and back ..... From top of smokepipe .....  
Size of chimney flue ..... Other connections to same flue .....  
Is hood to be provided? ..... If so, how vented? ..... Forced or gravity? .....  
If gas fired, how vented? ..... Rated maximum demand per hour .....

#### MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: 11-14-60 WML

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Ballard Oil & Equipment Co.  
Ballard Oil & Equip. Co.  
Signature of Installer .....

CS 300

INSPECTION COPY

P. H.



PERMIT NUMBER 9506

By [Signature]  
PORTLAND PLUMBING INSPECTOR

APPROVED FIRST INSPECTION

Date 11-23-60

By [Signature]

APPROVED FINAL INSPECTION

Date 11-23-60

By JOSEPH P. WELCH

- TYPE OF BUILDING  
 COMMERCIAL  
 RESIDENTIAL  
 SINGLE  
 MULTI FAMILY  
 NEW CONSTRUCTION  
 REMODELING

PERMIT TO INSTALL PLUMBING

Address: [Handwritten]

Installation For: [Handwritten]

Owner of Bldg.: [Handwritten]

Owner's Address: [Handwritten]

Plumber: [Handwritten] Date: [Handwritten]

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS	3	
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (conn. to house drain)		
		[Handwritten]		
		[Handwritten]		
Total				

5M 12-53  PORTLAND HEALTH DEPT.

PLUMBING INSPECTION

Total





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, May 18, 1959

PERMIT ISSUED  
MAY 19 1959  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 246 Eastern Prom. Use of Building Apartment House No. Stories 2 New Building Existing "
Name and address of owner of appliance Herman Albert, 119 Morning St
Installer's name and address Ballard Oil & Equipment Co, 135 Marginalwa Telephone 2-1991

General Description of Work

To install Oil burner (replacement) in connection with existing steam heating system.

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Kind of fuel?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Esso-gun type Labeled by underwriters' laboratories? YES
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner cement Size of vent pipe 1 1/4"
Location of oil storage basement Number and capacity of tanks 1-275 existing
Low water shut off yes Make McDonnell-Miller No. 67
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smoke pipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 60 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [Signature] 5-18-59

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Ballard Oil & Equipment Co. [Signature] P.A.

MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer

524 6-1

Permit No. 59/551  
Location 246 Eastern Promenade  
Owner Norman Albert  
Date of permit 11/19/59  
Approved 6-2-59 [Signature]

1	Valve	/
2	Kind of Valve	/
3	Rating	/
4	Material	/
5	Notes & Label	/
6	Block Control	/
7	High Limit Control	/
8	Remote Control	/
9	Piping Supports & Protection	/
10	Valve Assembly Line	/
11	Capacity	/
12	Test Records & Supports	/
13	Test 13	/
14	Oil	/
15	Instructor	/
16	Low Water Switch	/

