

Location of Construction: 14 1/2 Block St. E.		Owner: J. J. J.	Phone: 753-3700
Owner Address: J. J. J.	Lessee/Buyer's Name: J. J. J.	Phone: 753-3700	Business Name:
Contractor Name:	Address:		Phone:
Past Use: Residential	Proposed Use: Residential	COST OF WORK: \$	PERMIT FEE: \$ 1.00
		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
		Signature: J. J. J.	Signature:
Proposed Project Description: Home occupation for landscaping work		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	
Permit Taken By: J. J. J.	Date Applied For: 10/10/98		

Permit No: **980185**

PERMIT ISSUED

Permit Issued:

MAR - 6 1998

CITY OF PORTLAND

Zone: CBL: 1A-1-004

Zoning Approval.

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan map minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

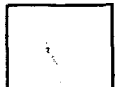
PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT J. J. J.	ADDRESS: J. J. J.	DATE: 10/10/98	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

CEO DISTRICT



COMMENTS

3/24/00 No accus. AR

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

DATE: 3/5/98 ADDRESS: 14 Quebec St
H ite
Ne

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board and the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" ,except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/11" and not greater than 2".
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. *w/ smoke supervision*
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

LAND USE - ZONING REPORT

ADDRESS: 14 Quebec St - Apt 2 DATE: 3/5/98

REASON FOR PERMIT: change of use to allow a home occupation

BUILDING OWNER: John Quirk C-B-L: 14-I-4 & 16

PERMIT APPLICANT: Nelson Treese

APPROVED: with conditions DENIED: _____
#1, #6, #7

CONDITION(S) OF APPROVAL

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

During its existence, all aspects of the Home Occupation criteria, Section 14-4 10, shall be maintained.

The footprint of the existing _____ shall not be increased during maintenance reconstruction,

All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.

If your present structure is legally nonconforming as to rear and side setbacks, you were to demolish the building on your own volition, you will not be able to maintain these same setbacks, Instead you would need to meet the zoning setbacks set forth in today's ordinances, In order to preserve these legally non-conforming setbacks, you may only rebuild the **garage** in place and in phases.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Our records indicate that this property has a legal use of four units, Any change in this approved use shall require a separate permit application for review and approval.

Separate permits shall be required for any signage. under home occupation.

Separate permits shall be required for future decks and/or garage.

Other requirements of condition _____

Marge Schmuckal Marge Schmuckal, Zoning Administrator,

nltreece



@ worldnet.att.net

EDUCATION CONSULTING
ACADEMIC INDEXING
14 Quebec St., Apt. 2
Portland, ME 04101

207-774-7962 (tty/v, fax)

March 2, 1998

Inspection Services
Department of Planning and Urban Development
Room 315, City Hall
Portland, ME 04101

To Whom It May Concern:

I wish to apply for a permit to use one room of my apartment for a home occupation. This home-based business is an indexing service, which will create and format finished book indexes using a home computer and its phone connections.

This home occupation meets all the criteria outlined in the Portland Code. It qualifies under §14-410 (1), including the size requirement that the work area be no more than 500 square feet and no more than 25% of the total floor area [see attached Floor Plan]. It also qualifies under §14-410 (2) and (3): an indexer is an author who creates original, copyrightable works to accompany other published material, and as such is a permitted occupation.

Attached also find a letter from my landlord, John Quirk, giving his permission for me to operate this business out of my apartment.

I appreciate your prompt attention to this matter.

