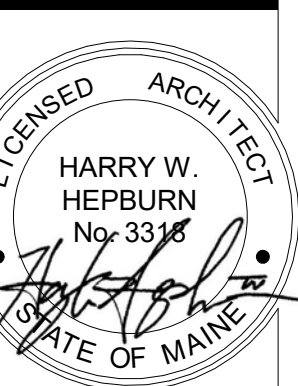
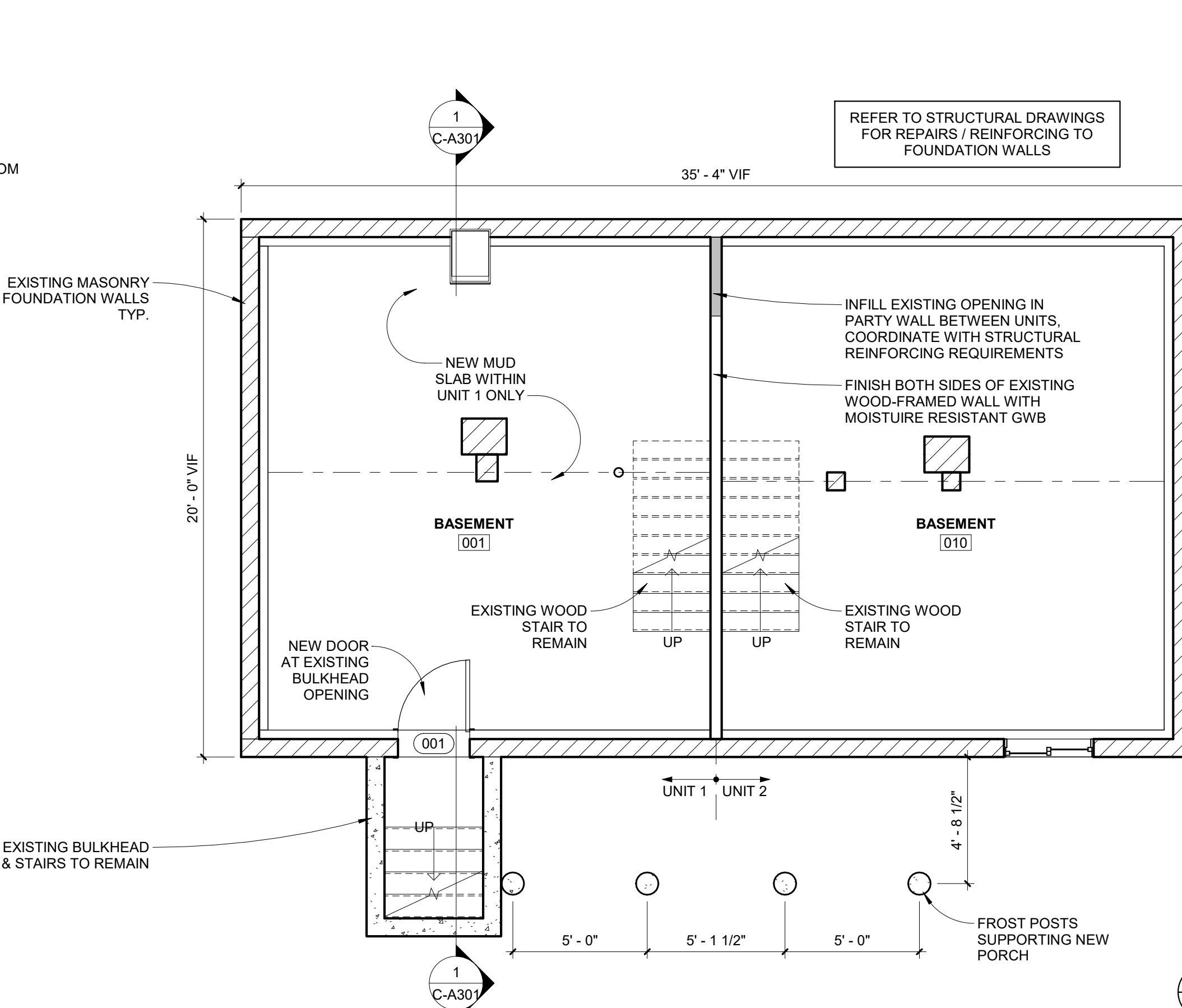
