



# Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: Converse Porch Expansion

PROJECT ADDRESS: 46 Howard Street

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)  
Expand porch by 40 SF. - two family

CHART/BLOCK/LOT: 14 / E / 9

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Derek Converse

Address: 46 Howard Street

Zip Code: 04101

Work #: 207-791-2516

Home #: 207-632-3532

Fax #: 207-791-2571

E-mail: derekconverse@yahoo.com

CONSULTANT/AGENT

Name: \_\_\_\_\_

Address: \_\_\_\_\_

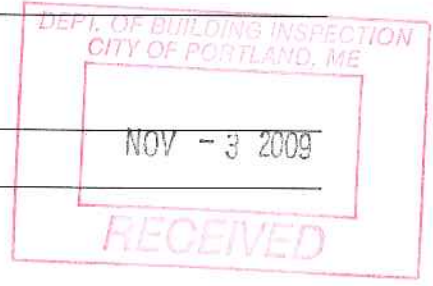
Zip Code: \_\_\_\_\_

Work #: \_\_\_\_\_

Home #: \_\_\_\_\_

Fax #: \_\_\_\_\_

E-mail: \_\_\_\_\_



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NOV - 4 2009

City of Portland  
Planning Division

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?

Applicant's Assessment  
Y(yes), N(no), N/A

No

Yes

Yes

N/A

N/A

N/A

No

No

N/A

N/A

N/A

Planning Division  
Use Only

No

Yes

Yes

No

Yes

No

No

No

No

N/A

N/A

Planning Division Use Only      Exemption Granted     Partial Exemption     Exemption Denied

*The applicant must obtain all applicable building permits.*

Planner's Signature [Signature]      Date Nov. 17, 2009

PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: EXEMPTIONS FROM SITE PLAN REVIEW

**Sec. 14-523. Approval required.**

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
  - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
  - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
  - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
  - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
  - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
  - g. There are no evident deficiencies in existing screening from adjoining properties; and
  - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

**IMPORTANT NOTICE TO APPLICANT**

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

**Planning Shukria Wiar**

November 17, 2009

Conditional of approval:

*The applicant must obtain all applicable building permits.*





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 HOWARD ST.</u>		
Total Square Footage of Proposed Structure/Area <u>40 SF</u>	Square Footage of Lot <u>2,960 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>14</u> Block# <u>E</u> Lot# <u>9</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>DEREK CONVERSE</u> Address <u>46 HOWARD ST.</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>207-632-3532</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2800</u> C of O Fee: \$ _____ Total Fee: \$ <u>40.00</u>
Current legal use (i.e. single family) <u>TWO-FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>TEAR DOWN EXISTING FRONT PORCH; REBUILD NEW FRONT PORCH SLIGHTLY LARGER</u>		
Contractor's name: <u>BROAD SOUND CONSTRUCTION</u> Address: <u>278 POLAND RANGE ROAD</u> City, State & Zip <u>POUNAL, ME</u> Telephone: <u>207-318-9315</u> Who should we contact when the permit is ready: <u>DEREK CONVERSE</u> Telephone: <u>207-632-3532</u> Mailing address: <u>46 HOWARD ST., PORTLAND, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov) or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

