

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 1106874  
**PERMIT ISSUED**

Please Read Application And Notes, If Any, Attached

This is to certify that RUTHERFORD CONSTANCE M WID KW VET /Cornerstone Bui  
has permission to amend permit# 100567 to include dormer  
AT 18 HOWARD ST CBL 014 F012001 City of Portland

AUG 23 2011

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

SCANNED

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0874	Issue Date:	CBL: 014 F012001
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Location of Construction: 18 HOWARD ST	Owner Name: RUTHERFORD CONSTANCE M	Owner Address: 18 HOWARD ST	Phone:
Business Name:	Contractor Name: Cornerstone Building & Restoration	Contractor Address: 44 Coyle Street Portland	Phone 2077759085
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-1

Past Use: Single Family Home	Proposed Use: Single Family Home - amend permit# 100567 to include dormer 9'	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>
Signature:	Signature:

Proposed Project Description:  
amend permit# 100567 to include dormer -5'

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 07/23/2010	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/6/10</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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*- verify section 14-43(4) adding 20% of allowable sq ft increase*

**PERMIT ISSUED**

AUG 23 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0874	<b>Date Applied For:</b> 07/23/2010	<b>CBL:</b> 014 F012001
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<b>Location of Construction:</b> 18 HOWARD ST	<b>Owner Name:</b> RUTHERFORD CONSTANCE M	<b>Owner Address:</b> 18 HOWARD ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Cornerstone Building & Restoration	<b>Contractor Address:</b> 44 Coyle Street Portland	<b>Phone:</b> (207) 775-9085
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

<b>Proposed Use:</b> Single Family Home - amend permit# 100567 to include 9' dormer	<b>Proposed Project Description:</b> amend permit# 100567 to include 9' dormer
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 08/06/2010
<b>Note:</b> Dormer is adding 22.5 sf of floor area. Using 2% of allowable 80% increase under section 14-436(b). <b>Ok to Issue:</b> <input checked="" type="checkbox"/>			
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 08/23/2010
<b>Note:</b> <b>Ok to Issue:</b> <input checked="" type="checkbox"/>			
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

**PERMIT ISSUED**

AUG 23 2010

City of Portland

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

PERMIT ISSUED

AUG 23 2010

City of Portland



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>18 Howard St</u>		
Total Square Footage of Proposed Structure/Area <u>2400</u>	Square Footage of Lot <u>3239 + 074 Area</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant * <b>must be owner, Lessee or Buyer*</b> Name <u>Thomas Landry</u> Address <u>44 Coyle St Portland</u> City, State & Zip <u>Portland Me 04101</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Thomas Landry</u> Address <u>44 Coyle St</u> City, State & Zip <u>Portland Me 04101</u>	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>Single Family</u> Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description:		
Contractor's name: <u>Cornerstone Building + Restoration</u> Address: _____ City, State & Zip <u>Portland Me 04101</u> Telephone: <u>975-9085</u> Who should we contact when the permit is ready: <u>Alan Trask</u> Telephone: <u>252-8552</u> Mailing address: <u>44 Coyle St Portland Me 04101</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

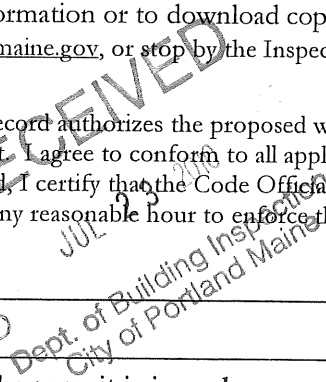
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 7-27-10

**This is not a permit; you may not commence ANY work until the permit is issued**



42' +/-

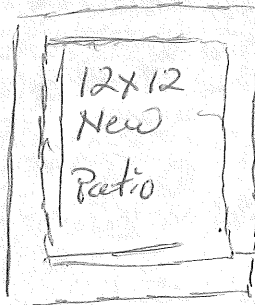
lot size = 3231 sq ft

- using section 14-436 (b)  
80% of 1226 sq ft = 980.8 sq ft  
adding 2.5 x 9 = 22.5 sq ft

