

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that RACHELLE F CURRAN

Located At 46 HOWARD ST

Job ID: 2012-06-4153-ALTR

CBL: 014- E-009-001

has permission to interior/ exterior renovations & creating an exterior second exit for the second floor unit.
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

08/07/2012

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-06-4153-ALTR

Located At: 46 HOWARD ST

CBL: 014- E-009-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted including the revised plans submitted 6/19/12. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This permit is being approved under section 14-433 allowing the rear setback to be reduced for the deck and stairs to access the second floor.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
3. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
4. R502.5 Allowable girder spans. The allowable spans of girders fabricated of dimension lumber shall not exceed the values set forth in Tables R502.5(1) and R502.5(2).
5. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
6. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
7. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
8. R302.4 Dwelling unit rated penetrations. Penetrations of wall or floor/ceiling assemblies required to be fire-resistance rated in accordance with Section R302.2 or R302.3 shall be protected in accordance with this section.

9. Note: Owner will provide a stamped plan by a design professional for the proposed arraignment. Contractor will install two (2) *first and second floor*- 1-Hour Fire Rated Doors in the existing stairwell. The renovated floor area shall comply with Section R302.3, see below:

R302.3 Two family dwellings. *Dwelling units* in two family dwellings shall be separated from each other by wall and/or floor assemblies having not less than a 1 hour fire resistance rating when tested in accordance with ASTM E 119 or UL 263. Fire resistance-rated floor ceiling and wall assemblies shall extend to and be tight against the *exterior wall*, and wall assemblies shall extend from the foundation to the underside of the roof sheathing.

Exceptions:

1. A fire resistance rating of $\frac{1}{2}$ hour shall be permitted in buildings equipped throughout with an automatic sprinkler system installed in accordance with NFPA 13.
2. Wall assemblies need not extend through *attic* spaces when the ceiling is protected by not less than $\frac{1}{2}$ -inch (15.9 mm) Type X gypsum board and an *attic* draft stop constructed as specified in Section R302.12.1 is provided above and along the wall assembly separating the *dwellings*. The structural framing supporting the ceiling shall also be protected by not less than $\frac{1}{2}$ -inch (12.7 mm) gypsum board or equivalent.

R302.3.1 Supporting construction. When floor assemblies are required to be fire resistance rated by Section R302.3, the supporting construction of such assemblies shall have an equal or greater fire-resistance rating.

R302.4 Dwelling unit rated penetrations. Penetrations of wall or floor/ceiling assemblies required to be fire resistance rated in accordance with Section R302.2 or R302.3 shall be protected in accordance with this section.

Fire

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery backup are required on each floor.
4. The Owner indicates that the addition will not exceed 50% of the total completed structure. A sprinkler system is recommended but not required based on the Owner's information; final Inspection will verify.

Jonathan Rioux - 46 Howard Street

From: Rachelle Curran <rachellecurran@gmail.com>
To: <jrioux@portlandmaine.gov>
Date: 8/7/2012 3:20 PM
Subject: 46 Howard Street

Hi John,

Thank you for spending the time to talk with me today. I have talked to the architect who will be working with a structural engineer to put together a final stamp of approval with an explanation of building materials. That should be done in the next couple days.

When we talked this morning you mentioned you would send over the provisional permit via email to me today and send another copy in the mail. I am just checking in on the permit status.

Thank you for your help,
Rachelle Curran

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4153-ALTR	Date Applied: 6/4/2012	CBL: 014- E-009-001	
Location of Construction: 46 HOWARD ST	Owner Name: RACHELLE F CURRAN	Owner Address: 46 HOWARD ST PORTLAND, ME 04101	Phone: 207-400-7154
Business Name:	Contractor Name: Frawley Construction LLC	Contractor Address: 868 Sawyer ST SOUTH PORTLAND ME 04106	Phone: (207) 400-0042
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Two family	Proposed Use: Same – Two family – remove interior rear stairs to extend kitchen on 2 nd floor & add pantry on 1 st floor – build exterior deck & stairs for egress & modify 1 st floor entry deck	Cost of Work: 32000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	Inspection: Use Group: R3 Type: SB IPR, 2009 (W-05) Signature:
Proposed Project Description: interior work and exterior deck		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <i>using section 14-433b</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/condition 6/19/12 ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

9-5-12 GF

Footings as per plan @ 4' Deep

9-12-12 DW/Andrew 400-0042 close-in Provide island
cleanouts in vent at wall + under sink. NO
work in 1st floor apt. Framing at stair incomplete.
Reviewed lateral connections for decks.

9-17-12 GF Resched Fing. close in

9-18-12 GF PASS

12-6-12 GF - NEED GRASP. HANDRAIL
- CO/COMBO in LR

12-12-12 GF CORRECTIONS MADE

CLOSED



General Building Permit Application

Entered 6/4/12

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-06-4153-ALDR

Location/Address of Construction: <u>46 Howard Street, Portland</u>		
Total Square Footage of Proposed Structure <u>164 square feet</u>	Square Footage of Lot <u>2 960 square feet</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# <u>014</u> Lot# (CBL) <u>014 E0091-001</u>	Owner: <u>Colin Apse + Rachelle Curran</u>	Telephone: <u>207-400-7154</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Colin Apse + Rachelle Curran</u> <u>46 Howard St., #2</u> <u>207-400-7154</u>	Cost Of Work: <u>\$22,000</u> <u>\$1,950 estimate</u> Fee: \$ _____ C of O Fee: <u>\$340.00</u>
Current legal use (i.e. single family) <u>2 family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>See attached letter</u> <u>multiple construction - Exterior Deck + Interior work</u>		
Contractor's name, address & telephone: <u>Frawley Construction LLC, 868 Sawyer St, S. Portland ME</u> <u>Rachelle Curran</u> <u>04106</u> Who should we contact when the permit is ready: _____ Mailing address: _____ Phone: <u>207-400-7154</u> <u>207-400-0042</u>		
<u>same as above</u>		

