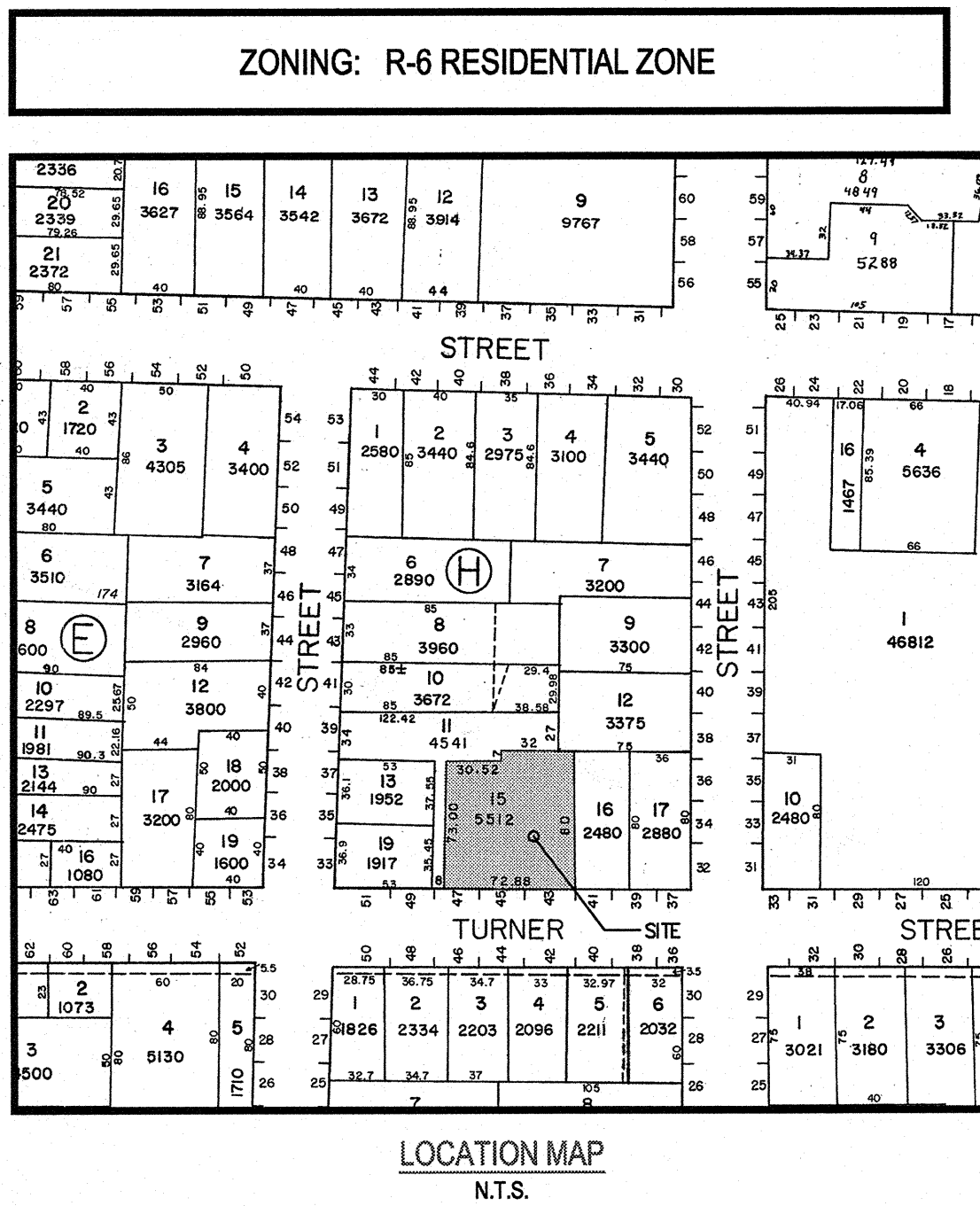


PROJECT PARCEL SITE  
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK NUMBERS

MAP LOT BLOCK  
014 15 H

# SITE DEVELOPMENT PLANS FOR TWO FAMILY BUILDING 43-45 TURNER STREET PORTLAND, MAINE SITE PLAN APPLICATION



EXISTING		PROPOSED	
•	IRON PIPE FOUND	— 25 —	CONTOUR LINE
N/F	NOW OR FORMERLY	— 12 —	HOT BITUMINOUS ASPHALT PAVEMENT
—	CURB	—	EDGE OF PAVEMENT
⊗	WATER VALVE	—	SILT FENCE
⊙	GAS VALVE	—	BUILDING
⊕	HYDRANT	○	PROPOSED DECIDUOUS TREE
○	MANHOLE	— 6" SAN —	PROPOSED SEWER LINE
58	EXISTING CONTOUR	— 6" W —	PROPOSED WATER MAIN
— W —	WATER LINE	— GAS —	PROPOSED WATER MAIN
— G —	GAS LINE		
— X —	FENCE		
⊗	DECIDUOUS TREE		
—	EXISTING EDGE OF GRAVEL ROAD/DRIVE		
---	PROPERTY LINE		