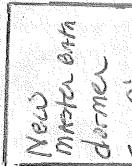
New Wood Fence

$$\frac{22.5}{980.8} = 2.3\%$$

28'



New Porch Roof



1' Property Line

3'

New Paved Driveway

22'

38'

20'

32'

1' Property Line

90' +/-

Side WALK

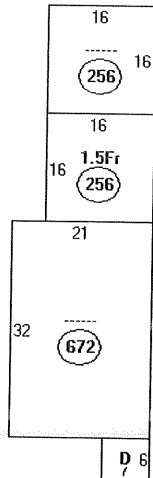
Side WALK

RECEIVED  
City of Portland  
2018  
May 23

Dept. of Building Inspections  
City of Portland  
Maine

New Front Porch

Howard St.



Descriptor/Area

A: .....  
672 sqft  
B: 1.5Fr  
256 sqft  
C: .....  
256 sqft  
D: WD  
42 sqft

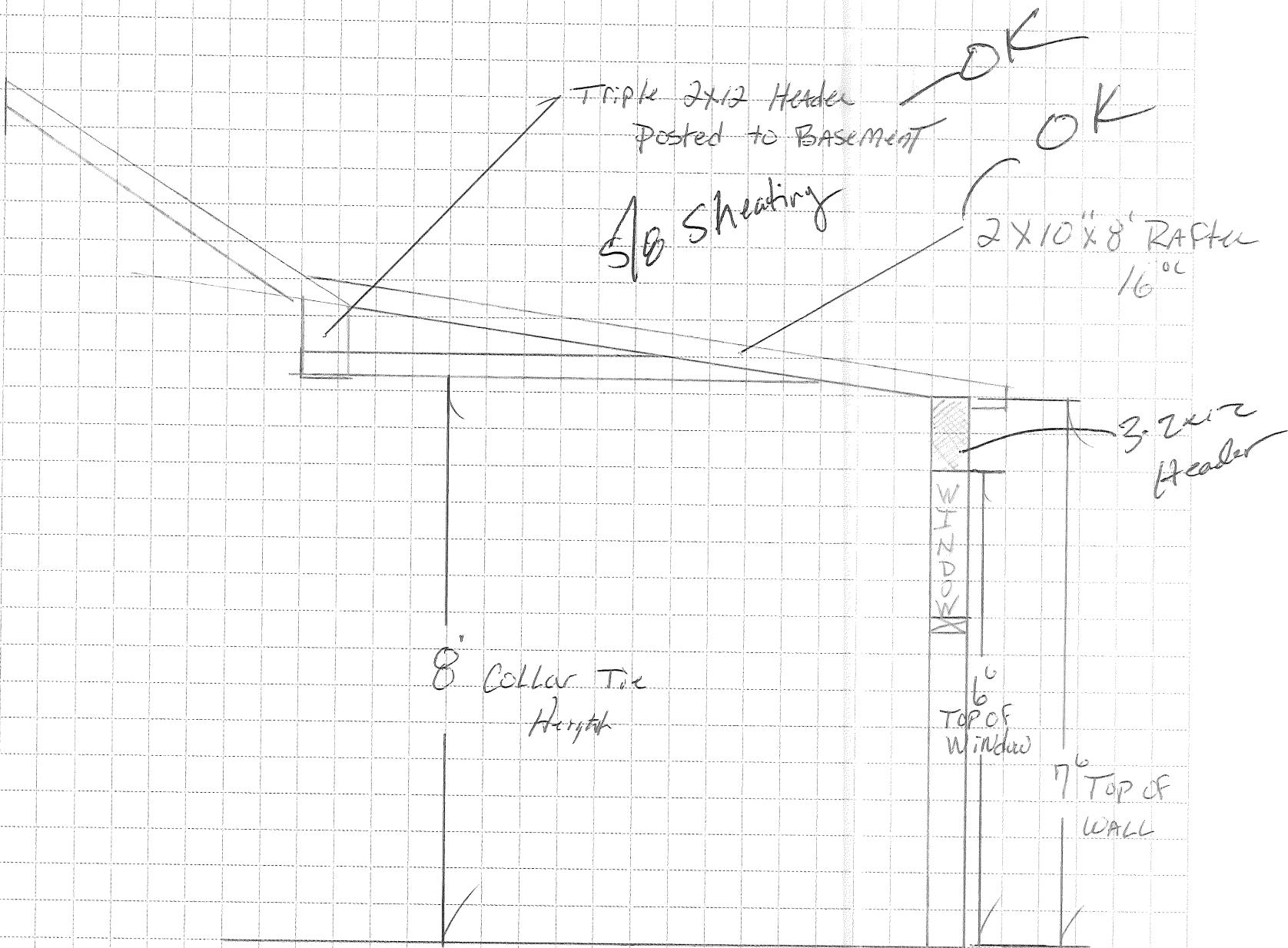
~~672~~

672  
256  
256  
42

—————

1226