RECEIVED

JUN - 4 2012

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

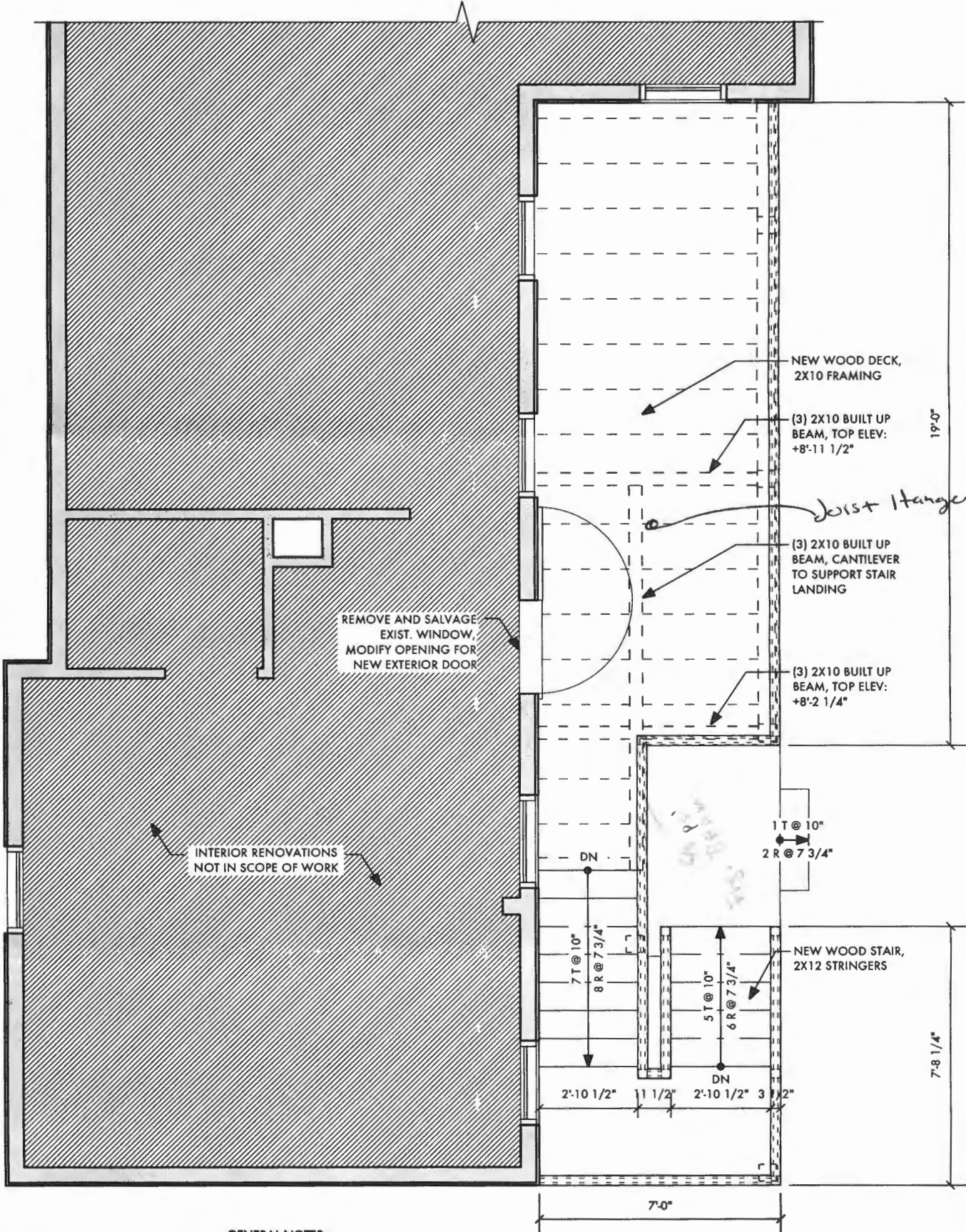
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

rachelecurran@gmail.com

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Rachelle Curran</u>	Date: <u>5/25/12</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



2 - 2ND FLOOR PLAN

GENERAL NOTES:

1. DIMENSIONS TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
2. ALL DECK FRAMING TO BE P.T. LUMBER.
3. GUARD RAILING TO BE 1 1/2" SQUARE BALUSTERS BETWEEN 1X4 TRIM AT TOP RAIL WITH 3X3 NEWEL POSTS. CAP TO BE GRASPABLE AND SERVE AS HANDRAIL.
4. SECOND FLOOR DECK POSTS AND FRAMING SHOWN DASHED
5. ALL FOUNDATION TUBES TO BE 10" DIA., UNLESS OTHERWISE NOTED



