

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0192	Issue Date: 3/4/08	CBL: 014 H015001
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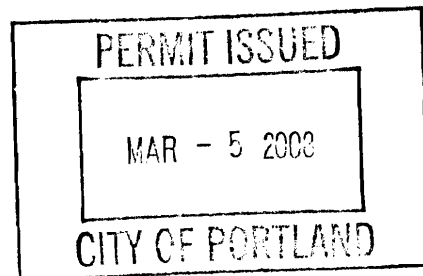
Location of Construction: 45 TURNER ST	Owner Name: HAGGE CYRUS Y & PATRICIA	Owner Address: 225 COMMERCIAL ST	Phone:
Business Name:	Contractor Name: Thaxter Company	Contractor Address: 55 Bell Street Portland	Phone 2076539822
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	Zone: R-2

Past Use: New Duplex FOUNDATION ONLY Connected w/ permit# 080005	Proposed Use: New Duplex FOUNDATION ONLY Connected w/ permit# 080005	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: SB IBC-2003	

Proposed Project Description: New Duplex FOUNDATION ONLY Connected w/ permit# 080005	Signature:	Signature: 3/4/08 [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 03/04/2008	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: 3/4/08 [Signature]	Date: 3/4/08 [Signature]	Date: 3/4/08 [Signature]



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call **874-8703** or **874-8693 (ONLY)**

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Michael G. [Signature]
Signature of Applicant/Designee

3/05/08
Date

[Signature]
Signature of Inspections Official

03/05/08
Date

CBL: 14-11-15

Building Permit #: 080192



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>43-45 Turner Street</u>		
Total Square Footage of Proposed Structure/Area <u>4,549A</u>		Square Footage of Lot <u>5512</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>014</u> <u>H</u> <u>15</u>	Applicant * must be owner, Lessee or Buyer * Name <u>CYRUS+PATRICIA HAGGE</u> Address <u>225 Commercial St.</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>749-0534</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAUL ROSE</u> Address City, State & Zip	Cost Of Work: \$ <u>60.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT LOT</u> If vacant, what was the previous use? <u>NONE</u> Proposed Specific use: <u>TWO FAMILY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>FOUNDATION ONLY</u>		
Contractor's name: <u>THAYER CO.</u> Address: <u>55 Bell St.</u> City, State & Zip <u>Portland ME 04103</u> Telephone: <u>653-9822</u> Who should we contact when the permit is ready: <u>CYRUS HAGGE</u> Telephone: <u>749-0534</u> Mailing address: <u>225 Commercial St., Portland 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Nicholas Aspin

Date: 3/5/08

This is not a permit; you may not commence ANY work until the permit is issued.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 080192

This is to certify that HAGGE, CYRUS Y & PATRICIA H D HAGGE, ITS/Thaxter Comp

has permission to New Duplex FOUNDATION ONLY Connected Permit# 080192

AT 45 TURNER ST

014 H015001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure is complete before this building or part thereof is occupied or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

3/4/08 Chy J M
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Applicant: Cyrus & Patricia Haggge Date: 2/4/09

Address: 43-45 Turner St C-B-L: 14-11-15

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

using small lot mfd - meets
14-139(2) Definition

Zone Location - R-6

Interior or corner lot -

Proposed Use/Work - to construct a New 2 family Bldg.

Sewage Disposal - City

Lot Street Frontage - N/A

Front Yard - NO more than 10' - 4.75' at furthest - ok

Rear Yard - None except the rear yard between 2 bldgs on diff lots shall maintain
A 10' debb and/or the sum of heights of the abutting bldgs. This bldg = 5'

Side Yard - ASAME

Projections -
Width of Lot -
All setbacks ok -

Height - min 2 stories of living space above grade
MAX - 45' → 44' to lowest grade & very top of Bldg

Lot Area - MAX 10,000^{sq} ft - 5512^{sq} ft per Assessor's
No min lot size

Lot Coverage/ Impervious Surface - see open space - ok

Area per Family - 725 per DU = or 1450^{sq} ft min lot size - showing 5512^{sq} ft

Off-street Parking - 1 per DU - or 2 pkg req. - 2 pkg shown

Loading Bays - N/A

Site Plan - # 2007-0212
minor site plan

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 14 - Zone C

open space - an attached exterior deck or - Designated open space
A min of 15' x 15' - showing 24' x 24'

February 7, 2008

Cyrus Hagge
225 Commercial Street
Portland, ME 04101

RE: 43-45 Turner Street
CBL: 014-H-015
Application ID: 2007-0212

Dear Cyrus:

On February 7, 2008, the Portland Planning Authority approved a site plan for a two-unit residential building in the vicinity of 43-45 Turner Street including the R-6 Infill Development Design Principles and Standards as shown on the approved plan with the following conditions:

1. The existing tree well within the sidewalk shall be planted with a tree as approved by the City Arborist. One of the trees between the driveway and the building wing may be used for the tree well. Landscape material shall be planted by the front stoop with material approved by the City Arborist.
2. That the plan shall be revised reflecting the comments of Dan Goyette dated February 6, 2008 (attached.)