NOTES

1. All connections to be made in accordance with the approved drawings.

2. The piping shall be installed in accordance with the approved drawings.

3. The piping shall be supported in accordance with the approved drawings.

4. The piping shall be tested in accordance with the approved drawings.

5. The piping shall be painted in accordance with the approved drawings.

6. The piping shall be labeled in accordance with the approved drawings.

7. The piping shall be supported in accordance with the approved drawings.

8. The piping shall be tested in accordance with the approved drawings.

9. The piping shall be painted in accordance with the approved drawings.

10. The piping shall be labeled in accordance with the approved drawings.

11. The piping shall be supported in accordance with the approved drawings.

12. The piping shall be tested in accordance with the approved drawings.

13. The piping shall be painted in accordance with the approved drawings.

14. The piping shall be labeled in accordance with the approved drawings.

15. The piping shall be supported in accordance with the approved drawings.

16. The piping shall be tested in accordance with the approved drawings.

17. The piping shall be painted in accordance with the approved drawings.

18. The piping shall be labeled in accordance with the approved drawings.

19. The piping shall be supported in accordance with the approved drawings.

20. The piping shall be tested in accordance with the approved drawings.

21. The piping shall be painted in accordance with the approved drawings.

22. The piping shall be labeled in accordance with the approved drawings.

23. The piping shall be supported in accordance with the approved drawings.

24. The piping shall be tested in accordance with the approved drawings.

25. The piping shall be painted in accordance with the approved drawings.

26. The piping shall be labeled in accordance with the approved drawings.

27. The piping shall be supported in accordance with the approved drawings.

28. The piping shall be tested in accordance with the approved drawings.

29. The piping shall be painted in accordance with the approved drawings.

30. The piping shall be labeled in accordance with the approved drawings.

31. The piping shall be supported in accordance with the approved drawings.

32. The piping shall be tested in accordance with the approved drawings.

33. The piping shall be painted in accordance with the approved drawings.

34. The piping shall be labeled in accordance with the approved drawings.

35. The piping shall be supported in accordance with the approved drawings.

36. The piping shall be tested in accordance with the approved drawings.

37. The piping shall be painted in accordance with the approved drawings.

38. The piping shall be labeled in accordance with the approved drawings.

39. The piping shall be supported in accordance with the approved drawings.

40. The piping shall be tested in accordance with the approved drawings.

41. The piping shall be painted in accordance with the approved drawings.

42. The piping shall be labeled in accordance with the approved drawings.

43. The piping shall be supported in accordance with the approved drawings.

44. The piping shall be tested in accordance with the approved drawings.

45. The piping shall be painted in accordance with the approved drawings.

46. The piping shall be labeled in accordance with the approved drawings.

47. The piping shall be supported in accordance with the approved drawings.

48. The piping shall be tested in accordance with the approved drawings.

49. The piping shall be painted in accordance with the approved drawings.

50. The piping shall be labeled in accordance with the approved drawings.



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine

PERMIT ISSUED 01176 MAY 29 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

205-00

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 246 Eastern Promenade Use of Building dwelling No. Stories 2 New Building Existing
Name and address of owner of appliance Herman Albert 119 Morning St.
Installer's name and address Ballard Oil & Equipment 135 Marginal St. Telephone 2-1991

General Description of Work

To install one fully automatic oil burner for heating steam

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner 1 - Ballard #6 Labelled by underwriter's laboratories? yes
Will operator be always in attendance? yes Does oil supply line feed from top or bottom of tank? top
Type of floor beneath burner Cement
Location of oil storage Basement Number and capacity of tanks 2 - 275 gal.
If two 275-gallon tanks, will three-way valve be provided? yes
Will all tanks be more than five feet from any flame? yes How many tanks fire proofed? none
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc. 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [Signature] 5-28-47

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer Ballard Oil & Equipment

INSPECTION NOT COMPLETED

Permit No. 47/ 1126

Location 246 Eastern Prom.

Owner Heisman Albert

Date of permit 5/29/47

Approved SECTION NOT COMPLETED

NOTES 6-1-47  
RBH

1. Fill Pipe.....

2. Vent Pipe.....

3. Kind of Heat.....

4. Burner Rigidity & Supports.....

5. Name & Label.....

6. Stack Control.....

7. High Limit Control.....

8. Remote Control.....

9. Fueling Support & Protection.....

10. Valves in Supply Line.....

11. Capacity of Tanks.....

12. Tank Rigidity & Supports.....

13. Tank Distance.....

14. Oil Gauge.....

15. Instructions.....

16.....

6-7-47 Speeder not  
get into boiler  
room. Owner  
at 119 Manning  
Street. RBH





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 10793  
JUL 21 1942

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 21, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 211-212 Eastern Promenade Use of Building Apartment House No. Stories 2  New Building  Existing

Name and address of owner of appliance Herman Albert, 119 Morning St

Installer's name and address Guy W. Weston, 173 Congress St. Telephone 2-6612

General Description of Work

To install coal fired heater for hot water

INSPECTION NOT COMPLETED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story \_\_\_\_\_ Kind of Fuel coal

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 13 1/2 4 ft  
from top of smoke pipe 12 from front of appliance over 4 from sides or back of appliance no work

Size of chimney flue 12x14 Other connections to same flue none

IF OIL BURNER

Name and type of burner \_\_\_\_\_ Labeled and approved by Underwriters' Laboratories? \_\_\_\_\_

Will operator be always in attendance? \_\_\_\_\_ Type of oil feed (gravity or pressure) \_\_\_\_\_

Location oil storage \_\_\_\_\_ No. and capacity of tanks \_\_\_\_\_

Will all tanks be more than seven feet from any flame? \_\_\_\_\_ How many tanks fireproofed? \_\_\_\_\_