JUL 31 2012

Dept. of Building Inspections
City of Portland Maine

NOT FOR CONSTRUCTION

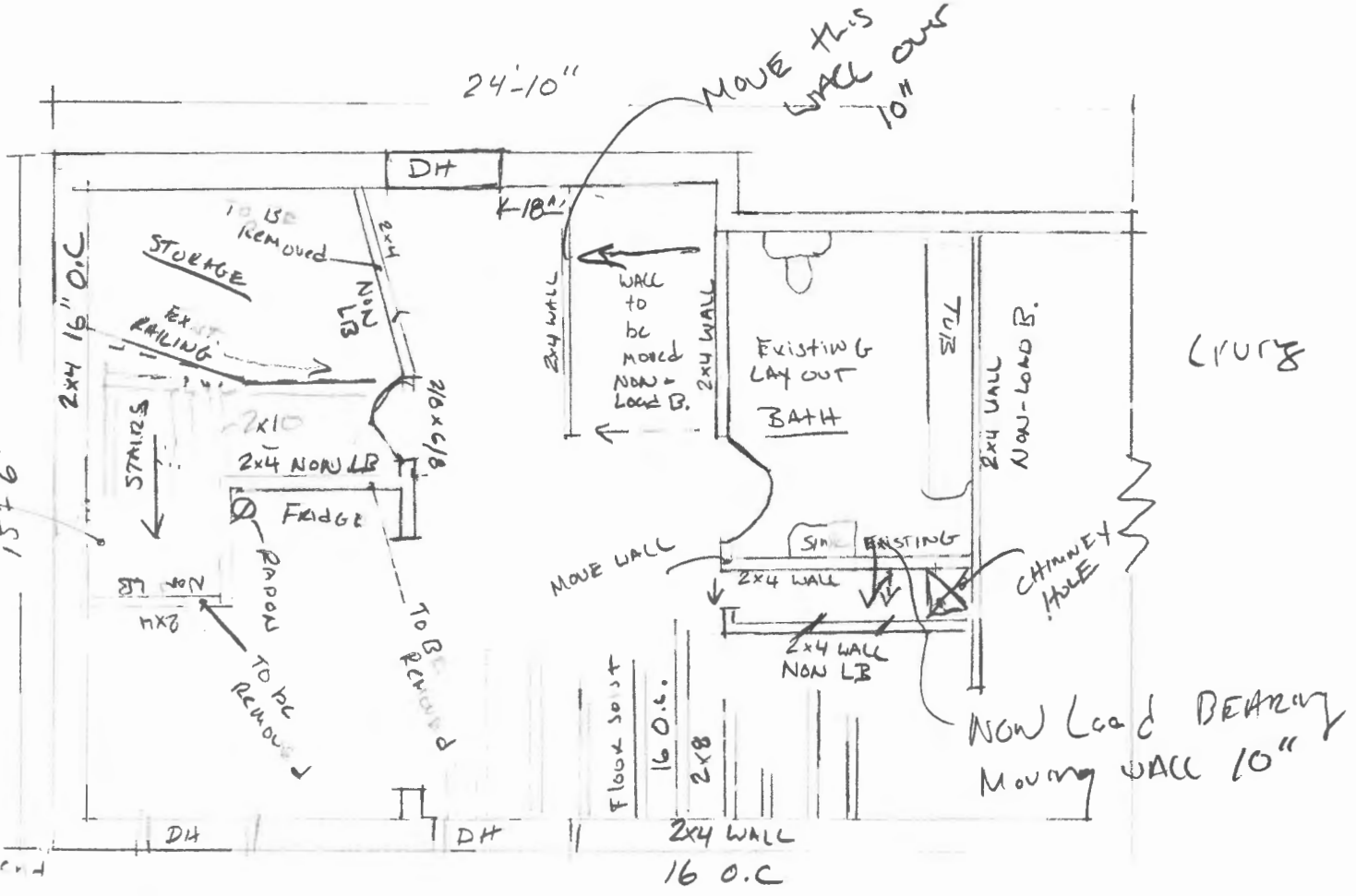
46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 6.18.12 SCALE: 1/4"=1'-0"

NOTES:
 STAIR HOLE TO BE FRAMED
 IN USING

Existing STAIR
 HOLE WILL BE
 FRAMED IN USING
 A 7/4 LVL BEAM,
 WILL HANG 2x10 JOISTS
 OFF BEAM TO FILL HOLE
 Sheathed w/ 5/8" Under
 Sheathing.
 2x10 Joist Hangers
 will be used where
 any FLOOR JOISTS are Installed.