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
2. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review

and approval.

4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Richard Knowland at 874-8725.

Sincerely,

Alexander Jaegerman
Planning Division Director

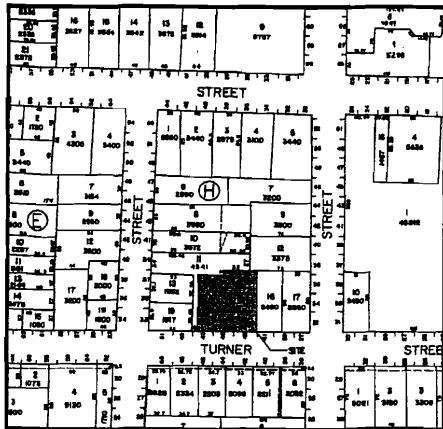
Electronic Distribution:

Lee D. Urban, Planning & Development Dept. Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
_____, Planner/Senior Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Jeanie Bourke, Inspections Division
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Works Director
Kathi Earley, Public Works
Bill Clark, Public works
Jim Carmody, City Transportation Engineer
Captain Greg Cass, Fire Prevention
Jeff Tarling, City Arborist
Assessor's Office
Approval Letter File
Hard Copy: Project File

PROJECT PARCEL SITE
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK NUMBERS

MAP	LOT	BLOCK
014	15	H

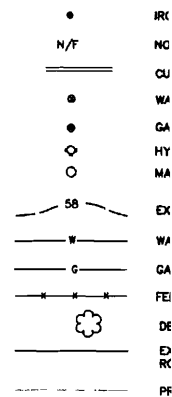
ZONING: R-8 RESIDENTIAL ZONE



LOCATION MAP
N.T.A.

SITE DEVELOPMENT PLANS FOR TWO FAMILY BUILDING 43-45 TURNER STREET PORTLAND, MAINE SITE PLAN APPLICATION

EXISTIN



INDEX

- C-1 COVER SHEET, GENERAL NOTES, AND LEGEND
- C-2 EXISTING CONDITIONS
- C-3 SITE LAYOUT AND GRADING PLAN
- C-4 SITE DETAILS

PREPARED BY

CIVIL ENGINEER:
DeLuca-Hoffman Associates, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, MAINE 04106
ATTN: STEPHEN BUSHEY
(207) 775-1121

SURVEYOR:

Owen Haskell, Inc.
16 CASCO STREET
PORTLAND, MAINE 04101
(207) 774-0424

ARCHITECT:

Leland Hulst
278 SPRING STREET
PORTLAND, MAINE 04102
(207) 773-2843

UTILITIES

SEWER

ATTN: MR. TODD MERRILL
PORTLAND PUBLIC WORKS
56 PORTLAND STREET
PORTLAND, ME 04104
(207) 874-8800

WATER

ATTN: MR. DAVE COFFIN
PORTLAND WATER DISTRICT
226 DOUGLAS STREET
P.O. BOX 3659
PORTLAND, ME 04102-3653
(207) 774-5981 EXT. 3041

ELECTRIC

ATTN: MR. TOM ATWOOD
CENTRAL MAINE POWER COMPANY
182 CASCO ROAD
P.O. BOX 1801
PORTLAND, ME 04104
(207) 828-2821

TELEPHONE

ATTN: MR. JOHN CAPRIO
VERIZON
13 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1229

CABLE

ATTN: MR. TOM SMITH
TIME WARNER CABLE
118 JOHNSON ROAD
PORTLAND, MAINE 04102
(207) 775-3431

DIG SAFE

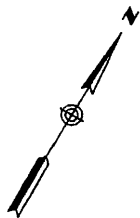
CALL BEFORE YOU DIG 1.888.DIG.SAFE
WWW.DIGSAFE.COM

GENERAL NOTES:

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE CITY OF PORTLAND.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
 - ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
 - ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
 - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL STANDARDS.
 - THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED ON THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL REPRESENTATIONS MADE BY THE APPLICANT CONCERNING THE DEVELOPMENT AND USE OF THE PROPERTY WHICH APPEAR IN THE RECORD OF THE PLANNING AUTHORITY PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
 - ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS:
GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 609.03 AND 609.04.
 - ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB OR FACE OF BUILDING.
 - BUILDING SUMMARY: PROPOSED 4,549 S.F.
 - ZONING DATA:
R-8 RESIDENTIAL (SEE SECTION 14-139(2))
PER SECTION 14-139(2) THE PROPOSED SITE IS A LOT OF RECORD PRIOR TO 01/01/05 AS RECORDED AT THE C.C.R.D. 11/05/1995 BOOK 1219B, PAGE 282.
SPACE AND BULK REGULATIONS
- | | REQUIRED | ACTUAL |
|---|-----------|-------------|
| MINIMUM LOT AREA | NONE | 5,512 S.F. |
| MINIMUM LOT WIDTH | NONE | 72.00' |
| MINIMUM PRINCIPAL STRUCTURE HEIGHT | 2 STORIES | 3 STORIES |
| MAXIMUM PRINCIPAL STRUCTURE HEIGHT | 45' | 44' |
| MINIMUM STRUCTURE SETBACKS | | |
| FRONT YARD | <10' | 3' |
| SIDE YARD | NONE | 10', 14.99' |
| REAR PARCEL | NONE | 12' |
| 14-139(2)F - OPEN SPACES REQUIREMENT | | |
| -DESIGNATED OPEN SPACE 24'X24' OR 576 SF OR 10.44% OF LOT. | | |
| -1 EXTERIOR DECK 15'X15' OR 225 SF. | | |
| 14-139(2)H - MINIMUM LAND AREA PER DWELLING ~725 SF. ACTUAL PROVIDED IS 2,758 SF PER DWELLING UNIT. | | |
| DEF. STREET PARKING (SECTION 14-1401) | | |
| PARKING STALL DIMENSION | 9'x18' | 9'x18' |
| # OF SPACES | 2 | 2 |
- THE SITE IDENTIFICATION TECHNIQUE SPECIFIC REQUIRE REVIEW
 - AN APPROPRIATE AVALANCH
 - WARNING STREETS
 - CONSTRUCTION WITH THE
 - ANY DAY ACTIVITIES
 - PROPERLY ALL TIME REPLACE CONTRA
 - ALL SANITARY WORKS I
 - A STREET WORKS I