## INDEX

- C-1 COVER SHEET, GENERAL NOTES, AND LEGEND
- C-2 EXISTING CONDITIONS
- C-3 SITE LAYOUT AND GRADING PLAN
- C-4 SITE DETAILS

## UTILITIES

**SEWER**  
ATTN: MR. TODD MERKLE  
PORTLAND PUBLIC WORKS  
55 PORTLAND STREET  
PORTLAND, ME 04104  
(207) 874-8840

**WATER**  
ATTN: MR. DAVE COFFIN  
PORTLAND WATER DISTRICT  
225 DOUGLAS STREET  
P.O. BOX 3553  
PORTLAND, ME 04102-3553  
(207) 774-5961 EXT. 3041

**ELECTRIC**  
ATTN: MR. TOM ATWOOD  
CENTRAL MAINE POWER COMPANY  
162 CANCO ROAD  
P.O. BOX 1801  
PORTLAND, ME 04104  
(207) 828-2821

**TELEPHONE**  
ATTN: MR. JOHN CAPRIO  
VERIZON  
13 DAVIS FARM ROAD  
PORTLAND, MAINE 04103  
(207) 797-1259

**CABLE**  
ATTN: MR. TOM SMITH  
TIME WARNER CABLE  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
(207) 775-3431

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WWW.DIGSAFE.COM

## GENERAL NOTES:

1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE CITY OF PORTLAND.
2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
3. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
6. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL STANDARDS.
8. THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED ON THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL REPRESENTATIONS MADE BY THE APPLICANT CONCERNING THE DEVELOPMENT AND USE OF THE PROPERTY WHICH APPEAR IN THE RECORD OF THE PLANNING AUTHORITY PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.

9. ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS:  
  
GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04

10. ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
11. BUILDING SUMMARY: PROPOSED 4,549 S.F.

12. **ZONING DATA**  
R-6 RESIDENTIAL (SEE SECTION 14-139(2))  
PER SECTION 14-139(2) THE PROPOSED SITE IS A LOT OF RECORD PRIOR TO 01/01/05 AS RECORDED AT THE C.C.R.D. 11/05/1995 BOOK 12198, PAGE 262.

SPACE AND BULK REGULATIONS	REQUIRED	ACTUAL
MINIMUM LOT AREA	NONE	5,512 S.F.
MINIMUM LOT WIDTH	NONE	72.88'
MINIMUM PRINCIPAL STRUCTURE HEIGHT	2 STORIES	3 STORIES
MAXIMUM PRINCIPAL STRUCTURE HEIGHT	45'	44'
MINIMUM STRUCTURE SETBACKS		
FRONT YARD	<10'	3'
SIDE YARD	NONE	10', 14.99'
REAR PARCEL	NONE	12'
14-139(2)F - OPEN SPACES REQUIREMENT		
-DESIGNATED OPEN SPACE 24'X24' OR 576 SF OR 10.44% OF LOT.		
-1 EXTERIOR DECK 15'X15' OR 225 SF.		
14-139(2)H - MINIMUM LAND AREA PER DWELLING ~725 SF. ACTUAL PROVIDED IS 2,756 SF PER DWELLING UNIT.		
OFF STREET PARKING (SECTION 14-140(1))		
PARKING STALL DIMENSION	9'x18'	9'x18'
# OF SPACES	2	2

13. THE SITE IS SERVICED BY PUBLIC WATER, PUBLIC SEWER AND OVERHEAD UTILITIES.
14. ALL METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS IDENTIFIED HEREIN SHALL CONFORM TO THE CITY OF PORTLAND CONSTRUCTION AND TECHNICAL STANDARDS AND SPECIFICATIONS AND/OR CURRENT MDOT STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
15. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC WORKS INSPECTION SERVICES DIVISION (874-8300 EXT. 8838), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY OR DEVELOPMENT REVIEW COORDINATOR.
16. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
17. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
18. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
19. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
20. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
21. ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT.
22. A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.

## PREPARED BY

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**ARCHITECT:**  
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(207) 773-2843

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

	PROJECT	TWO-UNIT RESIDENTIAL HOUSE 43-45 TURNER STREET PORTLAND, MAINE	<b>DeLUCA-HOFFMAN ASSOCIATES, INC.</b> 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 (207) 775-1121 D:\4106\DELUCA-HOFFMAN.COM
	SHEET TITLE	COVER SHEET, GENERAL NOTES, & LEGEND	
CLIENT	CYRUS HAGGE 225 COMMERCIAL STREET PORTLAND, MAINE	DRAWN: CMW	DATE: DEC. 2007
		CHECKED: SRB	SCALE: AS NOTED
		FILE NAME: 2795-COV	
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