Rear of
 15'6" house



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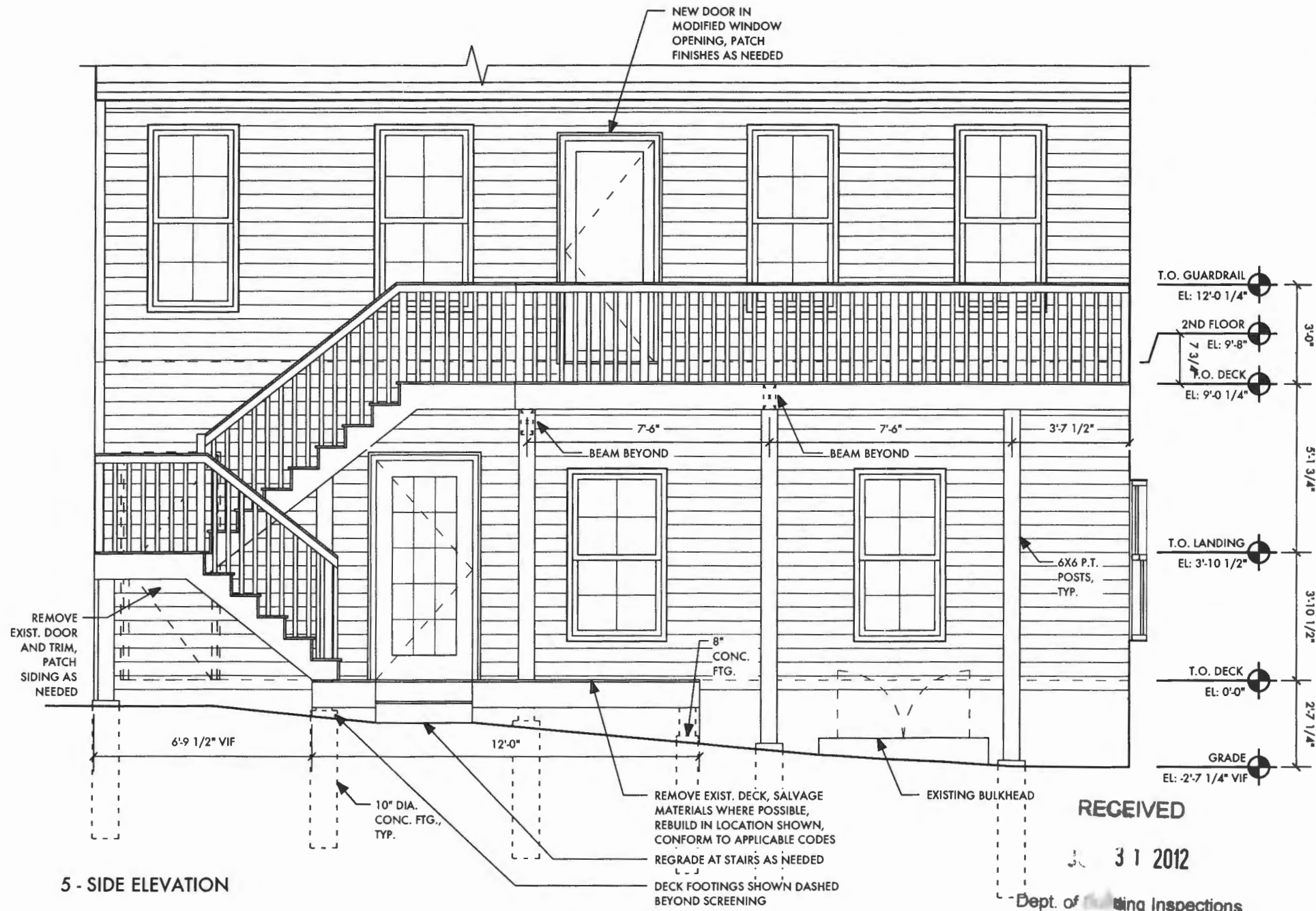
JUN 19 2012

Dept. of Building Inspections
 City of Portland Maine

2ND FLOOR FLOOR PLAN

PROPOSED

APSE RENOVATION
 46 HOWARD ST.
 CONTRACTOR IS
 FRAULEY CONSTRUCTION LLC
 # 400-0042



5 - SIDE ELEVATION

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Dept. of Building Inspections
City of Portland Maine

NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 6.18.12 SCALE: 1/4"=1'-0"

DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube 116" tube
 - b. depth below grade (minimum 4'-0" below grade)
 - c. anchorage of column to footing
 - d. spacing of tubes Simpson post base
per plan
- Or
- e. pre cast concrete pier size
 - f. depth below grade (minimum: 4'-0")
 - g. anchorage of column to footing
 - h. spacing of tubes

3. Columns (members supporting framing of floor system)

- a. wood size and type 6" x 6" PT
- b. anchorage of column to footing

4. Framing Members

- a. Ledger size attached to building 2" x 10"
- b. Lag Bolt size and spacing on ledger 3/4 lags 2 every 16"
- c. Location of all flashing
- d. Girder Size and spans carrying floor system double 2" x 10" rim with 2" x 10" joists
- e. Joist size, span, and spacing 2" x 10" 16 O.C.
- f. Joist hangers or ledger
- g. Decking size 1" x 6" pt decking
yes

5. Guardrails & Handrail Details

- a. Guardrail height 36"
- b. Baluster spacing 3 1/2"
- c. Handrail height 36"

6. Stair Details

- a. Tread depth (measured nosing to nosing) 10"
- b. Riser height 7 3/4"
- c. Nosing on tread 3/4"
- d. Width of stairs 2' and 10 1/2" clear

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Dept. of Building Inspections
City of Portland Maine

side yard setback. We also include a 2nd floor deck in the design that meets all setback requirements.

Property line distances shown are based on multiple lines of evidence, the most recent being a June 2011 property survey by William G. Austin in preparation for a newly constructed home directly behind us and a mortgage inspection sketch completed by Livingston Hughes in July 2011 (see attached).

Both our side/rear yard effected neighbors are supportive of the project and we would be happy to provide their contact information if desired. We have confirmed that our overall lot coverage meets the requirements under our draft plan, with under 50% lot coverage when accounting for the house, front and back stairs, new deck, and basement entrance. We have also confirmed that the pervious portion of our lot will continue to be over 30%.

We are hoping to start our project on August 1st, and understand we will need to submit a full General Building Permit Application in time for processing. Please do not hesitate to contact me with any questions at (207) 400-7154 or rachellecurran@gmail.com.

