ocation of Construction:	Owner:	——————————————————————————————————————	Phone:	Permit No:
wner Address:	Lessee/Buyer's Name:	Phone:	BusinessName:	010102
ontractor Name:	Address:	Pho	one:	Permit Issued:
ast Use:	Proposed Use:	COST OF WO		FEB 1 3 11
Single Papilly	Stople Function	FIRE DEPT.	Approved INSPECTION Use Group: A- BOCA 99	Type: 5 Zone: CBL:
roposed Project = ription:		Signature: PEDESTRIAN	Signature: 74 ACTIVITIES DISTRICT	offer to be a second
อนไร้ 8 N 18 3 วะละอย จนารอ	ws or estating deck	Action:	Approved Approved with Conditions: Denied	Special Zone or Reviews:
ermit Taken By:	Date Applied For:	Signature:	Date:	☐ Subdivision ☐ Site Plan maj ☐minor ☐mm [
This permit application does not preclude Building permits do not include plumbing	the Applicant(s) from meeting applicable	Selfunce (%, , %)		Zoning Appeal □ Variance □ Miscellaneous □ Conditional Use
Building permits are void if work is not station may invalidate a building permit and		issuance. False informa	a-	☐ Interpretation ☐ Approved ☐ Denied
			Oay	fistoric Preservation  ✓ Not in District or Landmark  □ Does Not Require Review  □ Requires Review
			PERMIT ISSUED WITH REQUIREMENT	Action:
I hereby certify that I am the owner of record o authorized by the owner to make this application if a permit for work described in the application.	ion as his authorized agent and I agree to	conform to all applica 's authorized represent	the owner of record and that I able laws of this jurisdiction. I tative shall have the authority	n addition,
areas covered by such permit at any reasonant	at hour to emerce the provisions of the ex	cat(o) applicable to suc	on Parime	
areas covered by such permit at any reasonable				
IGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:	PERMIT ISSUED  PERMIT ISSUED  PERMIT ISSUED  PERMIT ISSUED  PERMIT ISSUED

## THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

#### Minor/Minor Site Review for New Detached Single Family Dwelling, All Purpose Building Permit Application

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure	<u>urnerst</u>	quare Footage of Lot		
Tax Assessor's Chart, Block & Lot Number  Chart#OI  Block# H  Lot#OH	Owner: Rick wright		Telephone#: 662-7000	
Lessee/Buyer's Name (If Applicable)		sser/Lessee Address:	Cost Of Work: 11,000 Fee:	
Current use: Open 8'x 19' P.T. Decense:  Project description: (M.1)			eason Sun Room	
Project description:  Build 8' X   8' 3 5cc			ng Deck	
Contractor's Name, Address & Telephone  American Profiles Jesse St	<b>4</b> -	00-639-7902 Blaine St Manc	Rec'd By:	

# Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA of Mechanical Code.

#### YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached) ON PAPER NO LARGER THAN 11" x 17" if you are doing anything other than interior rehab work.

## THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

#### A PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A "minor/minor" site plan review is required for New Single Family Homes Only. The Site plan must be prepared and sealed by a registered land surveyor. FOUR COMPLETE PACKETS OF ALL SUBMISSIONS ARE REQUIRED FOR NEW SINGLE FAMILY HOMES SHOWING CONSTRUCTION AND SITE DETAILS ON 32" x 48". ALONG WITH ONE SET ON PAPER NO LARGER THAN 11" X 17".

ON ALL OTHER BUILDING PERMIT SUBMISSIONS ONE SET OF SUBMISSIONS IS REQUIRED ON 11' X 17" AND ONE SETS ON 32" X 48" with the below stated details. (Sample Attached) Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

#### Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Date: 2 8/01

Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

ATE: 19 Februar /200/ ADDRESS: 41 Turner STreeT CBL: 914-H-016
EASON FOR PERMIT: To Construct a 8'x 18'3" Three Season Sunroom on chistory de
UILDING OWNER: 121ck Wright
ERMIT APPLICANT:CONTRACTOR American Profiles Stand
se group: <u>R-3</u> construction type: <u>5B</u> construction cost: 1/000.66 permit fees: 90.60
ne City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments) ne City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)
CONDITION(S) OF APPROVAL
nis permit is being issued with the understanding that the following conditions shall be met: 4/, 4// 4// 4//
This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.  Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."  Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be covered with not less than 6" of the same material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2  Foundations anchors shall be a minimum of 18" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6" O.C. between bolts. Section 2305.17  Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.  Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10' Masonry Sections 2111.3-2111.4.  It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper serbacks are maintained.  Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions
outside diameter of at least 1 ½" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)  Headroom in habitable space is a minimum of 7'6". (Section 1204.0)  Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7½" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)  The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4  Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)

from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)

17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)

16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly

18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

Na

- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Hurnan Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- 27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

- 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

  To remain A single family The Side (of 10)

  31. Please read and implement the attached Land Use Zoning report requirements. Shall Not be 655 Than five feet (5)

  32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0) 35. All flashing shall comply with Section 1406.3.10.

36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

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8, The existi	179 decks Fou	nda (mn (Piers) and	1 1015TS Shall
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before PLACINI	The proposed	STructure on The ex	15Tind deck
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Hoffses, Building Inspector

V. MeBougall, PFD

Marge Schmuckal, Zoning Administrator Michael Nugent, Inspection Service Manager

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00

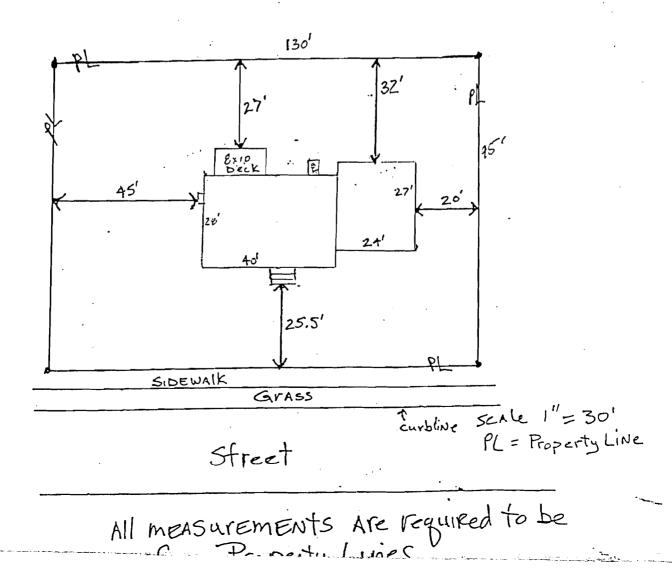
#### THE FOLLOWING CRITERIA MUST BE MET TO OBTAIN A BUILDING PERMIT:

All applications for building permits for new construction or additions shall be accompanied by plans showing the actual dimensions and shape of the lot to built upon; the exact size and location of the buildings already existing, if any: and the location and dimensions of the proposed buildings or alterations, including parking facilities and parking space dimensions. The application shall include such other information as lawfully may be required to determine conformance.

1. A neat legible scaled plot plan must be submitted. This plan must show all setbacks from all property lines from finished construction. This will include all existing buildings with dimensions and proposed additions/alterations/accessory structures with dimensions. If the property has any easements please scale that into the plot plan.

#### DO NOT ASSUME THAT YOU OWN UP TO THE SIDEWALK OR ROAD

- 2. The proposed construction measurements must be staked out for a site visit to confirm measurements on the plot plan. This includes all property pins in relation to proposed construction.
- 3. A detailed drawing showing all materials and application of materials in relation to the proposed structure. The detail must be shown from the footing to the roof. A detail of all stairs and handrails must also be given, showing materials and application of materials.