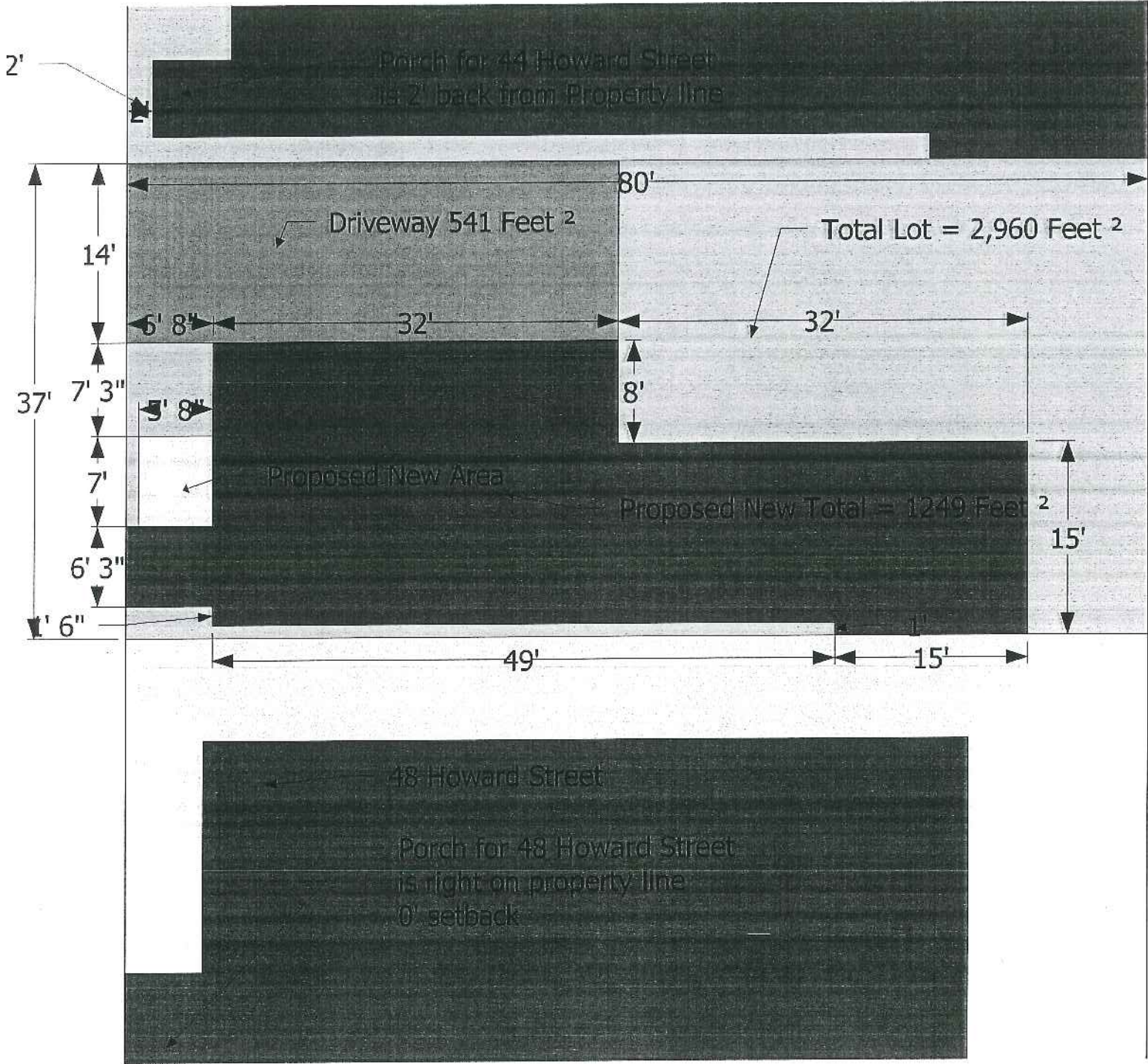
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

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2009 10 26 10 51 AM  
City of Portland  
Inspections Division