Sincerely,

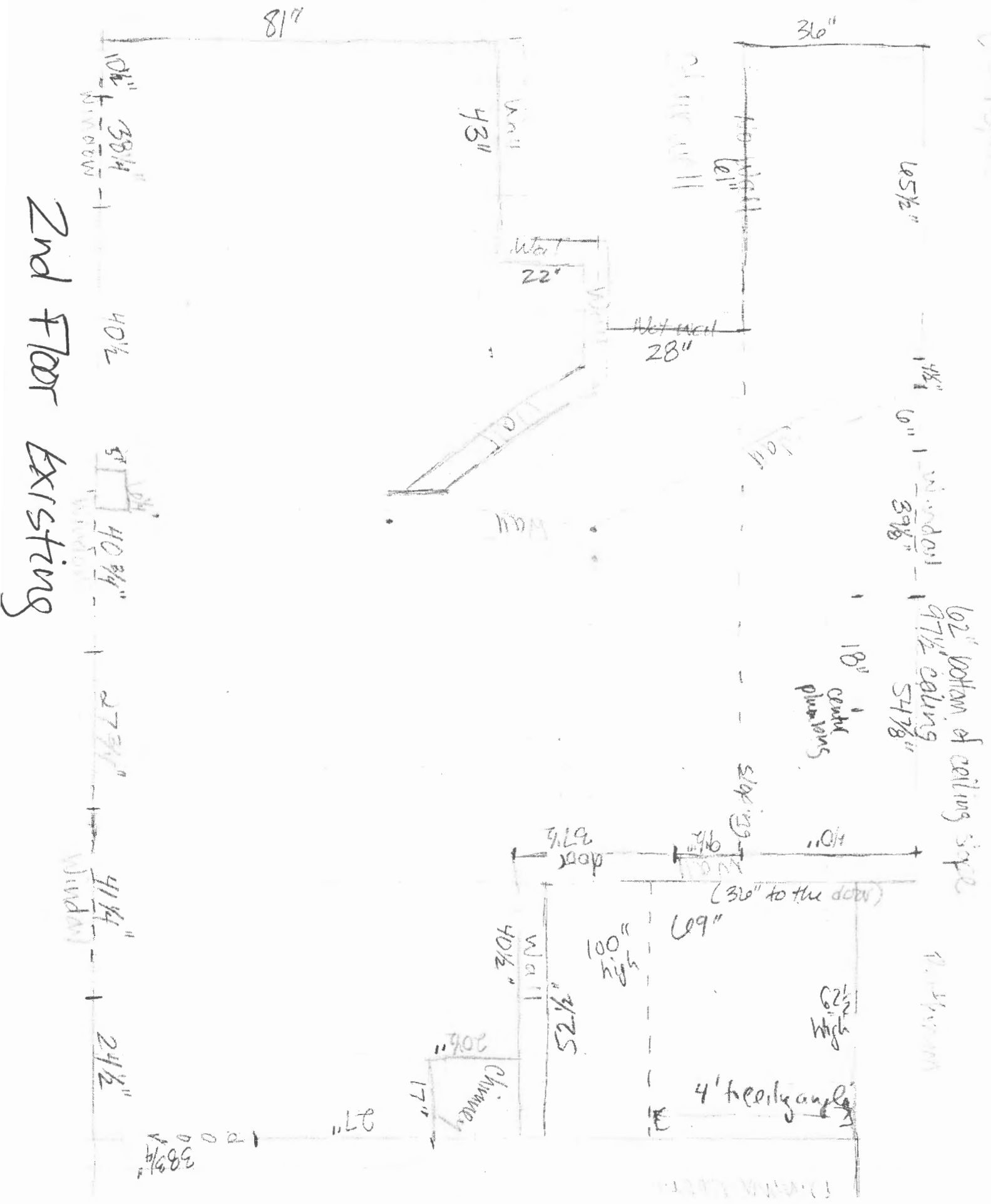
A handwritten signature in cursive script that reads "Rachelle Curran".

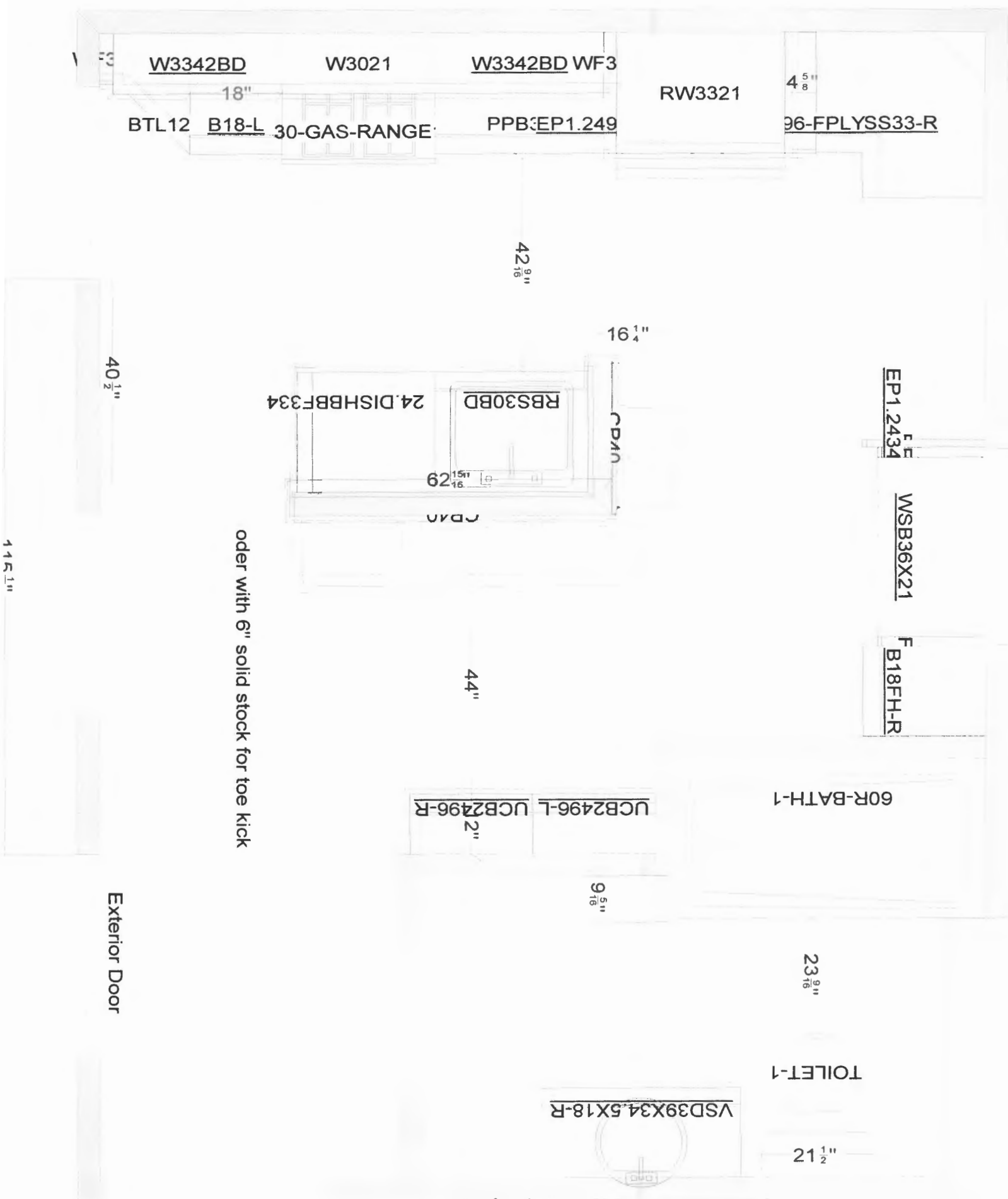
Rachelle Curran
46 Howard Street, #2
Portland, Maine