#### Submission Requirements Residential Construction

When a property owner is proposing either a new structure or an addition, this office requires:

• A plot or site plan, showing the shape and dimensions of the entire lot, all existing and proposed structures on the lot and the distance that the structures are from all lot lines. For a new dwelling the plan must be prepared by a registered design professional. For dwelling additions, the plan can be prepared by the owner or agent. (See Figure 1)

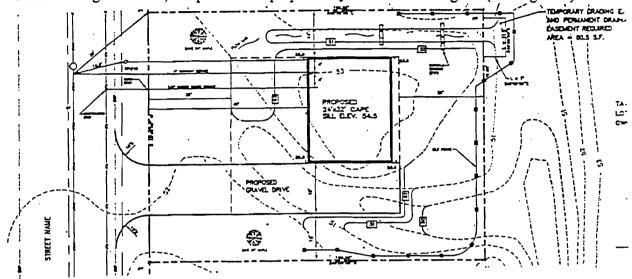
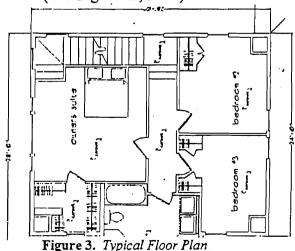


Figure 1. Typical Plot Plan

As can be seen, it is easy to establish the extent of compliance with the required setbacks and lot coverage.

• For new construction, structural alterations, or additions, plans showing structural details must be provided. Minimally they should include foundation plans, including drainage and support column spacing framing details, floor plans and a cross section. (See Figures 2, 3 &4)



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Figure 2. Typical Foundation Plan

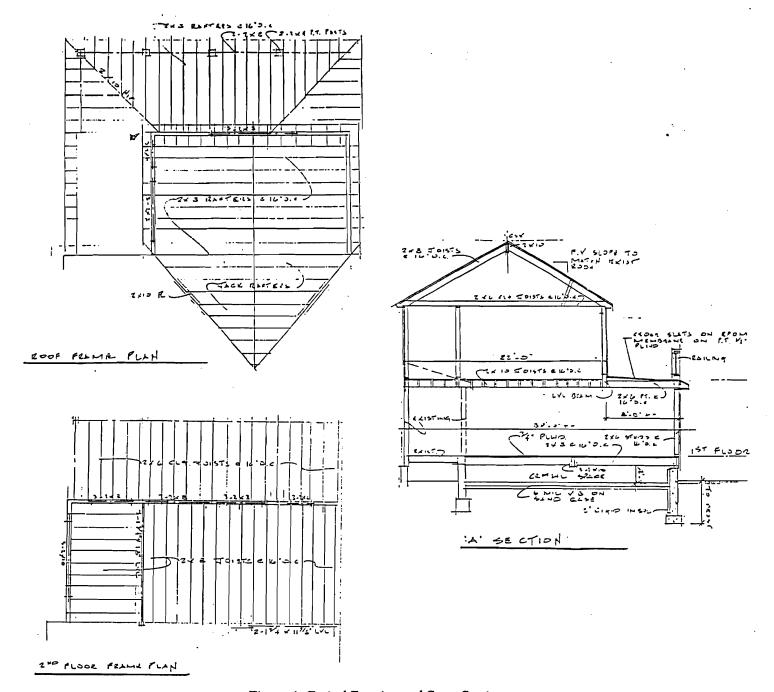
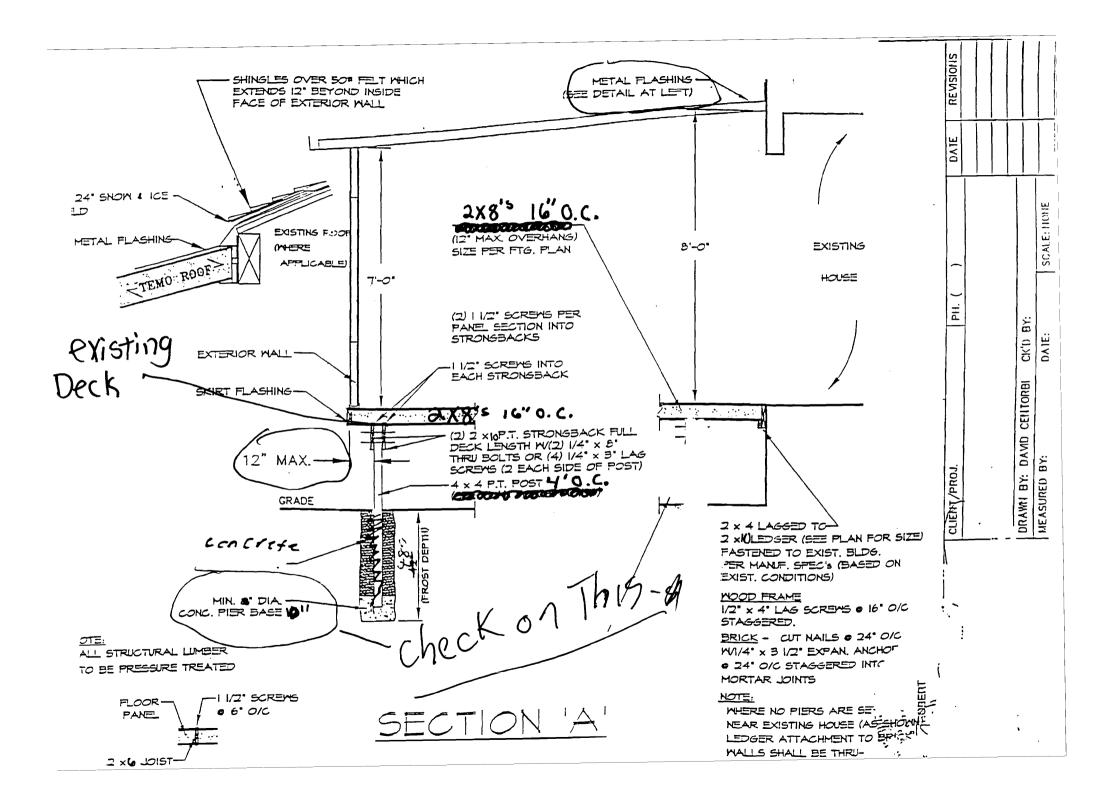
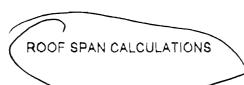