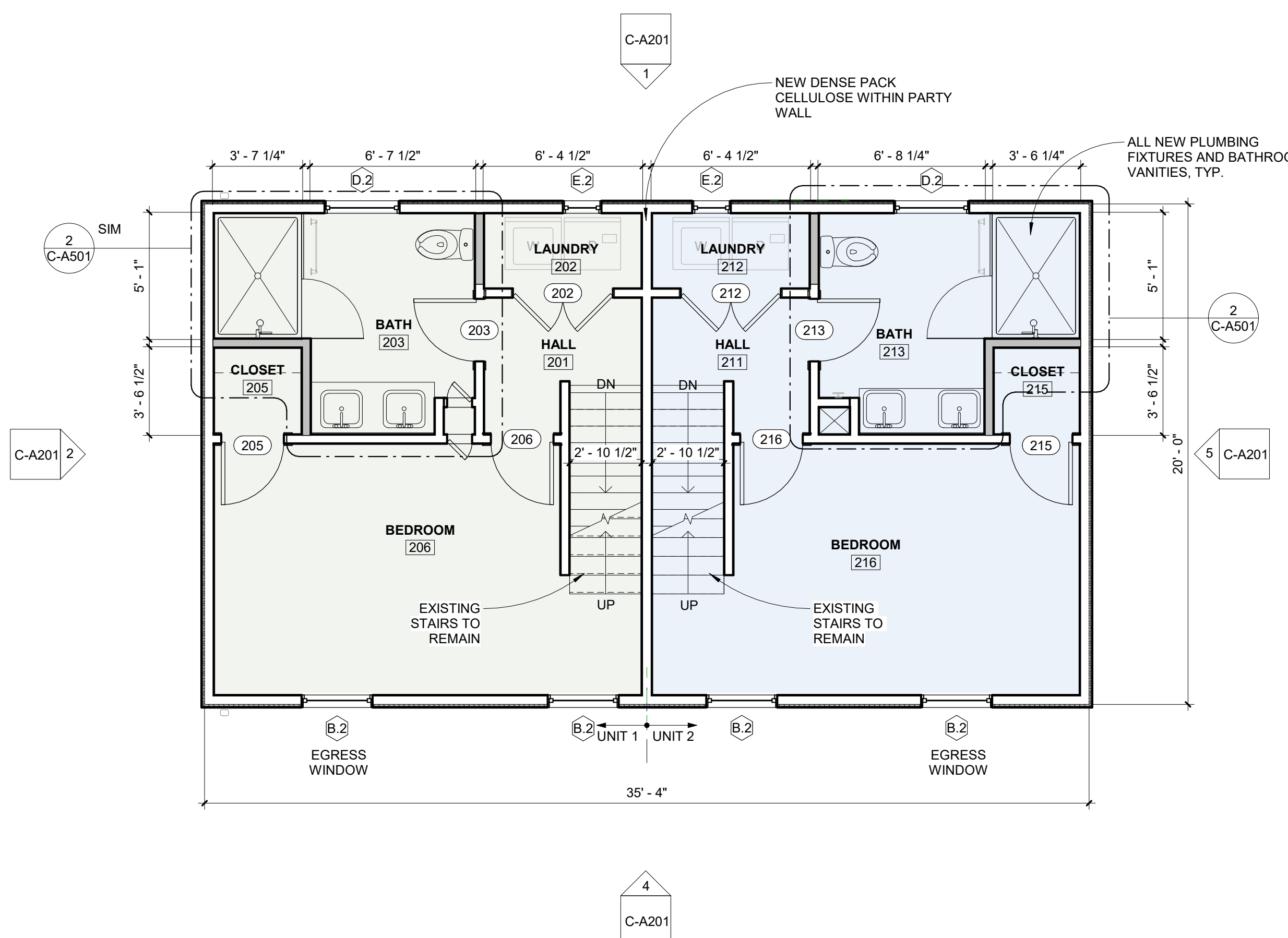