Attachments:

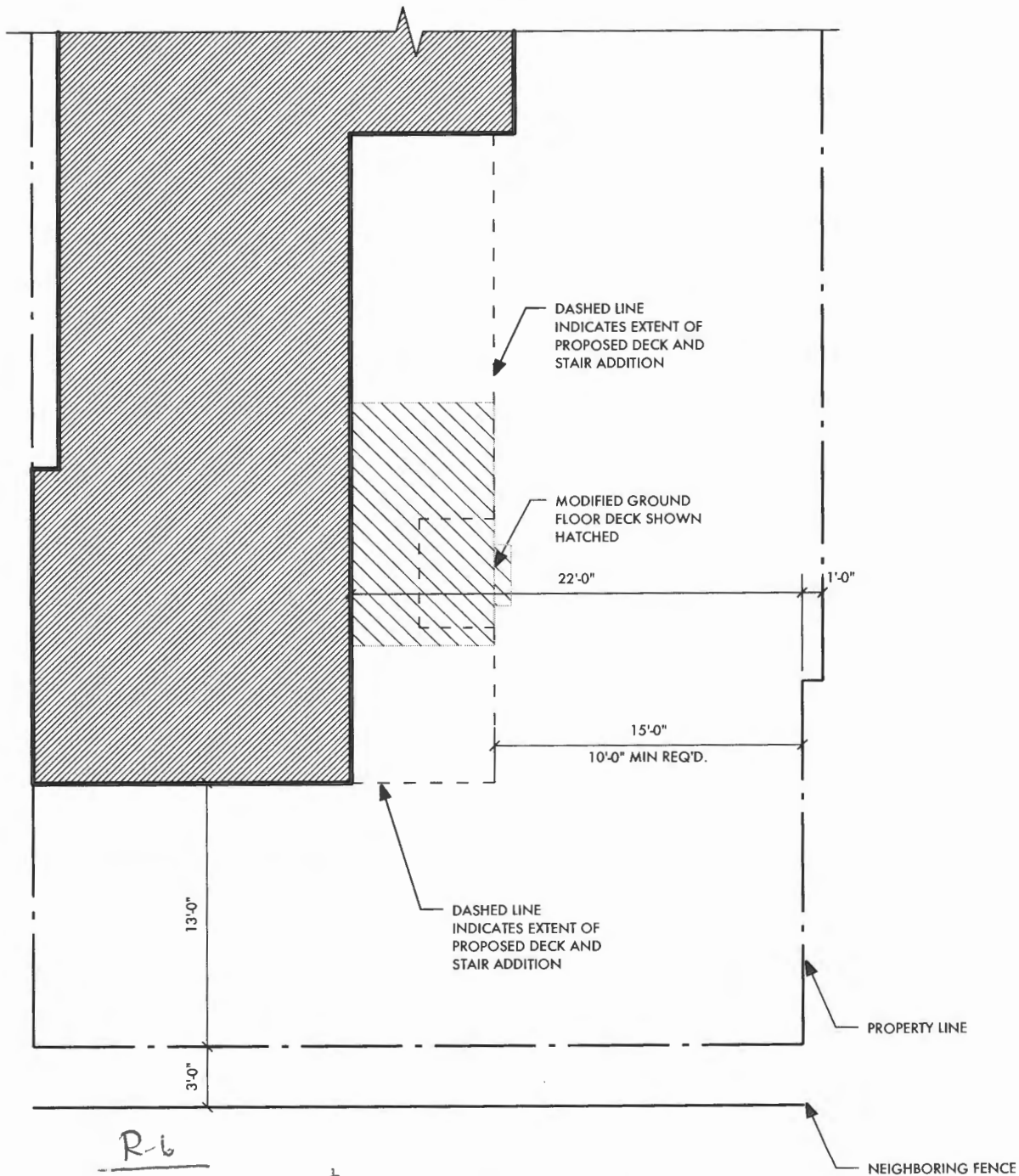
1. Photos of existing back stairs, kitchen, back of house, side of house
2. Plan of new deck and back stairs
3. Existing kitchen bath measurements
4. Proposed kitchen and bath sketch
5. Estimate of work to be done on kitchen, bath and deck
6. Mortgage inspection survey