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

1	12.04.07	SUBMITTED FOR SITE PLAN REVIEW	
REV	DATE	DESCRIPTION	
REVISIONS			P.E. STEPHEN R. BUSHEY LIC. #7429

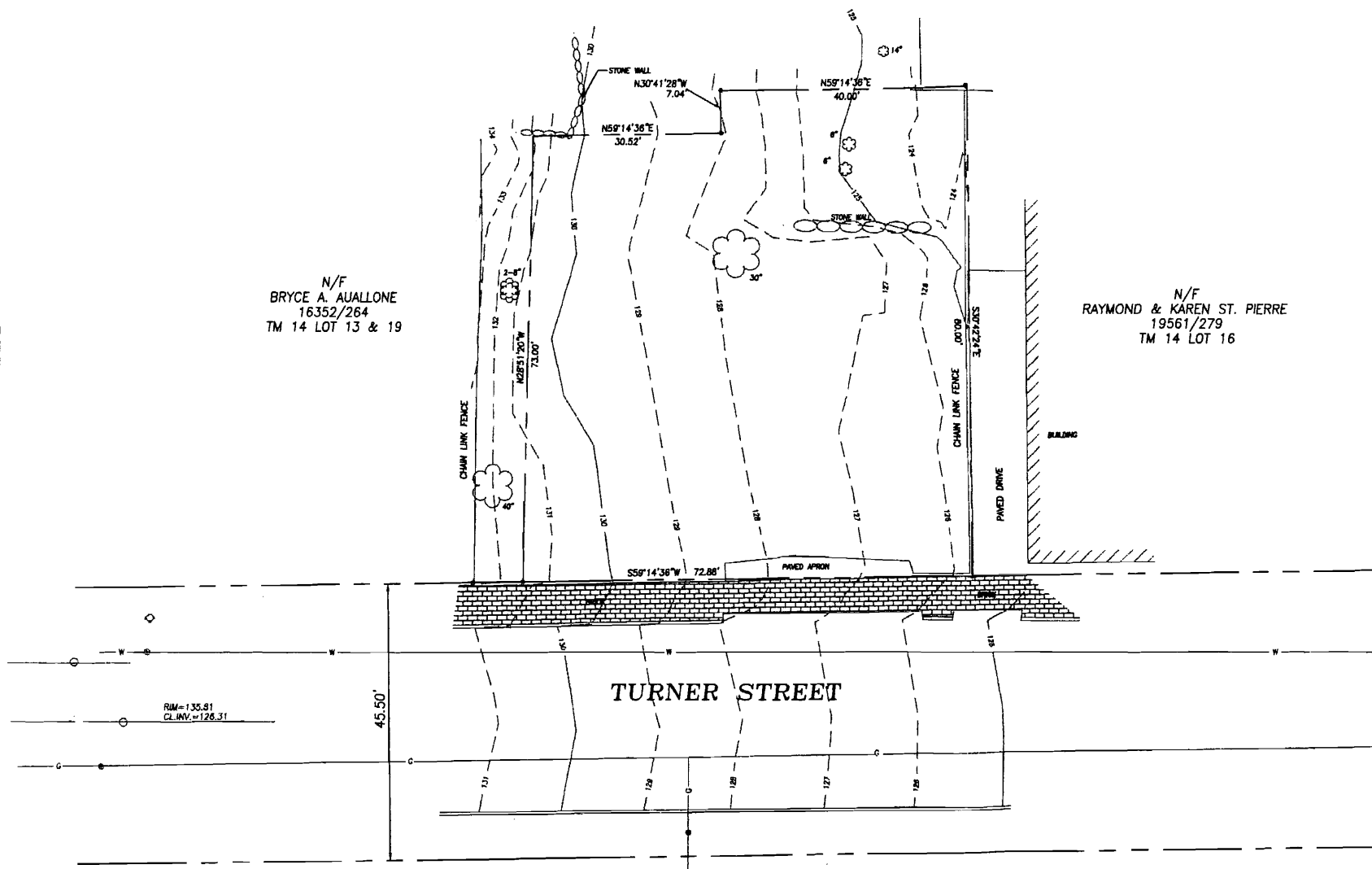


N/F
ERICK & CHRISTINE PEDERSON
16698/259
TM 14 LOT 11

N/F
BRYCE A. AUALLONE
16352/264
TM 14 LOT 13 & 19

N/F
RAYMOND & KAREN ST. PIERRE
19561/279
TM 14 LOT 16

HOWARD STREET



LEGEND:

- IRON PIPE OR ROD FOUND
- GAS VALVE
- WATER VALVE
- HYDRANT
- MANHOLE
- FENCE
- WATER LINE
- GAS LINE
- CURB
- 100 — 1' CONTOUR
- DECIDUOUS TREE

PLAN REFERENCE

*STANDARD BOUNDARY SURVEY PROPERTY PLAN & LOT DIVISION 39 HOWARD & 43-47 TURNER ST. PORTLAND, ME. MADE FOR JANICE B. COLELLO BY JOHN D. PALMER DATED JULY 28, 1995