Signature: [Signature] Date: 10/26/09

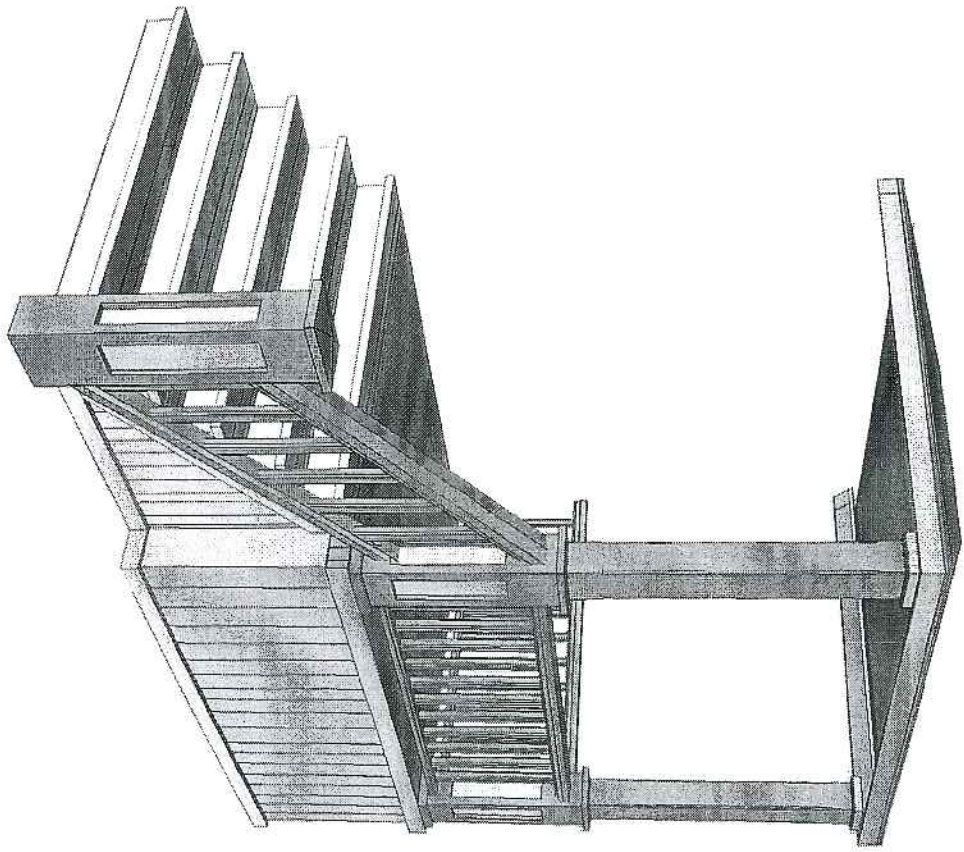
This is not a permit; you may not commence ANY work until the permit is issue