Rear of house





2nd floor proposed



R-6

lots size 2966 sq ft
 new deck - 20' x 15' shown (OK)
 side setback - 10' - 15' shown (OK)
 lot coverage - 10%
 showing 13' - using section 14-435 could reduce to 5' (OK)

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Dept. of Building Inspections
 City of Portland Maine



1 - SITE PLAN

1450.

house - 1167

new deck 32x7 = $\frac{224}{1391}$ (OK)

NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON

DATE: 6.18.12

SCALE: 1/8" = 1'-0"

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Plmb/Frame prior to insulate or gypsum
 3. Final Inspection

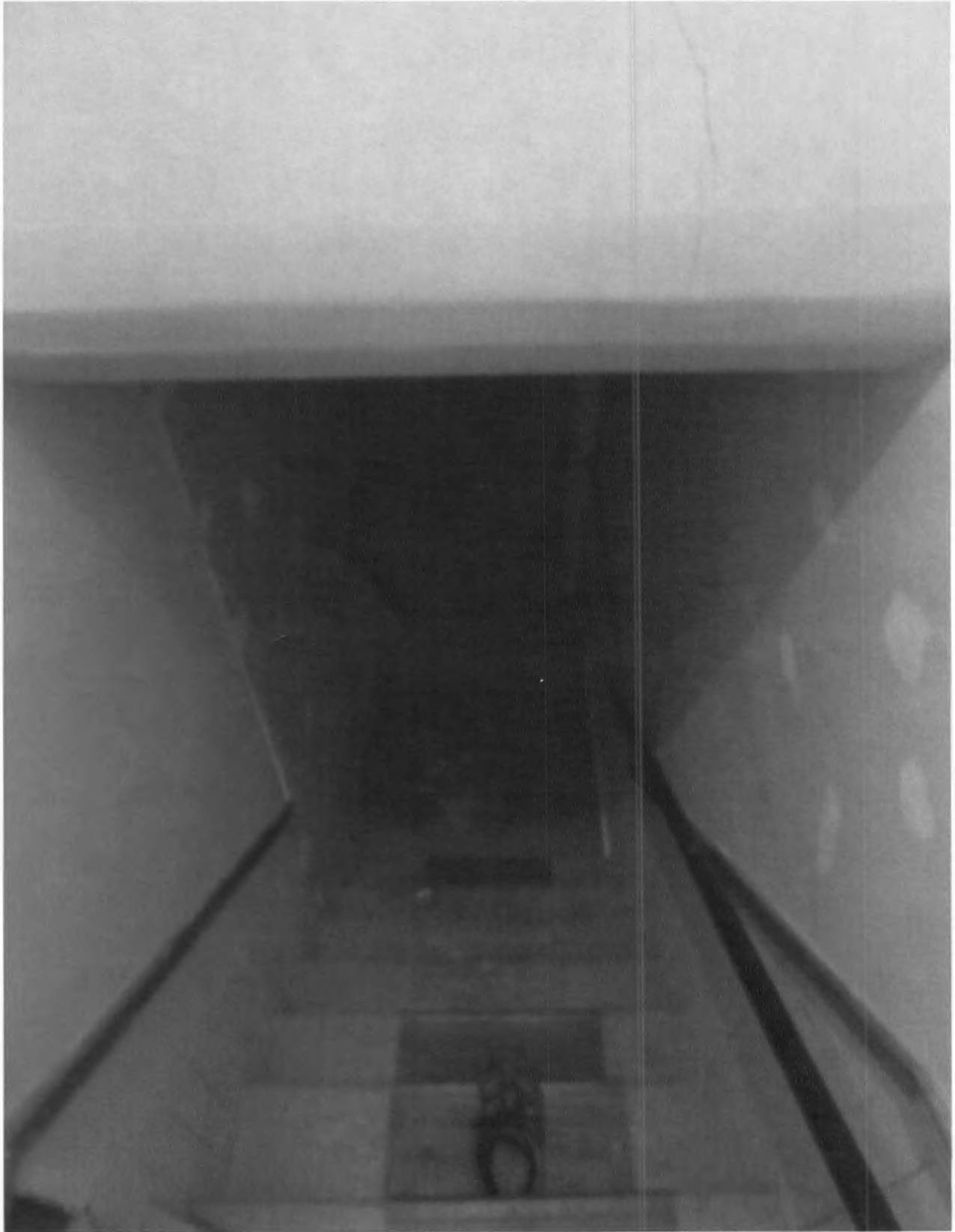
The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



Middle Back Stair

Lower Back Stair





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Receipts Details:

Tender Information: Check , Check Number: 235

Tender Amount: 340.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 6/4/2012

Receipt Number: 44602

Receipt Details:

Referance ID:	6763	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	340.00	Charge Amount:	340.00
Job ID: Job ID: 2012-06-4153-ALTR - Upgrading interior work and exterior deck etc.			
Additional Comments: 46 Howard Street			

Thank You for your Payment!