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

NOTE

BENCHMARK CITY DATUM T102-87-1 MON CORNER OF WILSON AND MORNING STREET EL=114.63

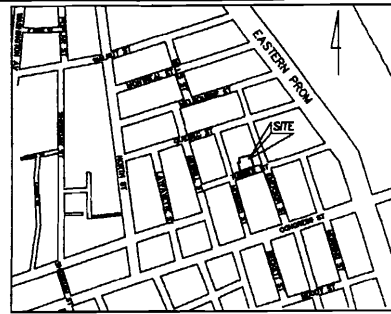
DATE

JOHN W. SWAN, PLS NO. 1038

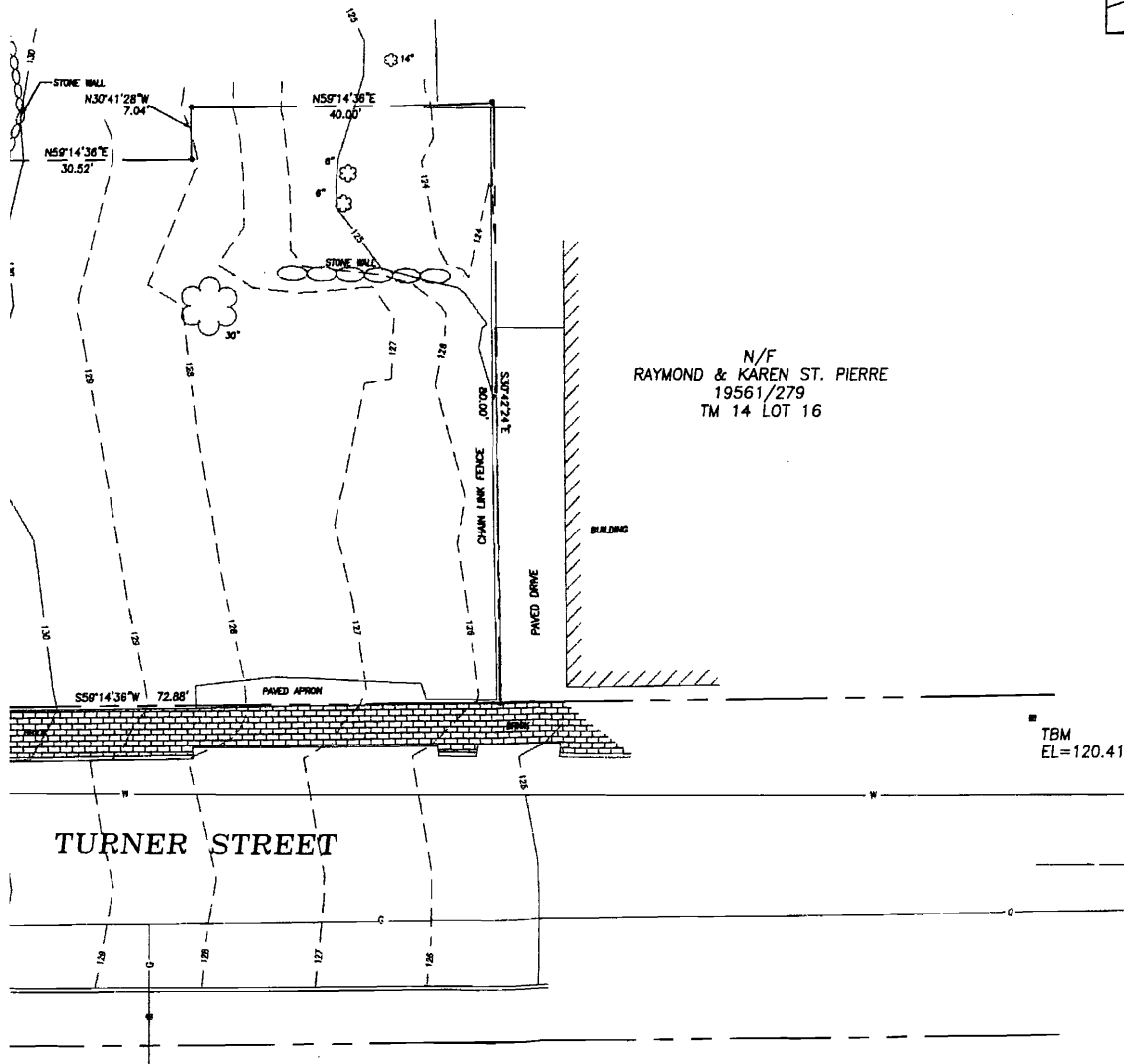
GRAPHIC SCALE



N/F
ERICK & CHRISTINE PEDERSON
16698/259
TM 14 LOT 11



LOCATION MAP N.T.S.



N/F
RAYMOND & KAREN ST. PIERRE
19561/279
TM 14 LOT 16

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DATE

JOHN W. SWAN, PLS NO. 1038

BOUNDARY AND TOPOGRAPHIC SURVEY

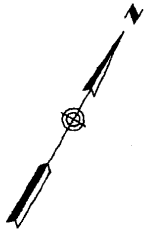
ON
45 TURNER STREET, PORTLAND, MAINE
MADE FOR
CYRUS HAGGE
225 COMMERCIAL ST., PORTLAND, MAINE



OWEN HASKELL, INC.