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer Guy W. Weston

INSPECTION COPY

487

*Sue 41/1194*  
Permit No. 42/793  
Location 244-248 Eastern Ave  
Owner Herman Albert  
Date of Permit 7/21/42

Post Card sent \_\_\_\_\_

Notif. for insp. \_\_\_\_\_

Approval Tag issued \_\_\_\_\_

Oil Burner Check List (date) \_\_\_\_\_

1. Kind of heat \_\_\_\_\_

2. Label \_\_\_\_\_

3. Anti-siphon \_\_\_\_\_

4. Oil storage \_\_\_\_\_

5. Tank distance \_\_\_\_\_

6. Vent Pipe \_\_\_\_\_

7. Fill Pipe \_\_\_\_\_

8. Gauge \_\_\_\_\_

9. Rigidity \_\_\_\_\_

10. Feed safety \_\_\_\_\_

11. Pipe sizes and material \_\_\_\_\_

12. Control valve \_\_\_\_\_

13. Ash pit vent \_\_\_\_\_

14. Temp. or pressure safety \_\_\_\_\_

15. Instruction card \_\_\_\_\_

16. \_\_\_\_\_

NOTES

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 1928  
APR 9 1942

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, April 7 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 247 1/2 Eastern Promenade Use of Building apartment No. Stories 2 New Building Existing

Name and address of owner of appliance Sturman, Robert, 247 1/2 Eastern Promenade

Installer's name and address Paul & Sons, Inc. 111 State St. Telephone 2-2941

General Description of Work

To install Steam heating system INSPECTION NOT COMPLETED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story \_\_\_\_\_ Kind of Fuel Coal

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 24"

from top of smoke pipe 15" from front of appliance 15" from sides or back of appliance 24"

Size of chimney flue 11/2" Other connections to same flue none

IF OIL BURNER

Name and type of burner \_\_\_\_\_ Labeled and approved by Underwriters' Laboratories? \_\_\_\_\_

Will operator be always in attendance? \_\_\_\_\_ Type of oil feed (gravity or pressure) \_\_\_\_\_

Location oil storage \_\_\_\_\_ No. and capacity of tanks \_\_\_\_\_

Will all tanks be more than seven feet from any flame? \_\_\_\_\_ How many tanks fireproofed? \_\_\_\_\_

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of Installer Paul & Sons, Inc. 11/8/42 111 State St.

Sac 41/1194  
Permit No. 42/378  
Location 244-248 Eastern Puum  
Owner Herman Alberts  
Date of Permit 4/9/42.

Post Card sent

Notif. for insp.

Approval Tag issued

Oil Burner Check List (date)

1. Kind of heat
2. Label
3. Anti-siphon
4. Oil storage
5. Tank distance
6. Vent Pipe
7. Fill Pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
- 16.

NOTES





Original Permit No. 11/119

Amendment No. 2 FEB 12 1912

### AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, February 12, 1912

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 11/119, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 211-213 Eastern Promenade Within Fire Limits? YES Dist. No. 3

Owner's or Lessee's name and address Wesley Albert, 119 Herring Street

Contractor's name and address None

Plans filed as part of this Amendment yes No. of Sheets 1

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no

Increased cost of work no Additional fee no

Framing Lumber: Kind? no Dressed or Full Size? no

#### Description of Proposed Work

To provide archway in large room of each of the four cap room apartments as shown on plan

INSPECTION NOT COMPLETED

Approved:

Signature of Owner Wesley Albert  
William O. Quinter

Chief of Fire Department



Original Permit No. L1/1191

Amendment No. 25

# AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, January 15, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. L1/1191 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 211-216 Eastern Promenade Within Fire Limits? yes Dist. No. 3

Owner's or Lessee's name and address Norman Albert, 219 Forging Street

Contractor's name and address \_\_\_\_\_ No. of Sheets 1

Plans filed as part of this Amendment yes Is any electrical work involved in this work? \_\_\_\_\_

Is any plumbing work involved in this work? \_\_\_\_\_ Additional fee 25

Increased cost of work \_\_\_\_\_ Framing Lumber: Kind? \_\_\_\_\_ Dressed or Full Size? \_\_\_\_\_