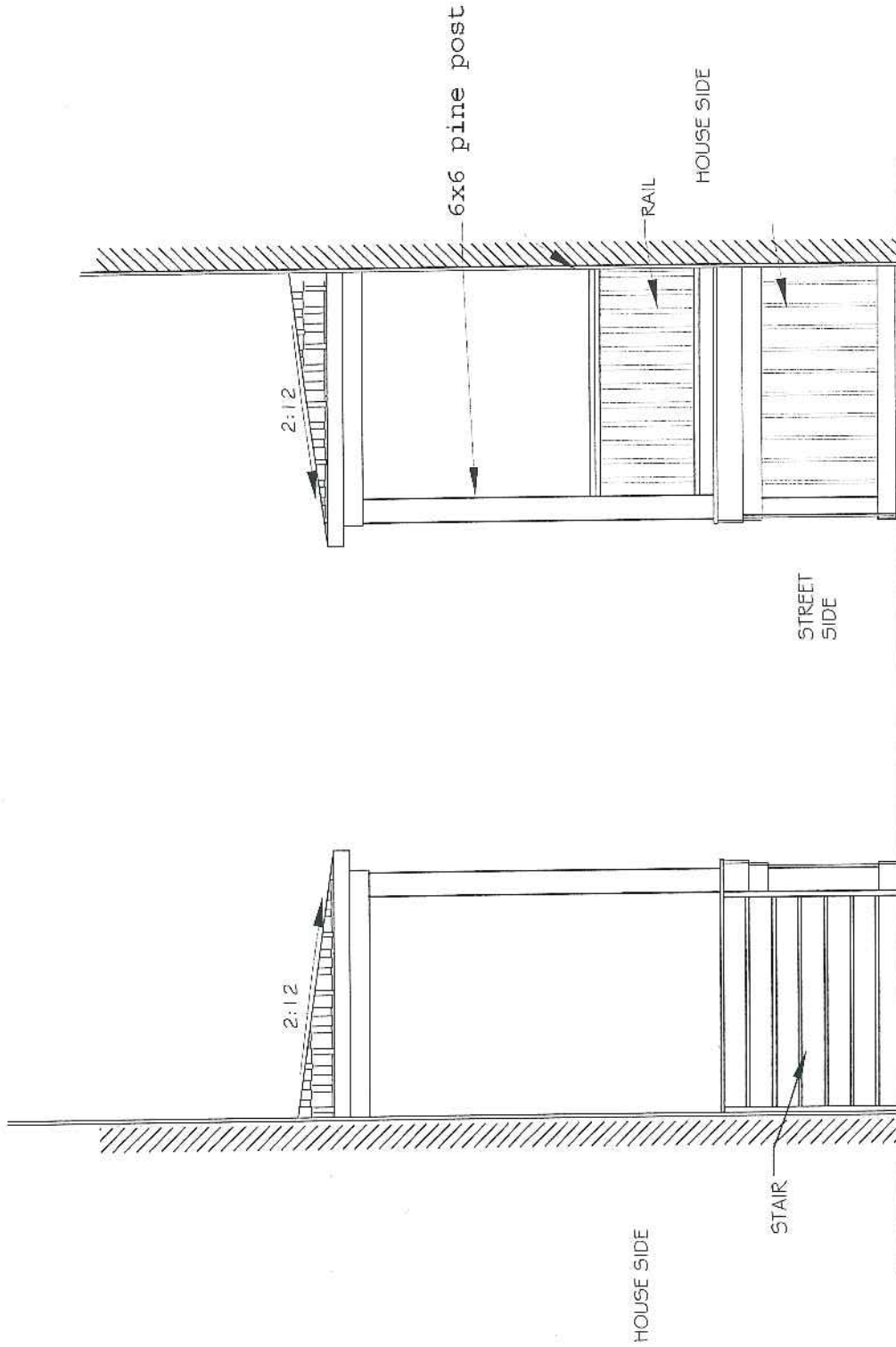
DEPT. OF PUBLIC WORKS SECTION  
 CITY OF BOSTON  
 NOV - 4 2009  
 L. S. 123



$dw \ 14 \times 38'8'' = 541.30 \text{ ft}^2$

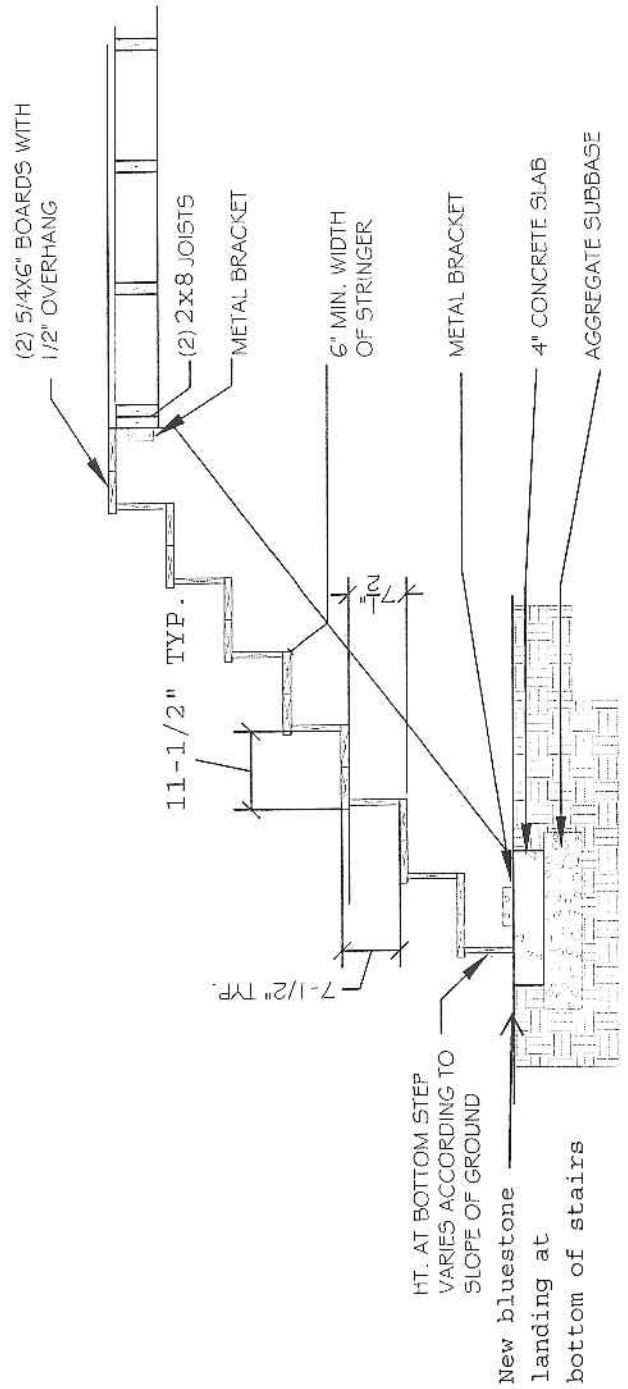
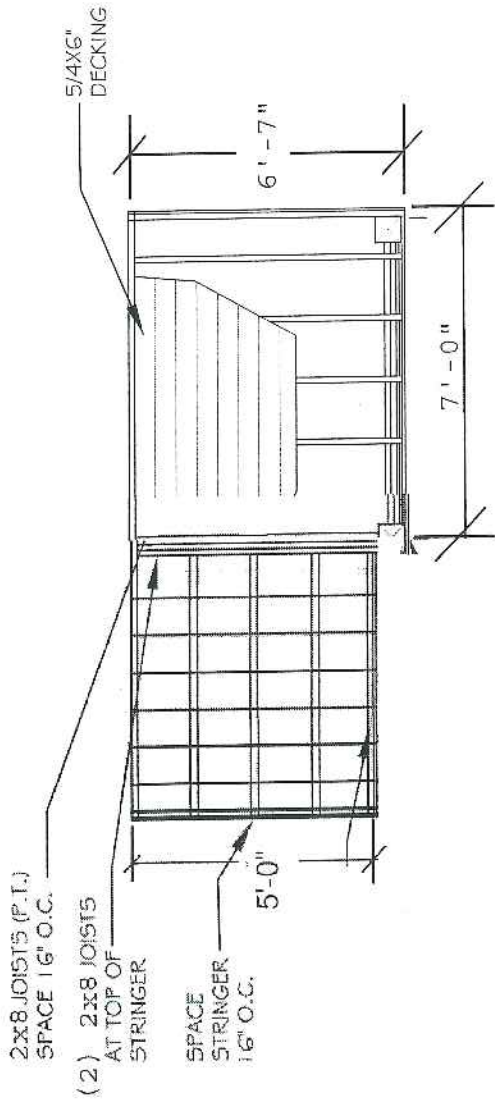






