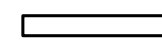

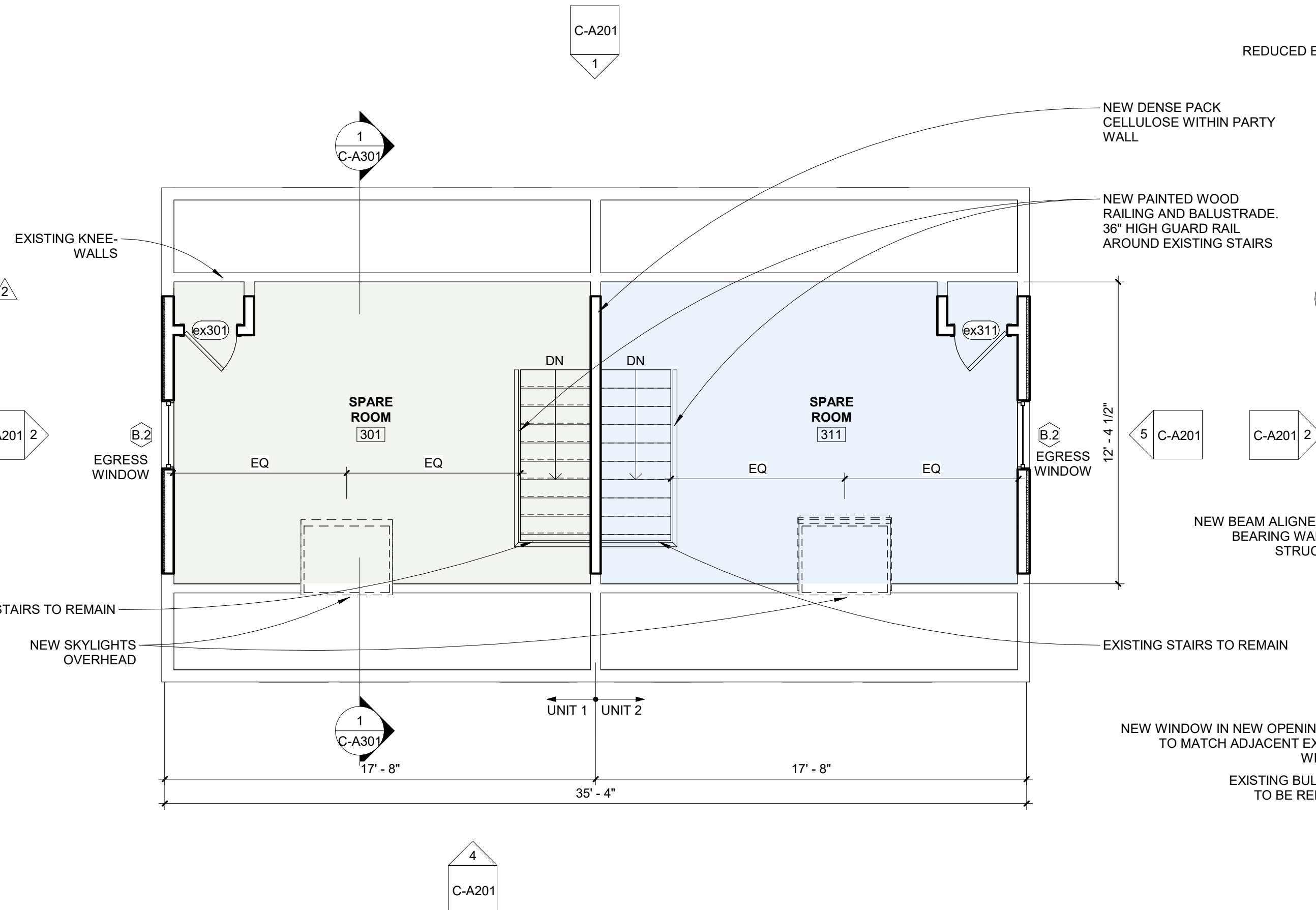


GENERAL NOTES:

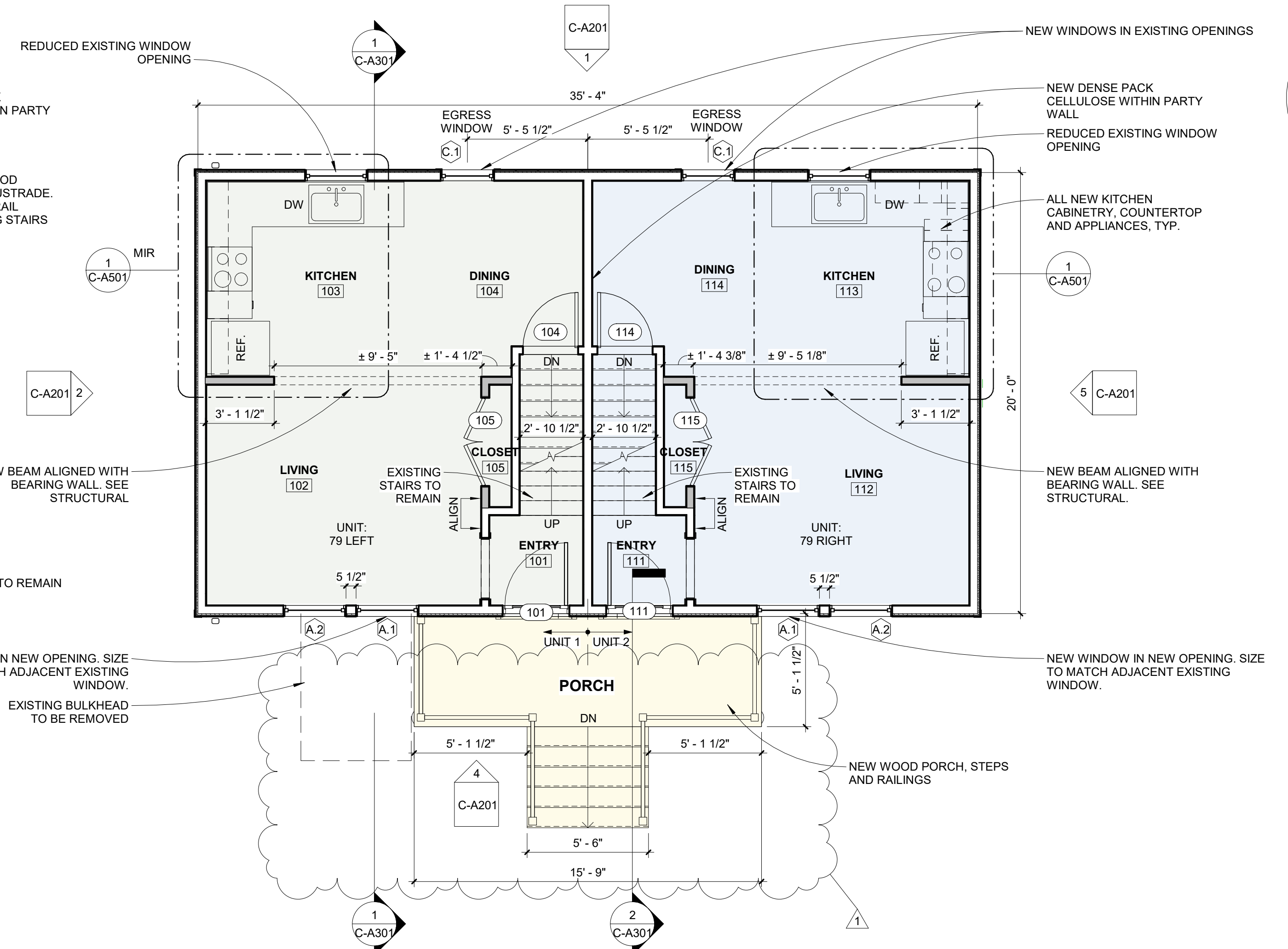
- DESIGN INTENT IS FOR EACH UNIT TO MIRROR EACH OTHER.
- TYPICAL INTERIOR WALL ASSEMBLY WHERE APPLICABLE:
 - 1/2" GWB
 - 2x4 WOOD FRAMING @ 16" O.C.
 - ACOUSTIC BATT INSULATION
 - 1/2" GWB
- TYPICAL CEILING ASSEMBLY WHERE APPLICABLE:
 - 1/2" GWB
 - WOOD STRAPPING
- PATCH AND PAINT EXISTING WALLS, BASES, TRIM, SILLS, AND CEILINGS WHERE APPLICABLE.
- WHERE FINISHES ARE REPLACED, OR APPLIED OVER EXISTING AT PARTY WALL BETWEEN UNITS CONSTRUCT AS 1-HOUR FIRE RATED ASSEMBLY WITH 5/8" TYPE-X GWB BOTH SIDES.
- REPLACE ALL EXISTING WINDOWS WITH NEW.
- EXISTING #9-0" FLOOR TO FLOOR TO REMAIN
- EXISTING VERTICAL CIRCULATION TO REMAIN
- EXISTING WOOD FLOORING TO REMAIN, REFINISH, PATCH, AND INFILL TO MATCH WHERE REQUIRED.
- BATHROOM, KITCHEN, AND ENTRY TO HAVE TILE FLOOR AND BASE. BATHROOM TO HAVE TILE WALL BASE.
- PROVIDE PAINTED WOOD BASE TO MATCH EXISTING WHERE REQUIRED.
- KITCHEN CABINETS OF PAINTED WOOD
- KITCHEN COUNTERTOP OF QUARTZ
- STAINLESS STEEL APPLIANCES WHERE APPLICABLE.
- ALL NEW PLUMBING FIXTURES (NO EXISTING FIXTURES TO REMAIN)
- PROVIDE NEW LIGHTING THROUGHOUT.
- FILL EXTERIOR WALL CAVITIES WITH BLOWN-IN, DENSE PACK CELLULOSE INSULATION.
- PROVIDE INSULATION AND VAPOR BARRIER BETWEEN BASEMENT AND FIRST FLOOR.
- SEE MECHANICAL AND STRUCTURAL ENGINEER'S REPORT, UPGRADE STRUCTURAL PER THOSE REQUIREMENTS.