Description of Proposed Work

To rearrange the front and rear stairs and hall doors as per plan submitted

Approved: \_\_\_\_\_  
Chief of Fire Department  
Commissioner of Public Works

Signature of Owner Norman Albert  
Wm. O. Advantage  
Approved: Wm. O. Advantage  
Inspector of Buildings

INSPECTION COPY



Original Permit No. 11191  
Amendment No. 1  
**PERMIT ISSUED**

### AMENDMENT TO APPLICATION FOR PERMIT 8 1941

Portland, Maine, October 1, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 11191 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 111-212 Eastern Promenade Within Fire Limits? yes Dist. No. 3  
Owner's or Lessee's name and address Bernard Albert, 110 Morning Street  
Contractor's name and address Genes  
Plans filed as part of this Amendment yes No. of Sheets 1  
Is any plumbing work involved in this work? no Is any electrical work involved in this work? no  
Increased cost of work 25 Additional fee 25  
Framing Lumber: Kind? no Dressed or Full Size? no

#### Description of Proposed Work

To build ~~curtain wall~~ 5' x 7' on rear of building as shown on plans

Approved:

Chief of Fire Department.

INSPECTION COPY

Commissioner of Public Works.

Bernard Albert

Signature of Owner

*William O. ...*

Approved:

Inspector of Buildings

*W. O. ...*

P. 41/1194-I

August 21, 1941

Mr. William D. Armitage,  
Mitchell Road,  
Cape Elizabeth, Maine

Dear Sir:

We are today issuing permit for new apartment house for Herman Albert at 244-249 Eastern Promenade. Please note that while not shown on the plans both sides of the heater room enclosure partitions in the basement are required to be covered with metal lath or perforated gypsum lath and plaster.

Very truly yours,

CC: Herman Albert  
119 Morning Street



Rept. 98590-1

August 19, 1941

Mr. W. O. Armitage,  
Mitchell Road,  
Cape Elizabeth, Maine

Dear Mr. Armitage:

With relation to the proposed apartment house for Herman Albert at 244-248 Eastern Promenade at your request and with some misgivings, I am departing from a rule of long standing and writing this letter to you without a copy to the owner. The rule was established because of a very embarrassing situation years ago when my attitude toward a particular construction job was very definitely misrepresented to the owner by his architect.

I believe that an owner has a right to know all that goes on with regard to his proposed building, and while the information at times may be upsetting to the owner, every owner that I know anything about resents the fact that he is kept in ignorance of it or of any part of it. When this permit is issued, if a letter in addition to this one is required in my judgment to go with the permit, then the owner will have to have his copy. I doubt if I can make other exceptions to this rule in the future, so I hope you will not submit plans to this office, filed with an application for a permit in cases where you do not want the results of our check with the Building Code and Zoning Ordinance made known to the owner directly from this office.

The following deficiencies or questions arise concerning the plans:

1. It would be well to show on plan what is the width and nature of the rear service driveway and why over it. The zoning ordinance requires "an unoccupied space (this precludes the rear piazza projecting into it) extending for the full width of the lot between the extreme rear line of a building and the rear lot line" to be 12 feet in depth. If Mr. Albert does not own the driveway outright, I am afraid we cannot include any part of it as a part of the rear yard. If he does not, perhaps the building may be moved forward or a successful appeal taken. In the latter case, the existence of a common right-of-way might be a good argument to present to the Appeal Board, but I could not vary on account of it. - *Albert owns rear lot.*

2. The doors to the stairway enclosures in the cellar are required to be standard fire resistant doors or better but are not so marked. The basement ceilings over the stair halls, both sides of hallway partitions, in first and second stories, ceilings of public halls in first and second stories and the underside of all of the stairs including the cellar stairs are required to be plastered on incombustible lath (not necessarily metal lath) or perforated gypsum lath. Partitions enclosing heater room and partitions enclosing cellar stairs are required to be plastered on both sides and the ceiling of heater room is required to be plastered, but perforated gypsum lath will meet the requirements as well as metal lath, if so desired. The heater room fire door is required to be standard Class C and to bear the Underwriters' label to that effect, and may be either automatic or self-closing. The standard fire resistant doors in the stairway enclosures in the cellar are required to be self-closing. The specifications for these fire doors may be found in Section 502-c of the Building Code.

August 18, 1941

W. O. Armitage—2

3. I still cannot discover any scuttle and permanent fixed-in-place ladder leading to the roof. This is apparently required by Section 212-1-1 because the roof appears to be more than 20 feet above the grade.