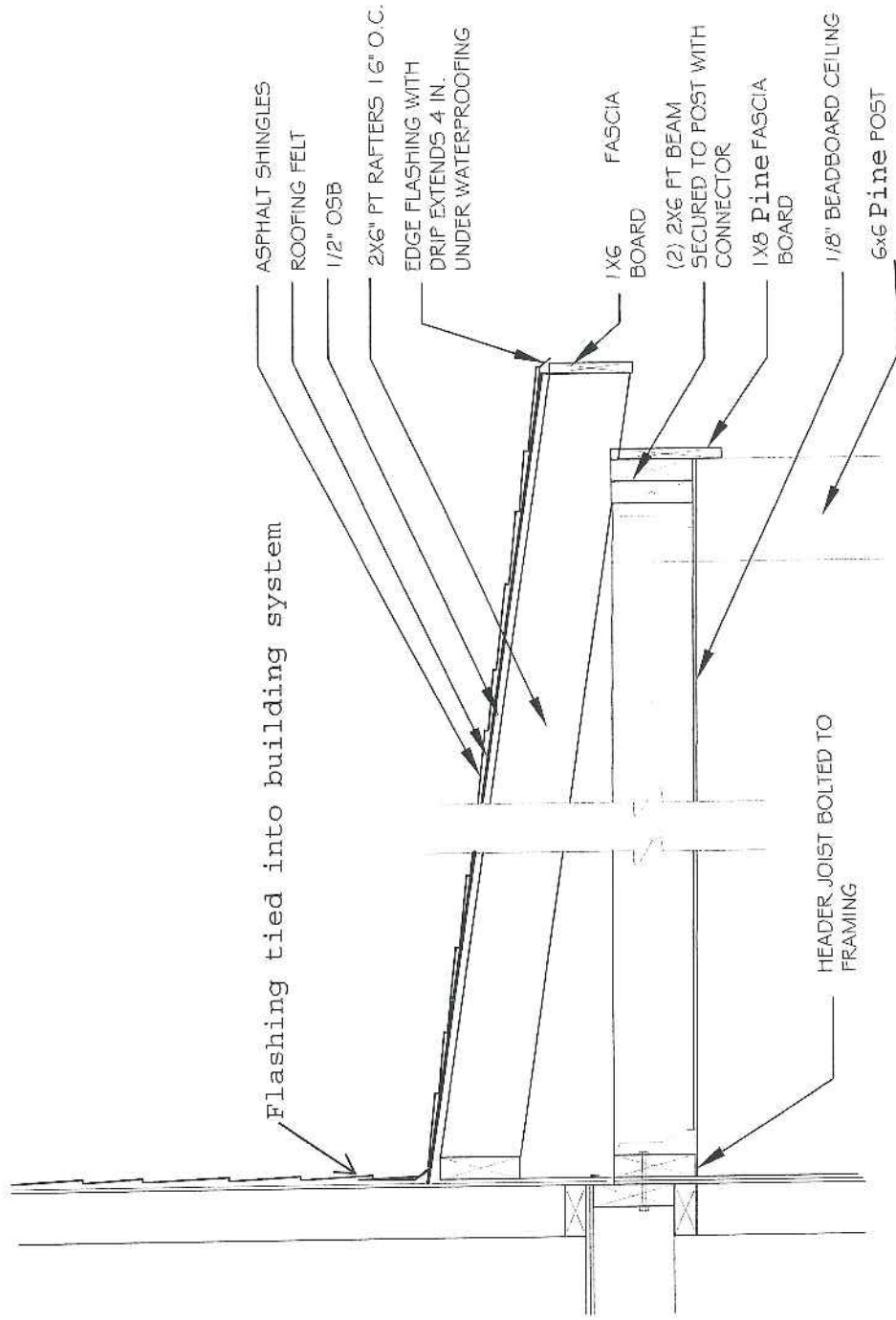
2 NORTH ELEVATION  
L-2 Scale: 1/4" = 1'-0"