16 CARO ST., PORTLAND, ME 04101 (207) 774-0484
PROFESSIONAL LAND SURVEYORS

Drawn By	RWC	Date	Job No.
Trace By	RWC	OCTOBER 29, 2007	2007-196 P
Check By	JWS	Scale	Drwg. No.
Book No.	1059	1" = 10'	C-2

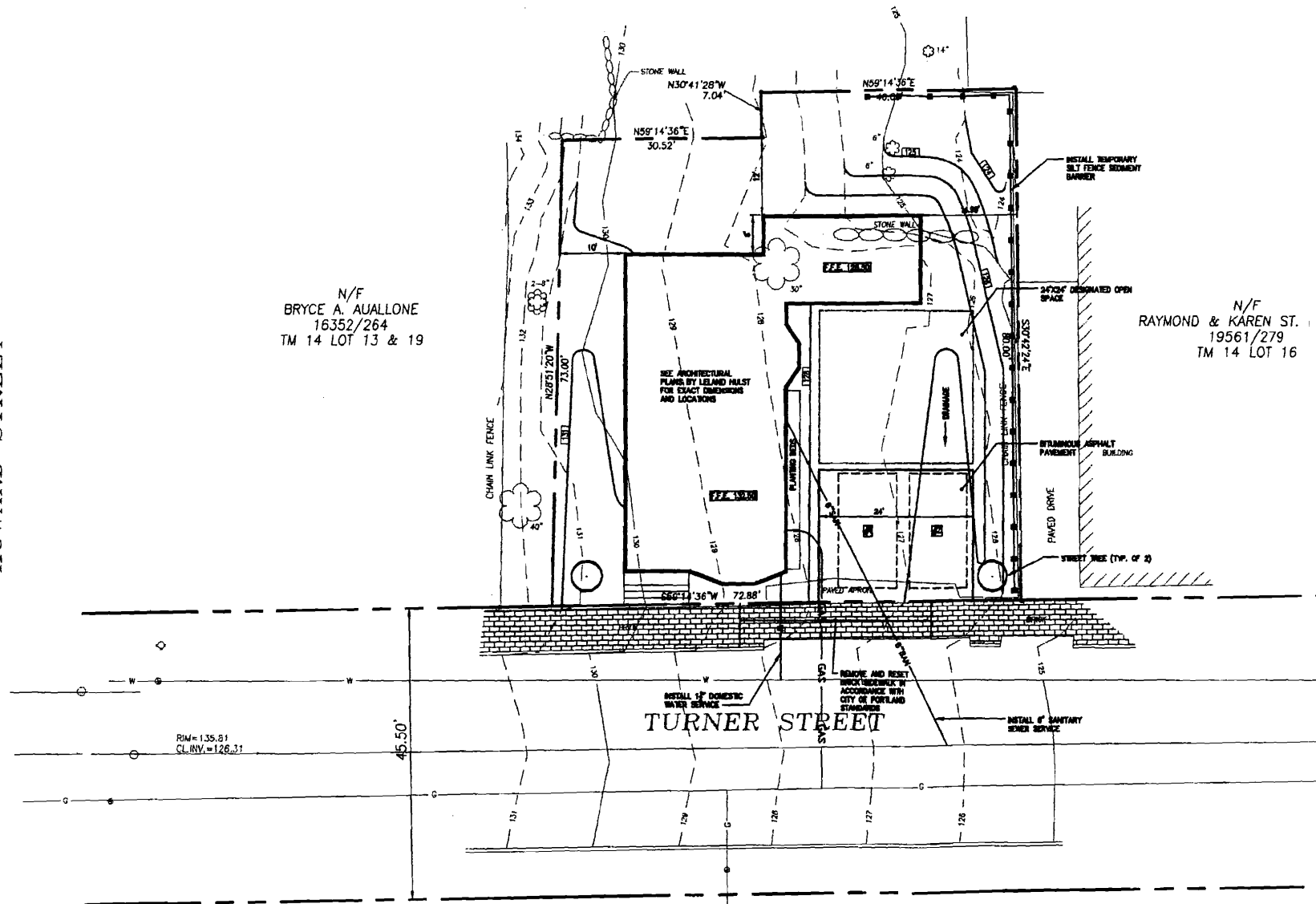


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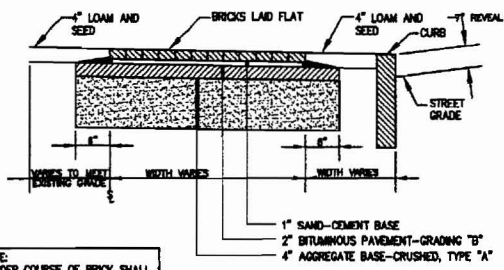
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RAYMOND & KAREN ST.
19561/279
TM 14 LOT 16