4. The roof appears to slope exactly 25 feet above the grade of the public sidewalk shown on the plans. That figure is the maximum allowable in City District No. 8 unless brick veneer is used. Please see to it that there is no discrepancy so that we may find after the job gets underway that the building exceeds the maximum allowed for frame exposure.

5. Your attention is called to the requirements of Section 311-c-3.8 concerning bridging and to paragraph c-3.11 of the same section for the requirements for joist hangers, in fact to all of Section 311 concerning wooden construction.

6. The ~~two~~ joists to support the upper ceiling apparently would be on a span of about 16 feet. Even though 16" from center to center I believe they would not figure out to support the ceiling without indicating such a deflection as would crack the plaster (1/360th of the span). There is not enough excess strength in the roof joists to hang the ceiling from them.

7. The 6x10 girders in the cellar do not figure out, the rated strength on a seven foot span being 8700 pounds and the theoretical load 11,300.

Unless all of the above matters are made clear on the plans or by specifications filed with the application for the permit and in such a manner that we have the assurance that the owner, who is to be his own contractor, has a copy of the same information that we have, a letter explaining the situation must go to him with the permit, a copy going, of course, to you.

I shall be away the week of August 17th, but I am sure Mr. Sears will be able to interpret any of these matters which are not understood. The reasons for letters instead of personal conferences in all of these matters is to save time and to have a record. There is a very large volume of work going through this office steadily with great demands for haste on all sides, and every effort must be made to save time for the benefit of the general public.

Very truly yours,

Inspector of Buildings

WMAH/H

P.S. In my other letter I told you that the Building Code no longer regulates ventilation of toilet rooms and advised you to check your proposition with the Health Department or at least against State regulations. I note that you plan a wind-actuated ventilator. It is my impression that the State regulations do not allow anything but an outside window or perhaps a mechanical ventilation system. If you have not secured the approval of the Plumbing Inspector for this arrangement, I suggest that you do so before starting the work.



Rept. 3859C-I

July 25, 1941

Mr. William O. Amittage,  
Mitchell Road,  
Cape Elizabeth, Maine

Dear Sir:

The check of the application and plans for the proposed apartment house for Mr. Herman Albert at 244-248 Eastern Promenade against Building Code requirements shows the following: (references in parentheses are to section and paragraph of the building code of 1941)

1. Apparently this building is required to be either brick or stone veneer instead of having shingle exposure, since the building is located in Fire District No. 3 (Section 436-a-1). The building is proposed 25 feet from finished grade of ground but the Code reckons the height from the established curb grade (Section 113, "Grade and Height of Buildings"), and it is my impression that the finished ground surface of this lot does not slope away from the principal frontage, and that the curb grade on the Eastern Promenade in front of this lot is substantially lower than the finished grade of the lot itself would be. Furthermore, since there are to be more apartments than the single apartment for the janitor in what otherwise would be called the basement, the lowest apartment level must be counted as the first story and as a full story (Section 113, "Story"). Therefore the building must apparently be classified as three stories and as having a height of more than 25 feet.

2. I note that a wooden floor in the basement has been indicated in red crayon on the plan, apparently as an afterthought. Care should be taken that no error is made due to the fact that this information is not shown on the original drawings and that the dimension of three feet and two inches to the top of the foundation wall is taken from the top of the wooden floor instead of from the concrete slab. A note in one place says "wooden floor over concrete" so I understand that the concrete floor is to be put in first as originally planned.

3. Ventilation and light and air in toilet rooms is not now regulated by the Building Code but by the State Health Regulations as contained in the State Plumbing Code. I am rather sure that the vent indicated for the bathroom next to the outside collarway in the basement does not satisfy these regulations, but I am not sure about the other bathrooms with windows in them. It would be well to check up on these particulars directly against the State Plumbing Code.

4. Apparently the public halls in the lower apartment level does not have any outside window operative for light and air (Section 203-d-5.5).

5. I presume all of the electric lights in public and stair halls are to be on the owner's meter and that one or more lights will be included in those and the hallway which is really a part of the heater room and serves as a second means of egress for the lowest level.