1 SOUTH ELEVATION  
L-2 Scale: 1/4" = 1'-0"



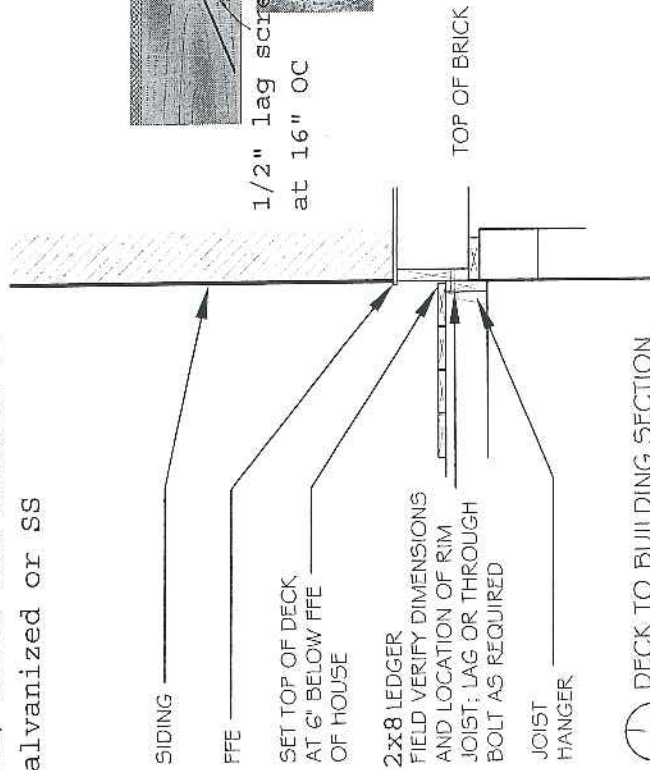
2 STAIR SECTION  
1-3 Scale: 1/2" = 1'-0"





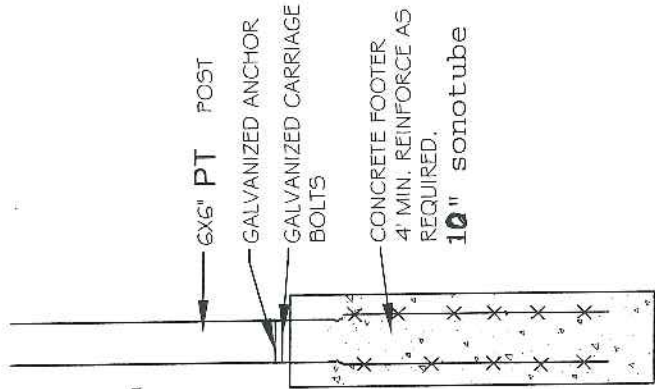
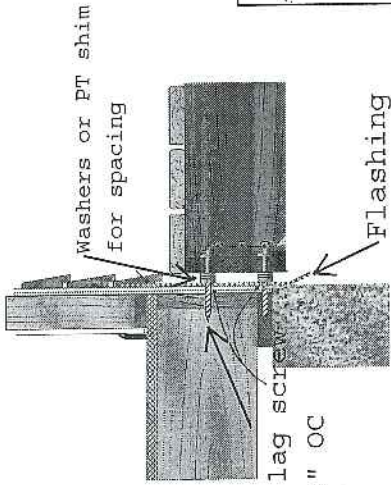
L-4 SECOND STORY DECK SECTION  
Scale: 1" = 1'-0"