HOWARD STREET



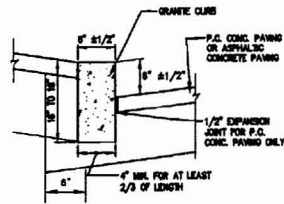
PRELIMINARY

REV	DATE	DESCRIPTION	REVISIONS
1	12.04.07	SUBMITTED FOR SITE PLAN REVIEW	



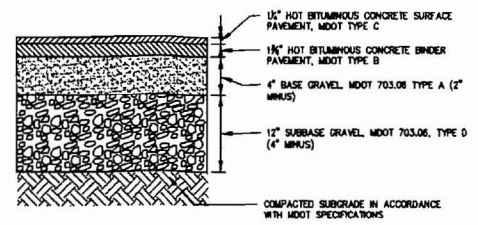
NOTE:
BORDER COURSE OF BRICK SHALL
BE MORTARED TO CONCRETE BASE

(A) BRICK SIDEWALK DETAIL
N.T.S.



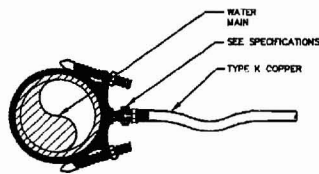
NOTES:
1. VERTICAL GRANITE CURB TO MEET MDOT STANDARD SPECIFICATIONS
2. JOINTS SHALL BE MORTARED
3. JOINT SEPARATION SHALL BE 1/8" AND 5/8"
4. MAX. LENGTH OF STRAIGHT CURB SECTIONS = 8'; MIN. LENGTH = 3'
5. CIRCULAR CURB REQUIRED FOR RADII LESS THAN 5'

(B) VERTICAL GRANITE CURB DETAIL
N.T.S.



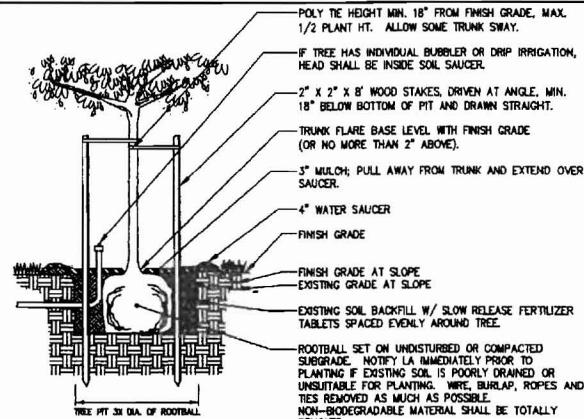
NOTES:
1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES.
2. ALL MATERIALS AND COMPACTION SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION.

**(C) STANDARD DUTY
BITUMINOUS CONCRETE PAVEMENT SECTION**
N.T.S.

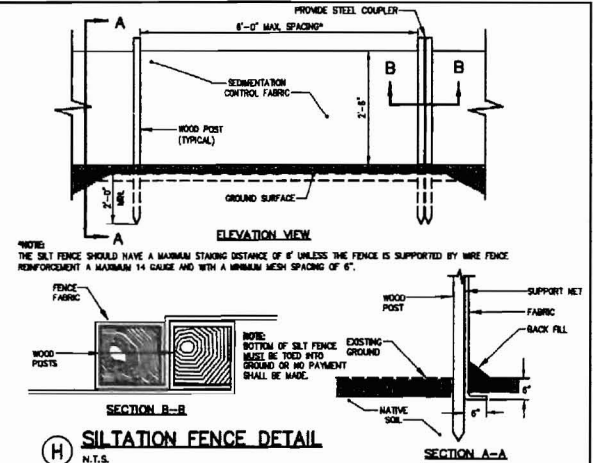


NOTE:
SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE
INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN
45° ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR "GOOSENECK" IN
THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND
"GIVE" TO COUNTERACT THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR
EXPANSION AND/OR CONTRACTION.

(E) WATER SERVICE DETAIL
N.T.S.



(F) TREE INSTALLATION DETAIL: <10' HT.
N.T.S.



NOTE:
THE SILT FENCE SHOULD HAVE A MINIMUM STAKING INTERVAL OF 6' UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE
REINFORCEMENT A MAXIMUM 14 GAUGE AND WITH A MINIMUM MESH SPACING OF 6'.

NOTE:
BOTTOM OF SILT FENCE
MUST BE TIED INTO
GROUND OR NO PAYMENT
SHALL BE MADE.