WALL LEGEND

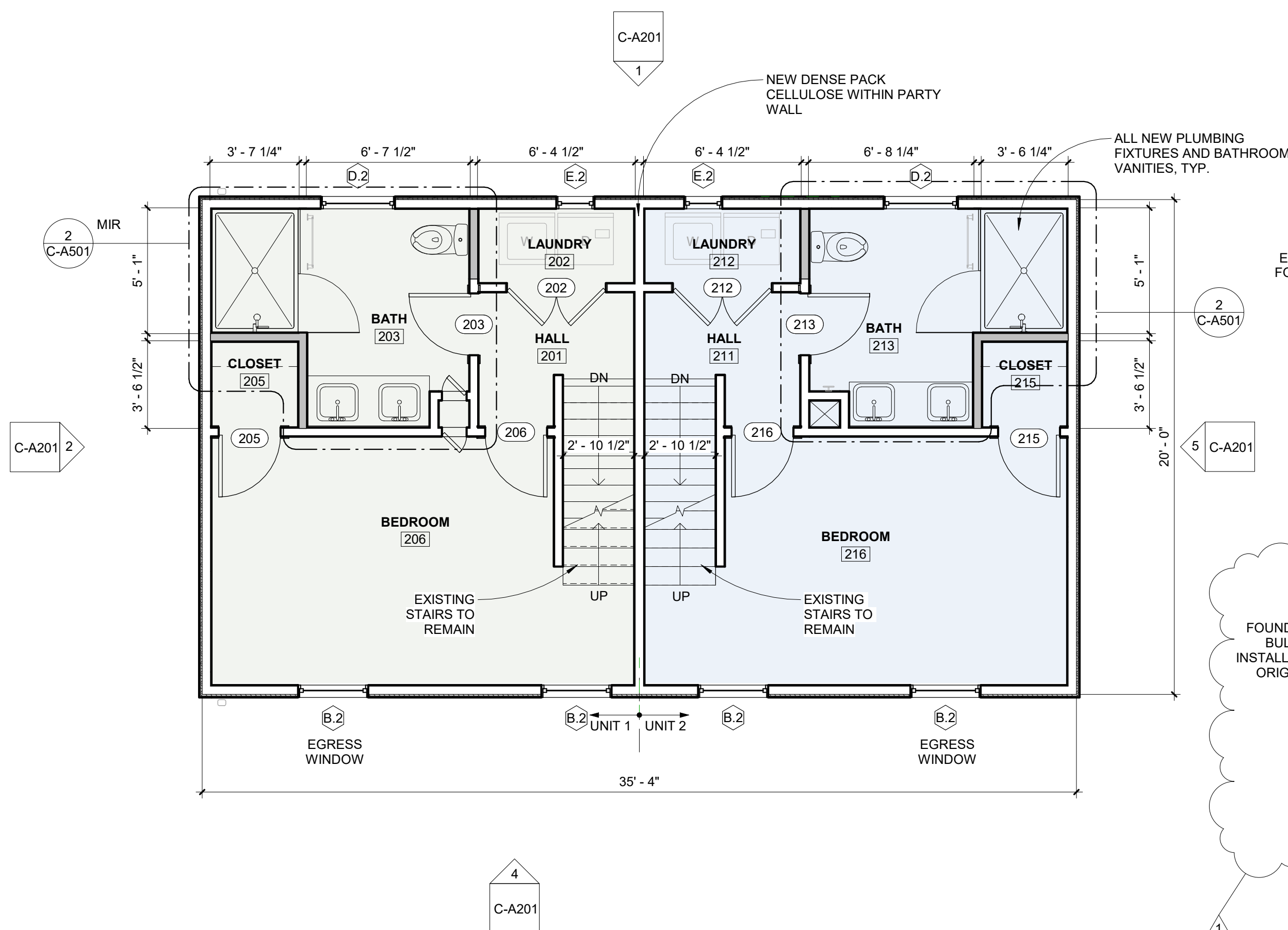
-  INDICATES EXISTING WALL TO REMAIN
-  INDICATES NEW WALL



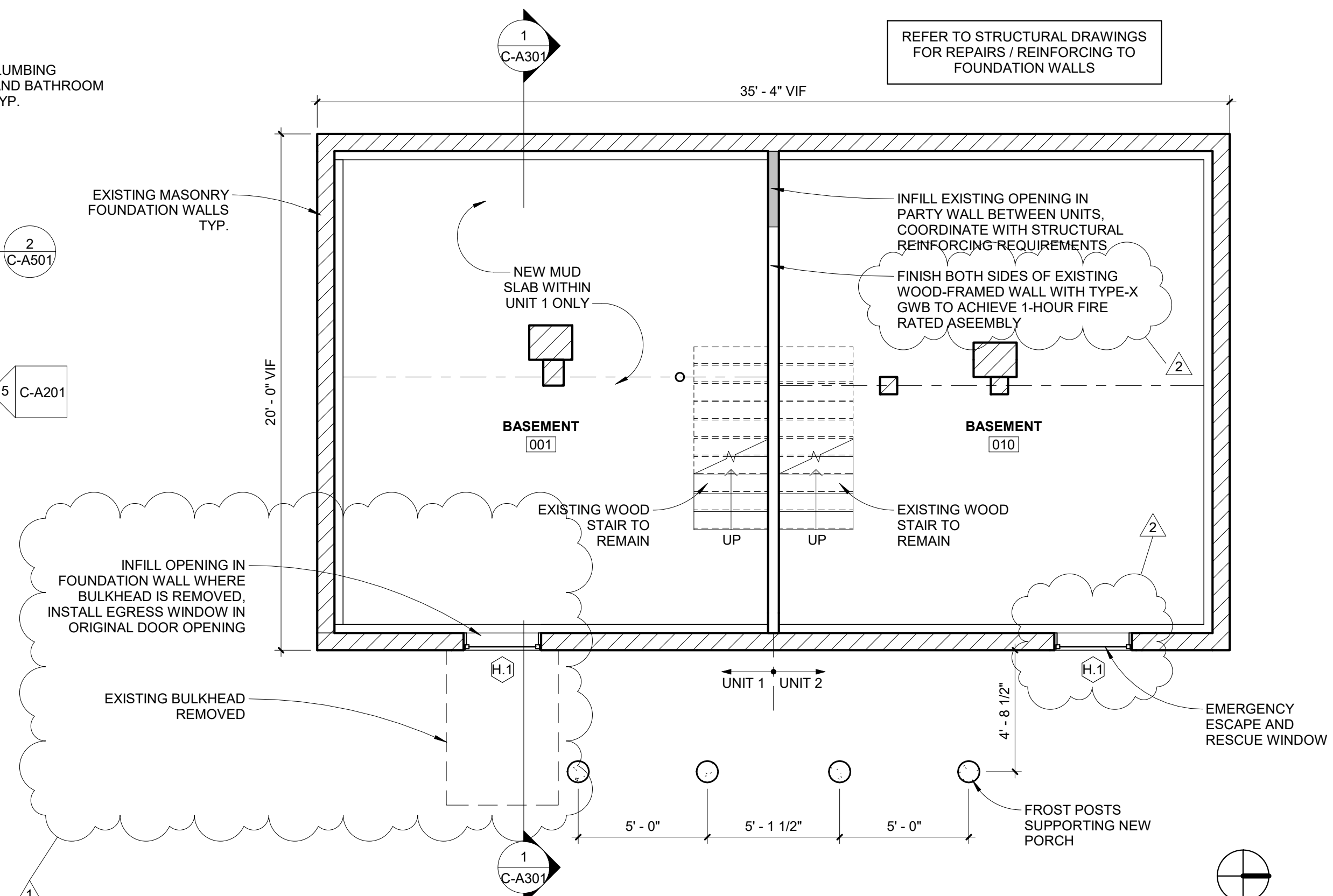
4 Level 03 Floor Plan
1/4" = 1'-0"



2 Level 01 Floor Plan
1/4" = 1'-0"



3 Level 02 Floor Plan
1/4" = 1'-0"



1 Basement Floor Plan
1/4" = 1'-0"



ELLA HOUSING - 79 CONGRESS
79 CONGRESS ST, PORTLAND, ME
RENOVATIONS



CONSULTANTS:

No.	Name	Date
1	REV 1	11/21/17
2	REV 2	12/5/17

ISSUED FOR PERMITTING

ISSUED: 10/13/2017
PROJECT No: 1706
DRAWN BY: LG
CHECKED BY: HH
SHEET TITLE:
FLOOR PLANS

C-A101