18 Howard





Prospect  
Design

424 FORE STREET  
PORTLAND, ME 04103  
P 207.749.7400

adding  
25 x 9 =



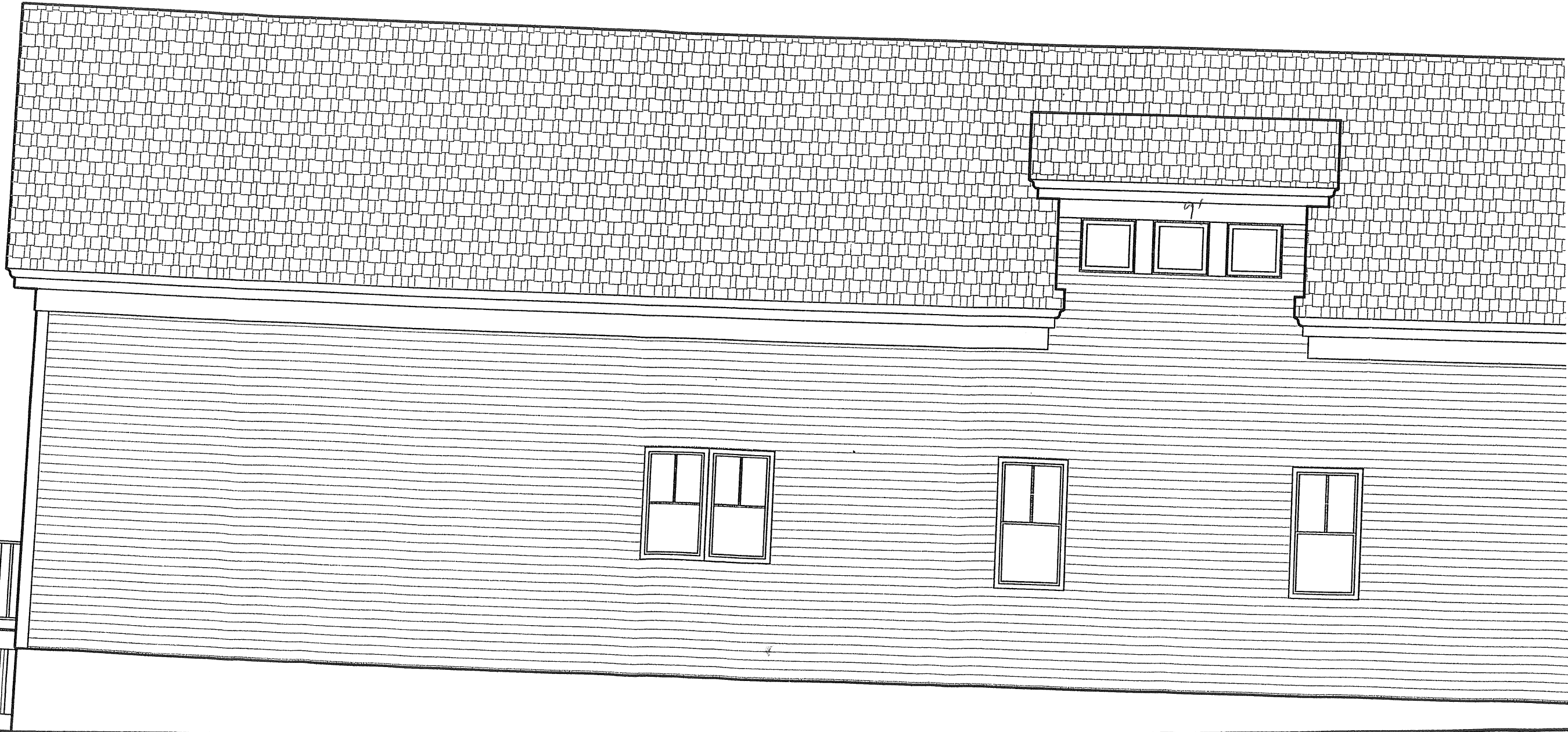
HOWARD STREET

18 HOWARD ST, PORTLAND

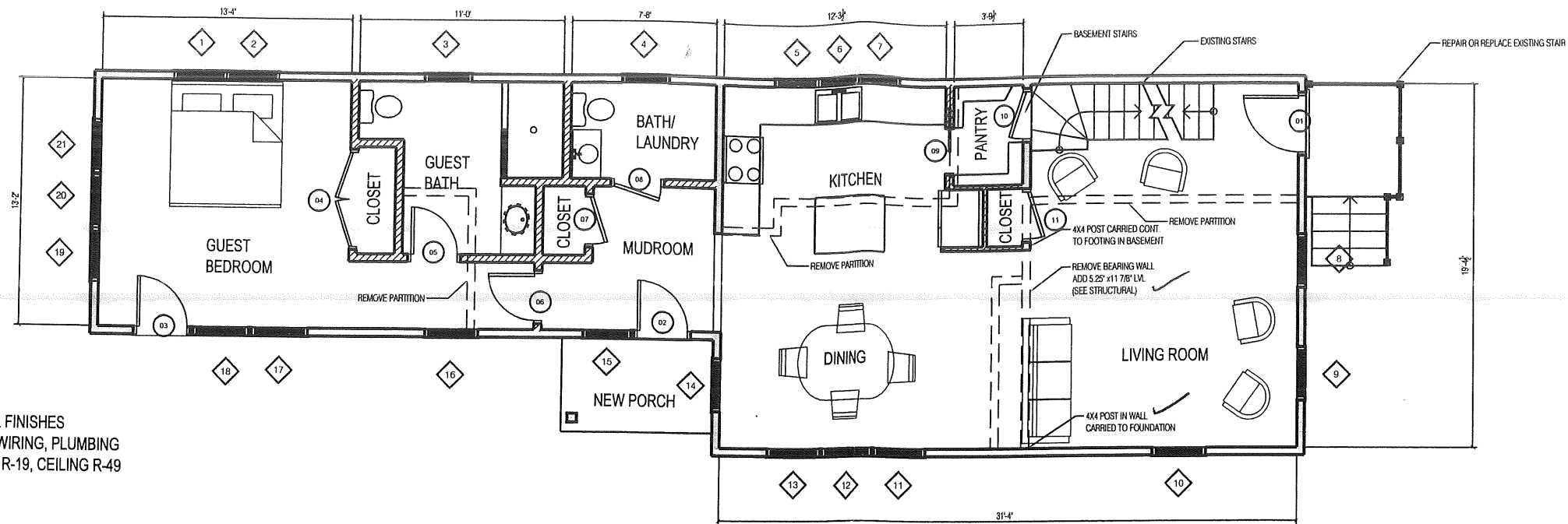
OWNER

TOM LANDRY  
100 CONGRESS ST, PORTLAND

2 EAST ELEVATION  