Sincerely,

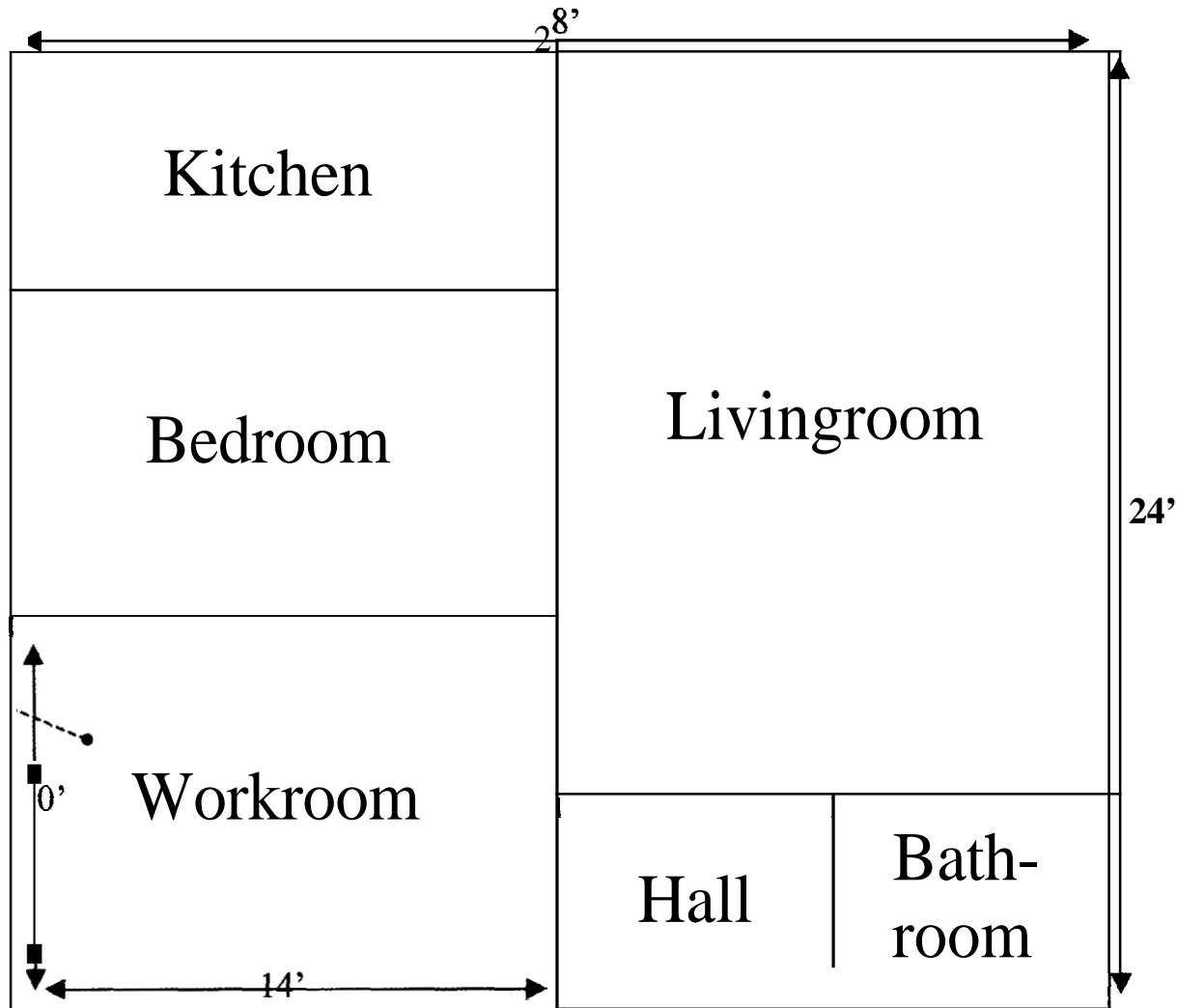
2 A handwritten signature in black ink, appearing to read "N. Treece", with a large number "2" written to its left.

Nelson L. Treece

Floor Plan: 14 Quebec St., Apt. 2
Portland, ME 04101

total area:
672 sq. ft.

workroom:
140 sq. ft.
(21% of
total area)



37 Casco St.
Portland, ME 04101
February 14, 1998

To Whom It May Concern:

As landlord of the apartment building at 14 Quebec St. in Portland, I hereby give my tenant, Nelson Treece, permission *to* operate a home-based indexing service on his computer out *of* one room in Apt. **2 of** that building.

Sincerely,



John Quirk