Mr. William C. Arnitage

July 23, 1931

6. The two front apartments on the highest floor have not two separate and distinct means of egress satisfying ordinance requirements, because fire or intense smoke in the front stairs would undoubtedly make it very difficult if not impossible for the occupants to reach the door to the rear open piazza (Section 212-a-1.2-(a)). The two fire doors leading from the public halls to the boiler room and rear exit, the outside door at the top of the concrete steps to the grade and all of the doors leading to the rear open piazza are required to be at least three foot wide instead of two foot eight inches (Section 212-a-2.5). The storage room at the lowest apartment level is not allowable because it is beneath some of the stairs and landings (Section 212-a-5.5).

7. I discover nothing to show the kind of material to be used in covering the public and stair hall partitions and ceilings and the soffits of the stairs. Plaster on incombustible lath is required, but this should be clearly shown on the plans (Section 207-f-1).

8. The incinerator is required to be constructed in accordance with the recommendations of the Fire Underwriters. It is my impression that the details indicated on the plans comply with these recommendations, but this can be checked up later. It should be noted that a screen is required suitable in size of mesh and material to keep cinders from blowing about the neighborhood.

9. No scuttle or fixed ladder for access to the roof appears to be indicated (Section 212-i-1).

10. It is necessary to show the framing of the two story rear open piazza. I have found no size or type of the columns indicated to support the joists and the 6x8 girders check out very much inadequate to support the joists. I can discover no objection to using the partitions well supported by concrete as bearing partitions and thus eliminate the pipe columns, the footings and the girders altogether.

11. I can discover no detail showing how the joists of the highest floor are to be supported upon the outside walls. Please let us have this information. You have used a ledger board beneath the roof joists thus really eliminating what is ordinarily called the plate. This is not allowable. I doubt if I can approve the arrangement of having the studs in the outside walls bear upon the sills without any tie across the building and then resting the first floor joists merely upon a ledger board some four feet above the sill. I cannot believe that this satisfies the intent of the Code for good and stiff construction. Wherever ledger boards are used, however, we shall expect the majority of the joists supported by them to come against and be securely spiked to the studs and care to be taken to see that this tie continues across the building. You have apparently noted that the new Building Code allows the use of ledger boards to a greater extent than in the past, but we are bound to see to it that they are used within the limits of ordinary sound construction. Since you must apparently go to brick or stone veneer, I suggest that you substitute for the fruss wall indicated on the plan between the foundation wall and the floor joists next above it a solid masonry wall thick enough to bear the sill directly under the floor joists and the veneer. Then, if you desire, you could use ledger board beneath the joists of the next floor above.

12. I made no effort to check the reinforced concrete construction so far. I presume you are taking into account that loaded trucks may be driven onto the slab over the coal bunkers. I shall have to have your engineering analysis of the



Mr. William G. Armitage—3

July 23, 1941

retaining wall at the rear of the coal bunkers which appears to have about eight feet six inches of retaining height, to be only 12 inches thick at the bottom and without reinforcement. Besides that this wall is evidently intended to get its bearing about two feet and six inches above the level of the coal bunker floor. It seems rather clear to me that this wall should go down to a bearing at the same level as the coal bunker floor thus making the retaining height about eleven feet.