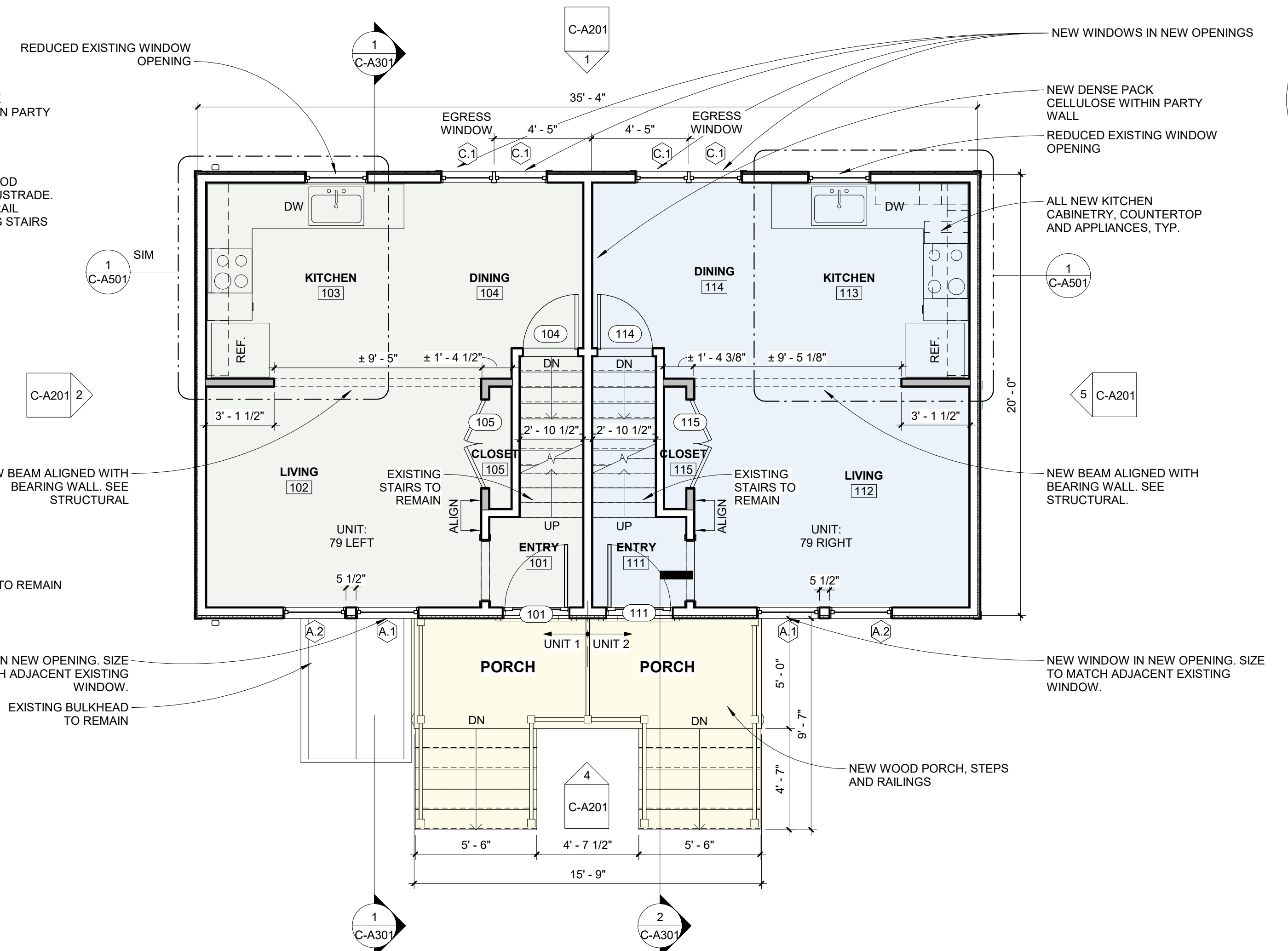
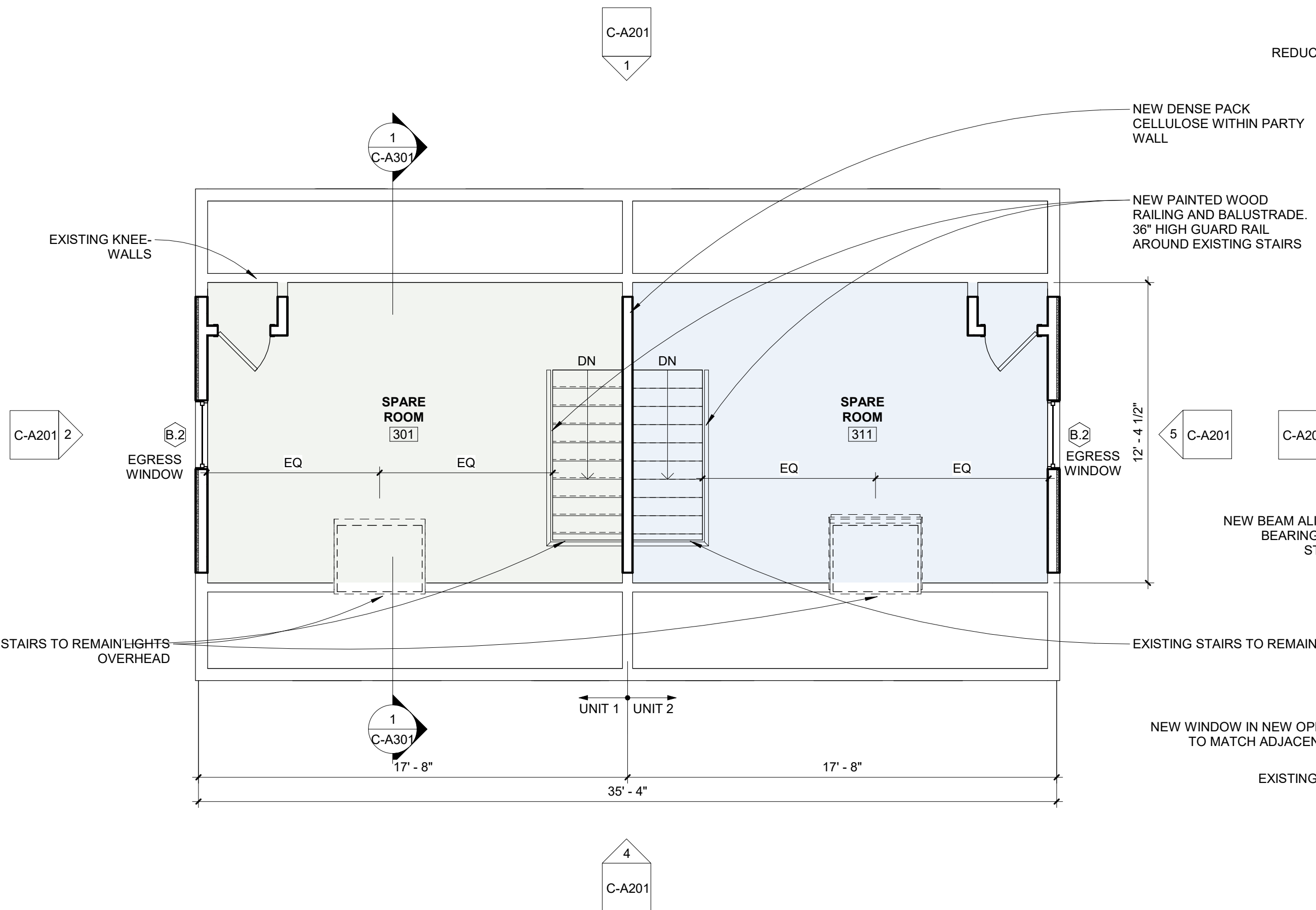