Note: All fasteners, lag screws, bolts and washers to be galvanized or SS

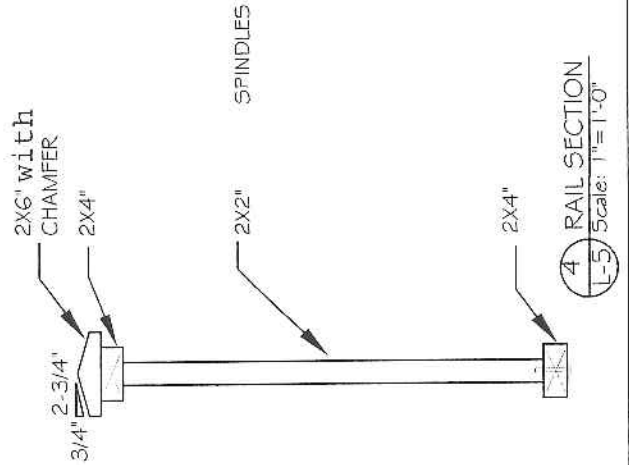


1 DECK TO BUILDING SECTION  
L-5 Scale: 1/2" = 1'-0"

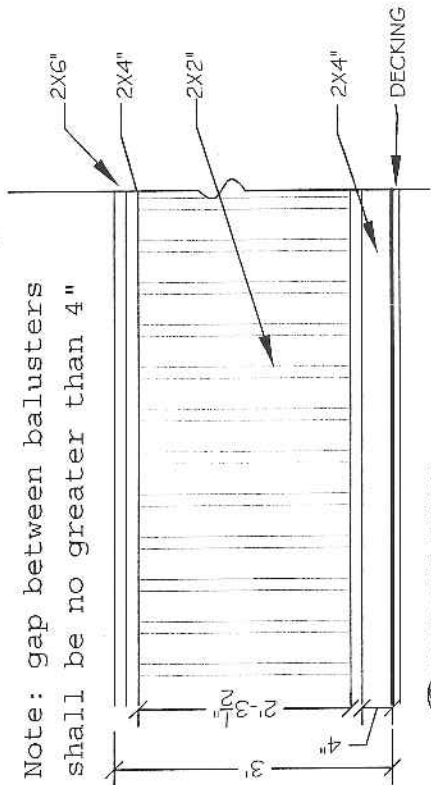
Deck ledger detail



2 POST TO PIER CONNECTION SECTION  
L-5 Scale: 1/2" = 1'-0"



4 RAIL SECTION  
L-5 Scale: 1" = 1'-0"



Note: gap between balusters shall be no greater than 4"