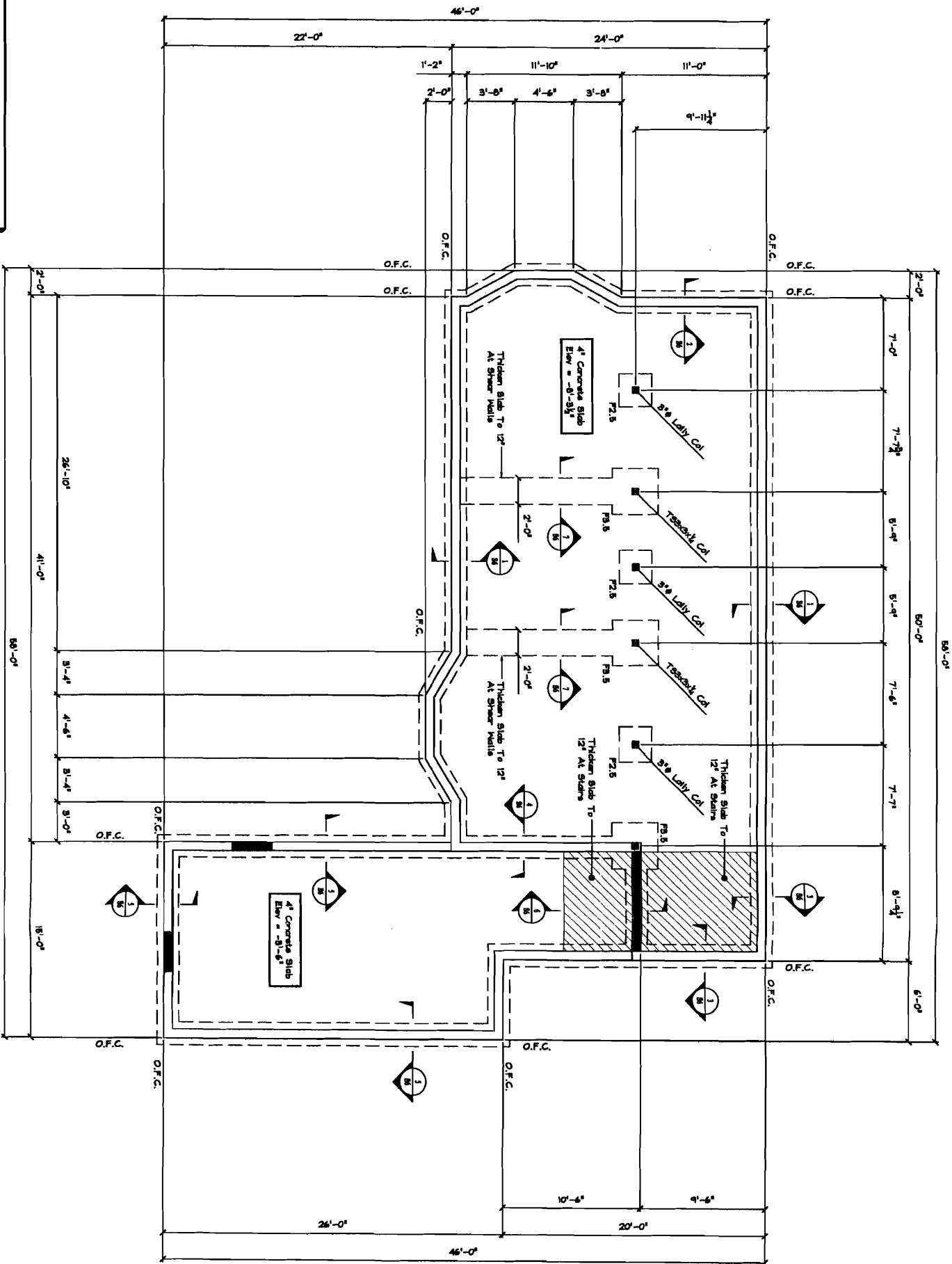
(H) SILTATION FENCE DETAIL
N.T.S.

REV	DATE	DESCRIPTION	REVISIONS
1	12.04.07	SUBMITTED FOR SITE PLAN REVIEW	

P.E. STEPHEN R. B.
LIC. #7429

FOOTING SCHEDULE			
Footing	Reinforcement	Dimensions	
		Length	Width
F2.5	(3) #6's Each Way @ Bottom	2'-6"	12"
F3.5	(4) #6's Each Way @ Bottom	3'-6"	12"

Note: Slab Based On An Assumed Bearing Capacity of 2,000 psf



FOUNDATION PLAN

Scale: 1/8" = 1'-0"

O.F.C. = 0	Typical Inlet
	4" Cap
	M.I.P.
	Leaves
	Joints