1/4" = 1'-0"

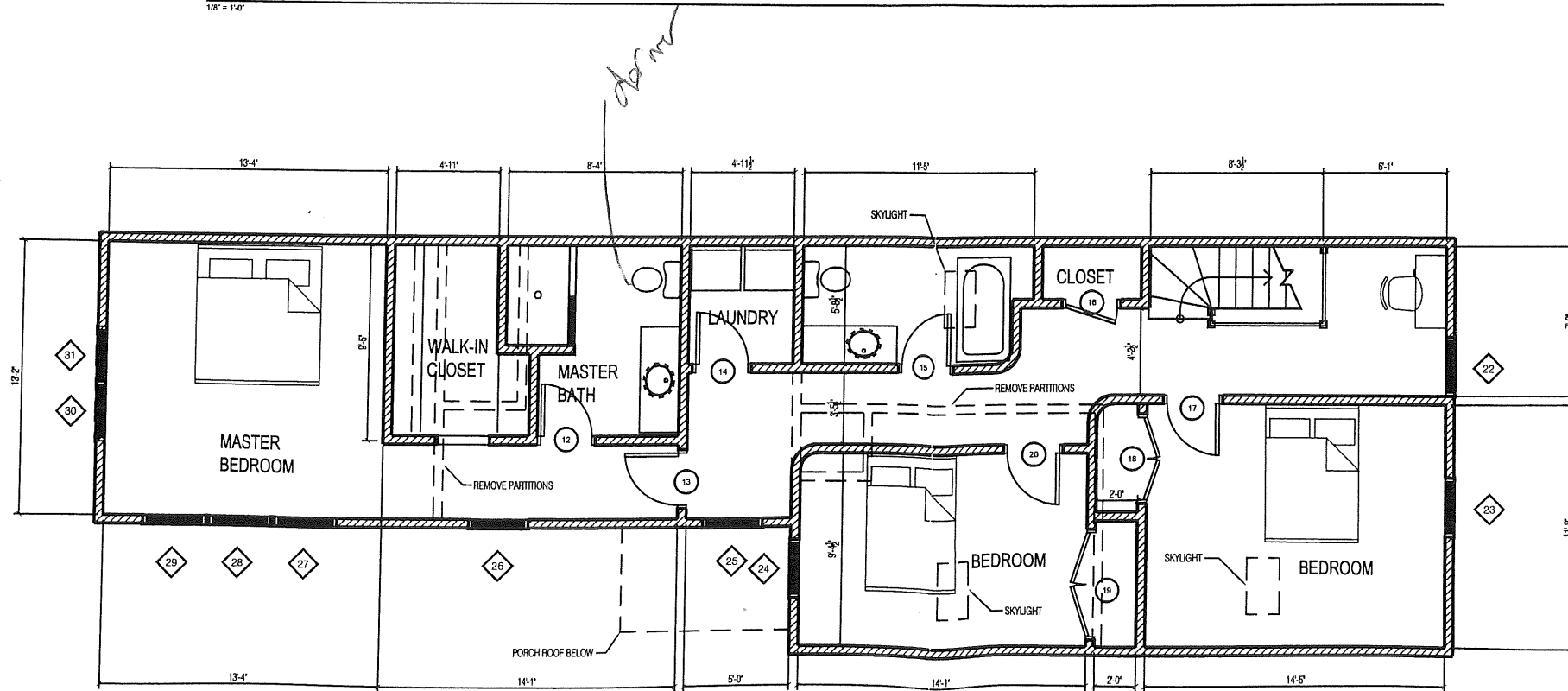


⊙ NORTH ELEVATION



NOTES:  
 REMOVE ALL EXISTING WALL FINISHES  
 PROVIDE NEW INSULATION, WIRING, PLUMBING  
 INSULATION VALUES; WALLS R-19, CEILING R-49

PROPOSED FIRST FLOOR PLAN  
 1/8" = 1'-0"



PROPOSED SECOND FLOOR PLAN  
 1/8" = 1'-0"