Figure 4. Typical Framing and Cross Section

These plans are all done by professionals, you can do your own plans for the purposes of residential construction, the plan does not have to be of this quality, but the level of detail and accuracy is important. When proposing and addition, similar plans are required, the same goes for a detached garage or an attached deck.

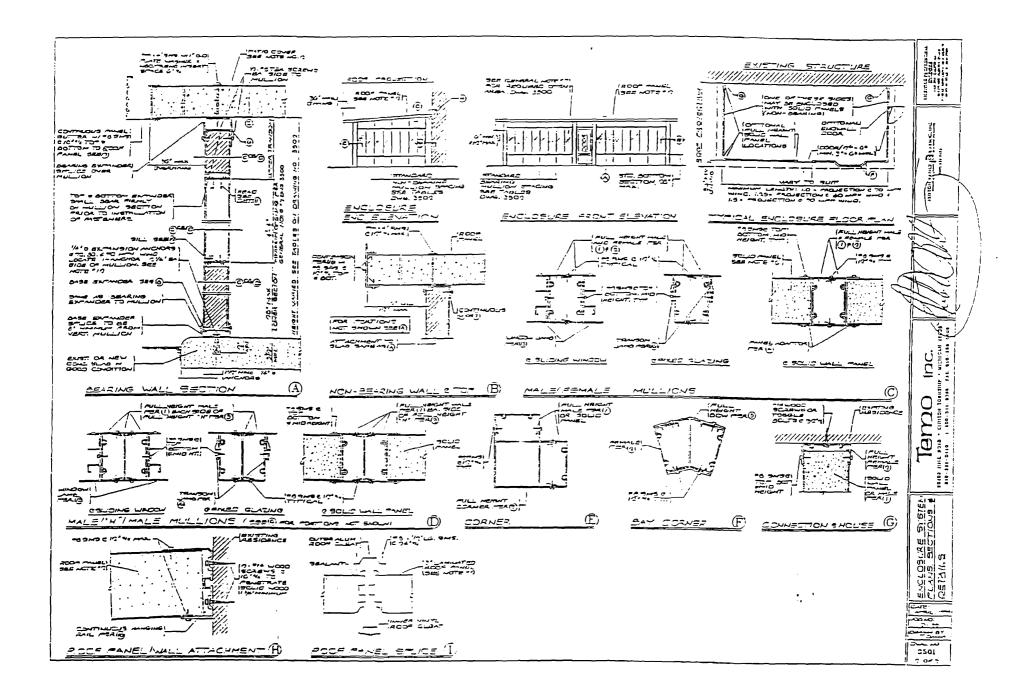




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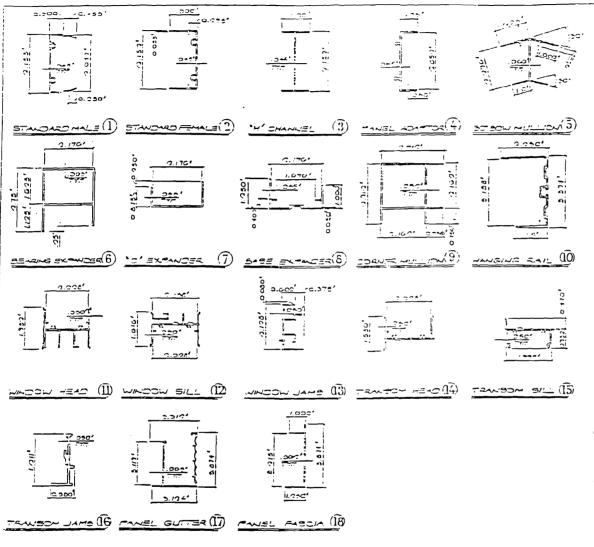
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#### GENERAL NOTES & SESCIPICATIONS

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14 H 16 Turner st 4. If no mortgage survey — all dimensions are required. INDICATE TYPE OF SIDING ON HOUSE DFRAME DALUMINUM DBRICK DSTONE IF STONE I ROUGH I SMOOTH INDICATE **EXISTING** MOUNT HEIGHTS HOUSE **FASCIA** MOUNT useim PROPOSED TOP OF EXISTING ( DOORS & **EXISITING** WINDOW CONDITIONS REATSetback 20/reg-27/shown EXISTING FLOOR GRADE IF PERMITS ARE TO BE PULLED, NEED COMPLETE MEASUREMENTS. 'MORTGAGE SURVEYS ARE PREFERRED' 2. 5. INDICATE TYPE OF SIDING ON HOUSE □ Corner Lot ☐ interior Lot DFRAME DALUMINUM BRICK DSTONE IF STONE DROUGH DISMOOTH INDICATE ROOF MOUNT ! MOUNT BY MARKING DOTTED LINES SOLID **FASCIA** MOUNT TOP OF **EXISTING** DOORS & MINDOM 'MINDOM **PROPOSED** MOUNT EXISTING STEP DOWN **FLOOR** CEMENT OR DECK GRADE Draw Layout of Room — Door Locations, Skylights, Spa Location ☐ Locate breakthrough and size ☐ Identify Interior room being ☐ Dimension existing slabs, enclosed sidewalks and steps □ Locate existing pool 6. SURVEY CHECKLIST **ETUDIO** ☐ Mortgage survey Photo of electric panel and meter. ☐ Existing footings ☐ Steps by: ☐ Homeowner ☐ Tony V's ☐ Necessary photos for access into rear yard **EXISTING CONDITIONS: CATHEDRAL** ☐ Overhead lines ☐ H20 Spicket ☐ Dryer Vent ☐ A/C ☐ Septic Lines ☐ Lights ☐ Tree ☐ Sprinkler lines ☐ BBQ ☐ Cable □ Phone What condition is existing roof on home?



### CITY OF PORTLAND, MAINE

#### **Department of Building Inspection**

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Received from	om			<u>a fee</u>
of .			/100 Dollars \$	
for permit to	install erect alter			** we want
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1 - 42	My Holly		Inspector of buildings	
		<u>Per</u>	<u> </u>	<u> </u>

### THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy YELLOW - Office Copy PINK - Auditors Copy