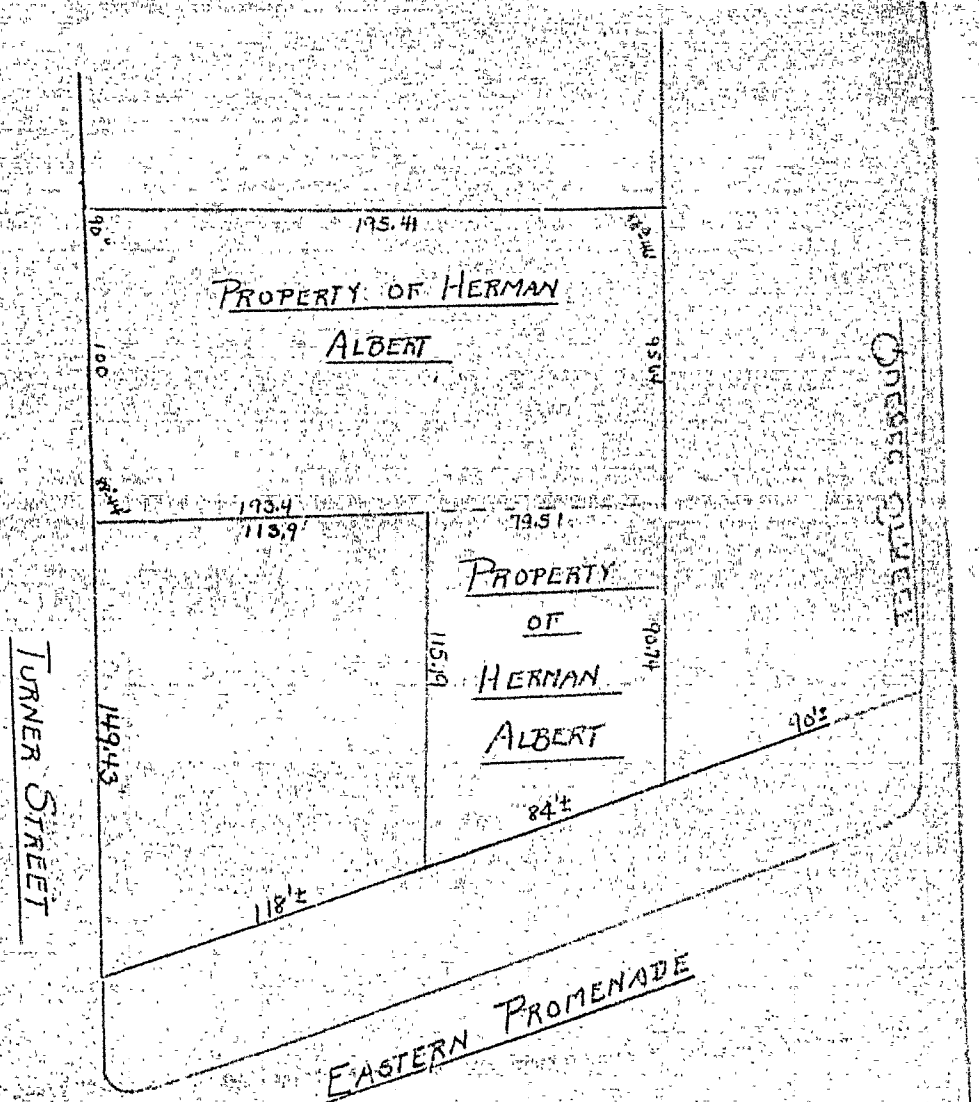
13. In the past, largely because Code requirements were not available to you people engaged in the building industry and in design, we have accepted revised plans marked up with crayon on blue prints and otherwise. Now that Code requirements are available to all I feel that we cannot continue this practice. In the case of this building then the original of the plans should be revised, sufficient specification shown on them or separately to clear up the essential requirements of the law and a new set of prints should be filed with the application.

The owner has a copy of this letter.

Very truly yours,

WMC/H  
CC: Herman Albert  
119 Morning Street

Inspector of Buildings





STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for twelve family apartment house  
at 214-218 Western Promenade

Date 7/19/41

1. In whose name is the title of the property now recorded? Herman Albert
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? plans & ironed stakes
3. Is the outline of the proposed work now staked out upon the ground? Yes  
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? 12"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

William O. Amitye



(A) APARTMENT HOUSE TO BE ALTERED  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Three Class

Portland, Maine, July 13, 1911

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter-install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 241-248 Eastern Promenade Within Fire Limits? yes Dist. No. 3

Owner's or Lessee's name and address Berman Albert, 119 Morning St. Telephone \_\_\_\_\_

Contractor's name and address Owner Telephone \_\_\_\_\_

Architect W. D. Armitage, Mitchell Bldg. 508 Elizabeth Plans filed yes No. of sheets 15

Proposed use of building Apartment House No. families 12

Other buildings on same lot \_\_\_\_\_

Estimated cost \$15,000 Fee \$ 7.50

Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

General Description of New Work

To erect two story frame building app. 40' x 74' as per plans

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes Height average grade to top of plate \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof flat Rise per foot \_\_\_\_\_ Roof covering Tar and gravel 5 ply

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat steam Type of fuel coal Is gas fitting involved? no

Framing lumber—Kind hemlock Dressed or full size? dressed

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

Signature of owner by Berman Albert  
William C. Armitage

INSPECTION COPY



Permit No. 41/1194

Location 244-248 Eastern Pk

Owner Heiman Albert

Date of permit 8/21/41

Notif. closing-in 8/16/41

Inspn. closing-in 4/28/42

Final Notif. 4/30/42

Final Inspn. 7/16/42

Cert. of Occupancy issued

Permit NOTES

8/21/41 - Excavating -

9/16/41 - Excavation

Completed - A.D.