SHEET TITLE  
**PROPOSED FIRST FLOOR**

PROJECT  
**HOWARD STREET**

DATE: 05.08.010

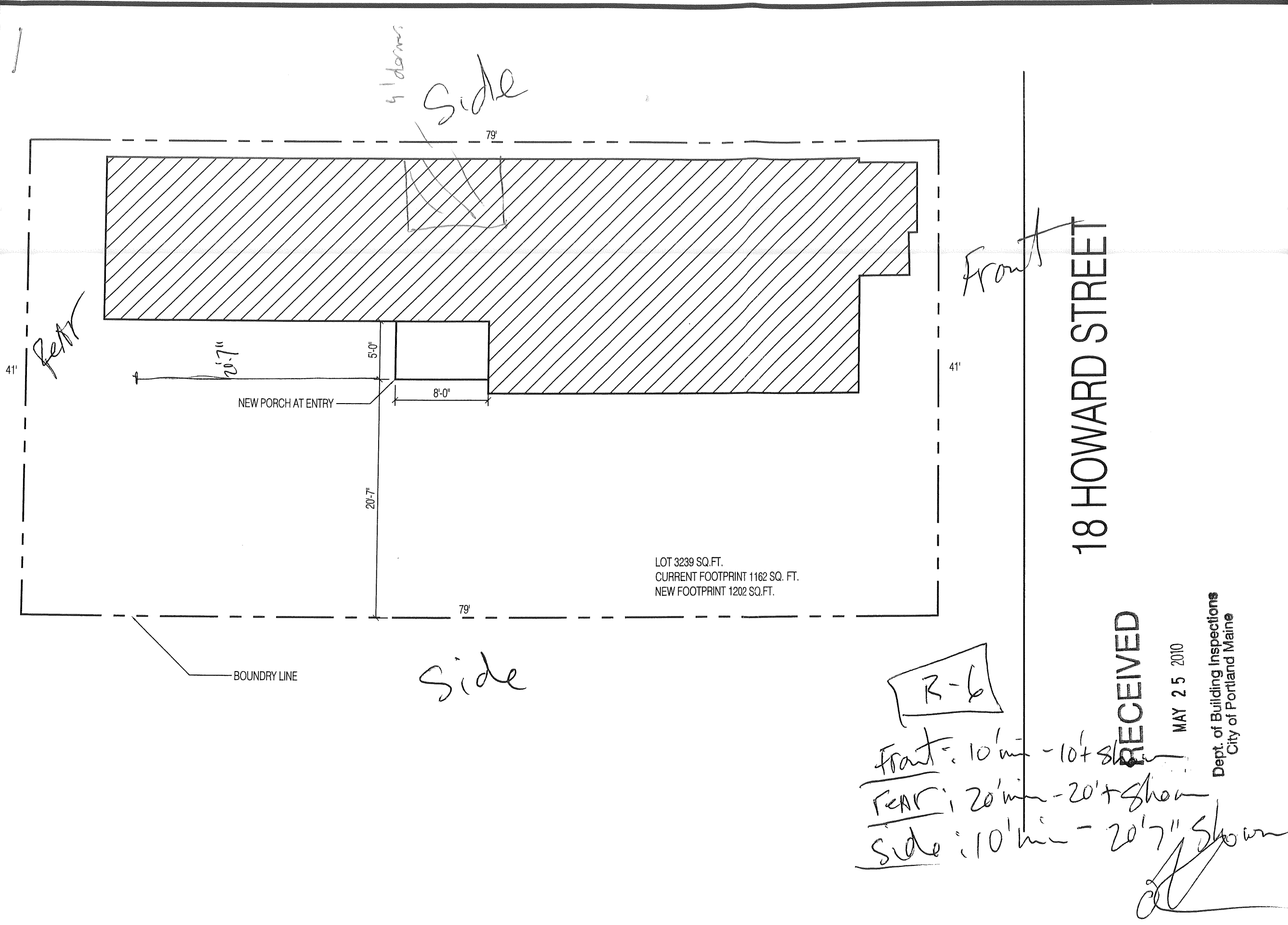
DRAWN BY: BB

*Prospect Design*

424 FORE STREET  
 PORTLAND, ME 04103  
 P 207.749.7400

DRAWING

**A-1.1**



**R-6**

*Front: 10' min - 10' + shown*

*REAR: 20' min - 20' + shown*

*Side: 10' min - 20'7" shown*

*[Signature]*

18 HOWARD STREET

RECEIVED

MAY 25 2010

Dept. of Building Inspections  
City of Portland Maine

SHEET TITLE	SITE PLAN
PROJECT	18 HOWARD STREET
DATE:	05.08.010
DRAWN BY:	BB

**Prospect Design**

424 FORE STREET  
PORTLAND, ME 04103  
P 207.749.7400

DRAWING

**A-1.0**