**GENERAL NOTES:**

- DESIGN INTENT IS FOR EACH UNIT TO MIRROR EACH OTHER.
- TYPICAL INTERIOR WALL ASSEMBLY WHERE APPLICABLE:
  - 1/2" GWB
  - 2x4 WOOD FRAMING @ 16" O.C.
  - ACOUSTIC BATT INSULATION
  - 1/2" GWB
- TYPICAL CEILING ASSEMBLY WHERE APPLICABLE:
  - 1/2" GWB
  - WOOD STRAPPING
- PATCH AND PAINT EXISTING WALLS, BASES, TRIM, SILLS, AND CEILINGS WHERE APPLICABLE.
- REPLACE ALL EXISTING WINDOWS WITH NEW.
- EXISTING ±9'-0" FLOOR TO FLOOR TO REMAIN
- EXISTING VERTICAL CIRCULATION TO REMAIN
- EXISTING WOOD FLOORING TO REMAIN. REFINISH, PATCH, AND INFILL TO MATCH WHERE REQUIRED.
- BATHROOM, KITCHEN, AND ENTRY TO HAVE TILE FLOOR AND BASE. BATHROOM TO HAVE TILE WALL BASE.
- PROVIDE PAINTED WOOD BASE TO MATCH EXISTING WHERE REQUIRED.
- KITCHEN CABINETS OF PAINTED WOOD
- KITCHEN COUNTERTOP OF QUARTZ
- STAINLESS STEEL APPLIANCES WHERE APPLICABLE.
- ALL NEW PLUMBING FIXTURES (NO EXISTING FIXTURES TO REMAIN)
- PROVIDE NEW LIGHTING THROUGHOUT.
- FILL EXTERIOR WALL CAVITIES WITH BLOWN-IN, DENSE PACK CELLULOSE INSULATION.
- PROVIDE INSULATION AND VAPOR BARRIER BETWEEN BASEMENT AND FIRST FLOOR.
- SEE MECHANICAL AND STRUCTURAL ENGINEER'S REPORT. UPGRADE STRUCTURAL PER THOSE REQUIREMENTS.
- NOTE: EACH UNIT TO RECEIVE APPROXIMATELY 400 SQFT PATIO WITH ADJACENT NEW PLANTINGS

**WALL LEGEND**

- INDICATES EXISTING WALL TO REMAIN
- INDICATES NEW WALL



**ELLA HOUSING - 79 CONGRESS**  
79 CONGRESS ST, PORTLAND, ME  
RENOVATIONS



CONSULTANTS:

**REVISIONS:**

No.	Name	Date

**ISSUED FOR PERMITTING**

ISSUED: 10/13/2017  
PROJECT No: 1706  
DRAWN BY: LG  
CHECKED BY: HH  
SHEET TITLE: FLOOR PLANS

**C-A101**