9/17/41 - Foundation started

9/17/41 - Pouring foundation

9/17/41 - First floor

9/17/41 - Second floor

9/17/41 - Third floor

9/17/41 - Roofing

9/17/41 - Siding

9/17/41 - Windows

9/17/41 - Doors

9/17/41 - Painting

9/17/41 - Final inspection

9/17/41 - Occupancy

9/17/41 - Completion

9/21/41 - Foundation

10/4/41 - First story

10/7/41 - Second story

10/7/41 - Roofing

10/7/41 - Siding

10/7/41 - Windows

10/7/41 - Doors

10/7/41 - Painting

10/7/41 - Final inspection

10/7/41 - Occupancy

10/7/41 - Completion

10/7/41 - Excavating

10/7/41 - Foundation

10/7/41 - First story

10/7/41 - Second story

10/7/41 - Roofing

10/7/41 - Siding

10/7/41 - Windows

10/7/41 - Doors

10/7/41 - Painting

10/7/41 - Final inspection

10/7/41 - Occupancy

10/7/41 - Completion

10/7/41 - Excavating

10/7/41 - Foundation

10/7/41 - First story

1/17/42 - Working out

12/30/41 - Working inside

Rough plumbing being

done - A.D.

1/7/42 - Work progressing

slowly

1/22/42 - Permission given

to start second

story

1/22/42 - Work progressing

slowly

2/15/42 - Permission

on second story

work

first + second stories

except walls corners

and sashes

around sills heat

pipes - A.D.

3/5/42 - Considerable

amount of work

done

3/26/42 - Work

progressing

slowly

7/16/42 - Work

12/16/41 - Work

progressing

slowly

due to inability to get

materials - A.D.

12/16/41 - Work

progressing

slowly

due to inability to get

materials - A.D.

12/16/41 - Work

progressing

slowly

due to inability to get

materials - A.D.

7/27/41	Same -	slowly over	found
10/4/41	First story	12/19/41 - Working out -	basement stairs
	ground -	side of	in case of being
10/7/41	Same -	12/30/41 - Working inside	interior - in bed room
	progressing slowly	Rough plumbing being	done -
10/14/41	Boarding	done -	1/7/42 - Work progressing
	of front -	slowly -	slowly -
	floor partly	1/22/42 - Permission given	to examine
	done	on ceiling to be in	water meter -
10/18/41	Shaming roof	ceiling and	
	done	partitions	
10/20/41	Roof out -	1/25/42 - Work progressing	
	done	slowly -	
10/26/41	Work progressing	2/1/42 -	
	slowly	given permission	
11/6/41	Working outside	on red tag to close in	
	done	front - second stories	
11/13/41	Same -	except bath rooms &	
	chimney including	in kitchenettes and	
	excavation -	around sink heat	
12/2/41	Work continuing	pipes -	
	slowly	3/5/42 - Considerable	
12/9/41	Not much	amount of calling	
	progress being made	done -	
	due to inability to get	4/26/42 -	
	materials -	work made -	
12/16/41	Work progressing	7/16/42 -	

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

August 17, 1995

ALBERT ESTHER  
C/O MARSHALL MACK  
80 LONGFELLOW ST  
WESTBROOK ME 04092

Re: 246 Eastern Promenade  
CBL: 014- - I-012-001-03  
DU: 12

Dear Ms. Albert:

The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above-referred property.

Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Building Code. We did, however, note the following items that could cause future problems:

- 1. INT - 2ND FLR - HALL  
CEILING HAS BROKEN PLASTER 108.20
- 2. INT - OVERALL -  
HARD-WIRED BATTERY-BACK/UP SMOKE DETECTORS ARE REQUIRED IN EACH UNIT 113.50

Good maintenance is the best way to protect the safety of your neighborhood.

Please feel free to contact us if you have any questions or need assistance to you.

Sincerely,

*Merle Leary*  
Merle Leary  
Code Enforcement Officer

Tammy Munson  
Code Enfc. Offr./ Field Supv.