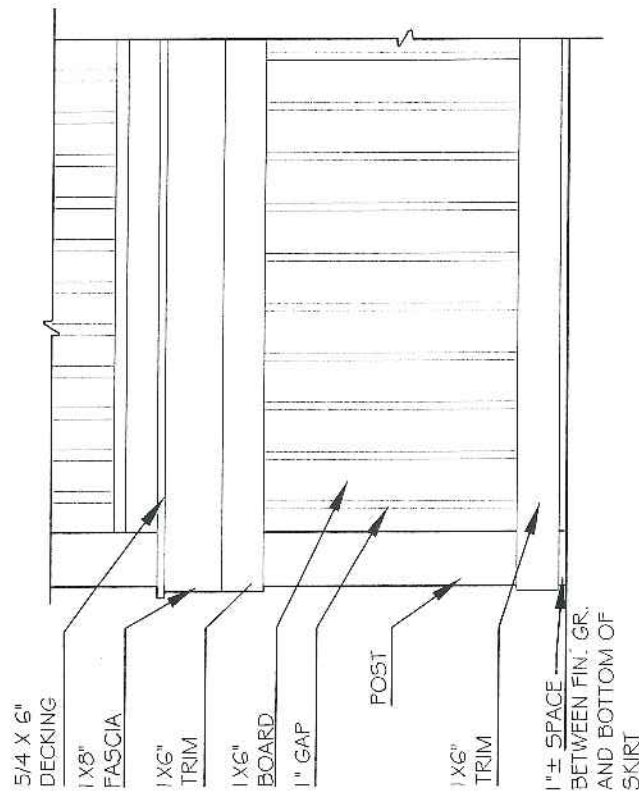
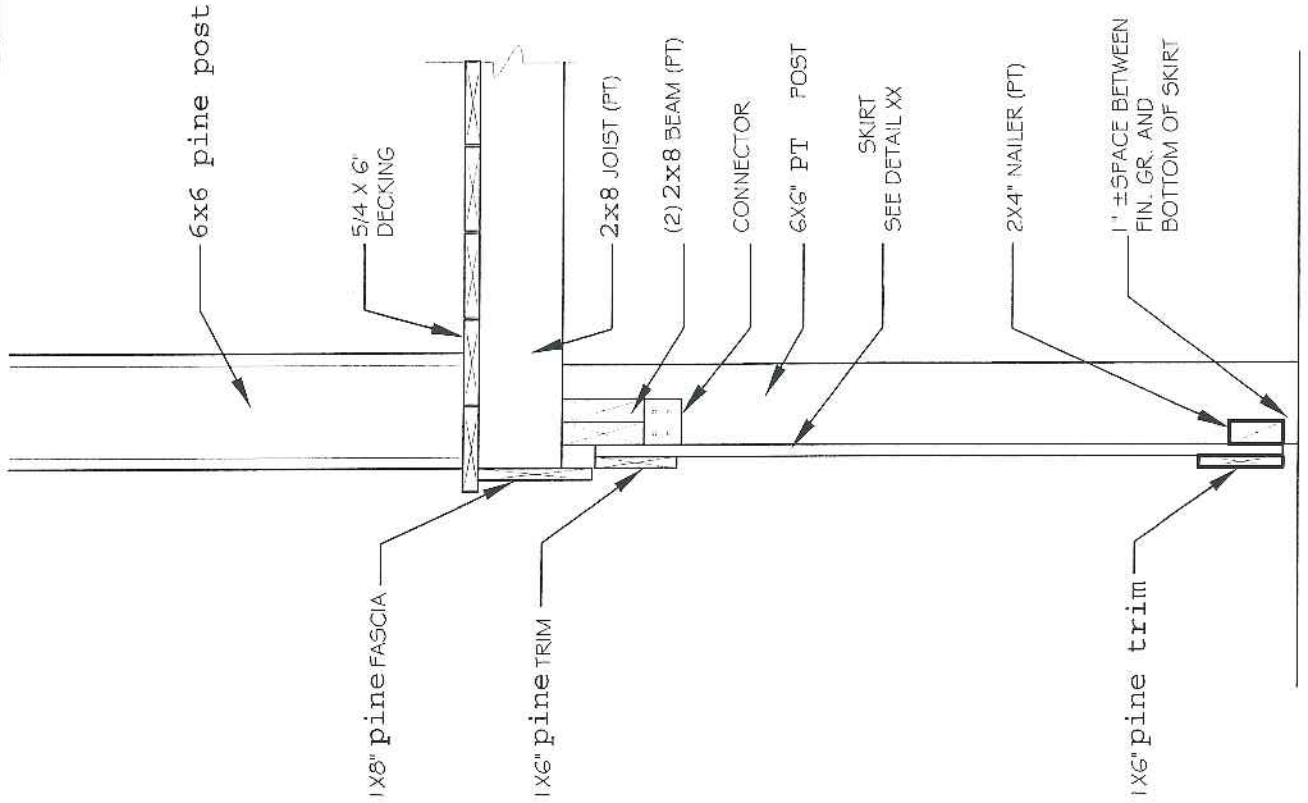
3 RAIL ELEVATION  
L-5 Scale: 1/2" = 1'-0"

BLUE  
LANDSCAPE  
DESIGN  
South Portland  
Maine

Converse/Seward Residence  
Portland, Maine

June 03, 2008  
Drawn by cc  
Checked by bl

L-5





EXISTING  
CONDITION  
46 HOWARD ST.