Jonathan Rioux - Re: 46 Howard St

From: "S.Andrew Frawley" <sandrewfrawley@yahoo.com>
To: Jonathan Rioux <JRIOUX@portlandmaine.gov>
Date: 7/27/2012 11:32 AM
Subject: Re: 46 Howard St

I can't meet today, whats your schedule like for monday?

S.Andrew Frawley, Owner
Frawley Construction
868 Sawyer st. South Portland, ME 04106
E. sandrewfrawley@frawleyconstruction.com
P. 207- 400-0042

From: Jonathan Rioux <JRIOUX@portlandmaine.gov>
To: S.Andrew Frawley <sandrewfrawley@yahoo.com>
Cc: Brad Saucier <BJS@portlandmaine.gov>; Gayle Guertin <GG@portlandmaine.gov>
Sent: Friday, July 27, 2012 8:17 AM
Subject: Re: 46 Howard St

Stop by today and I can take a look. The only appointment I have scheduled is at 9:00.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703

jrioux@portlandmaine.gov

>>> "S.Andrew Frawley" <sandrewfrawley@yahoo.com> 7/26/2012 2:43 PM >>>

John - I have new drawings that address the landing issue, it's a totally different design from the "angled brackets", can we please set up a time to go over them?

Thank you ,

S. Andrew Frawley, Owner
Frawley construction LLC
207-400-0042

On Jul 26, 2012, at 2:38 PM, "Jonathan Rioux" <JRIOUX@portlandmaine.gov> wrote:

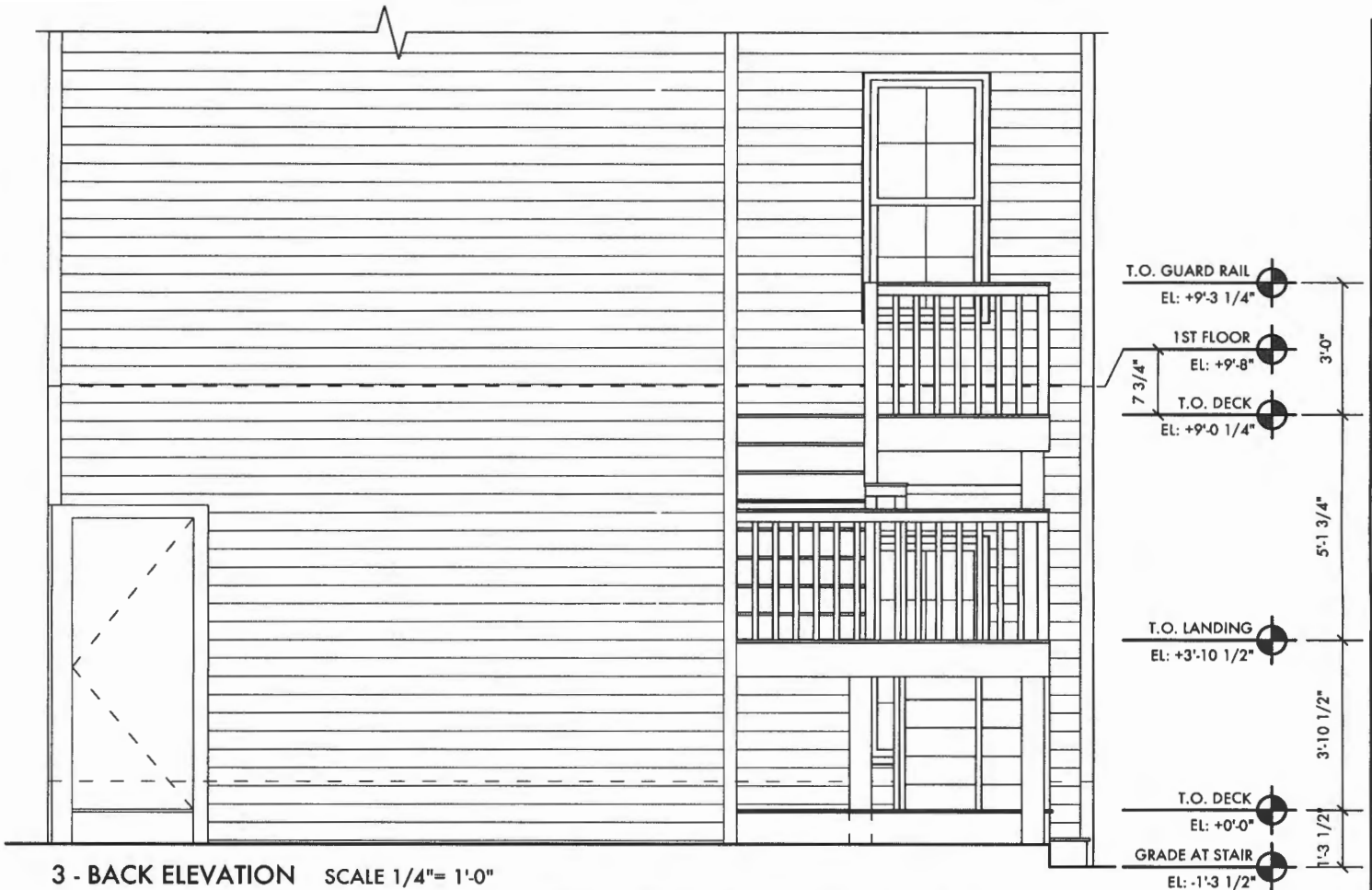
Mr. Frawley,

The stair landing/ opposite end of the porch needs to be posted down to grade. The "triangle" angle brackets would have to be engineered for approval. JGR.

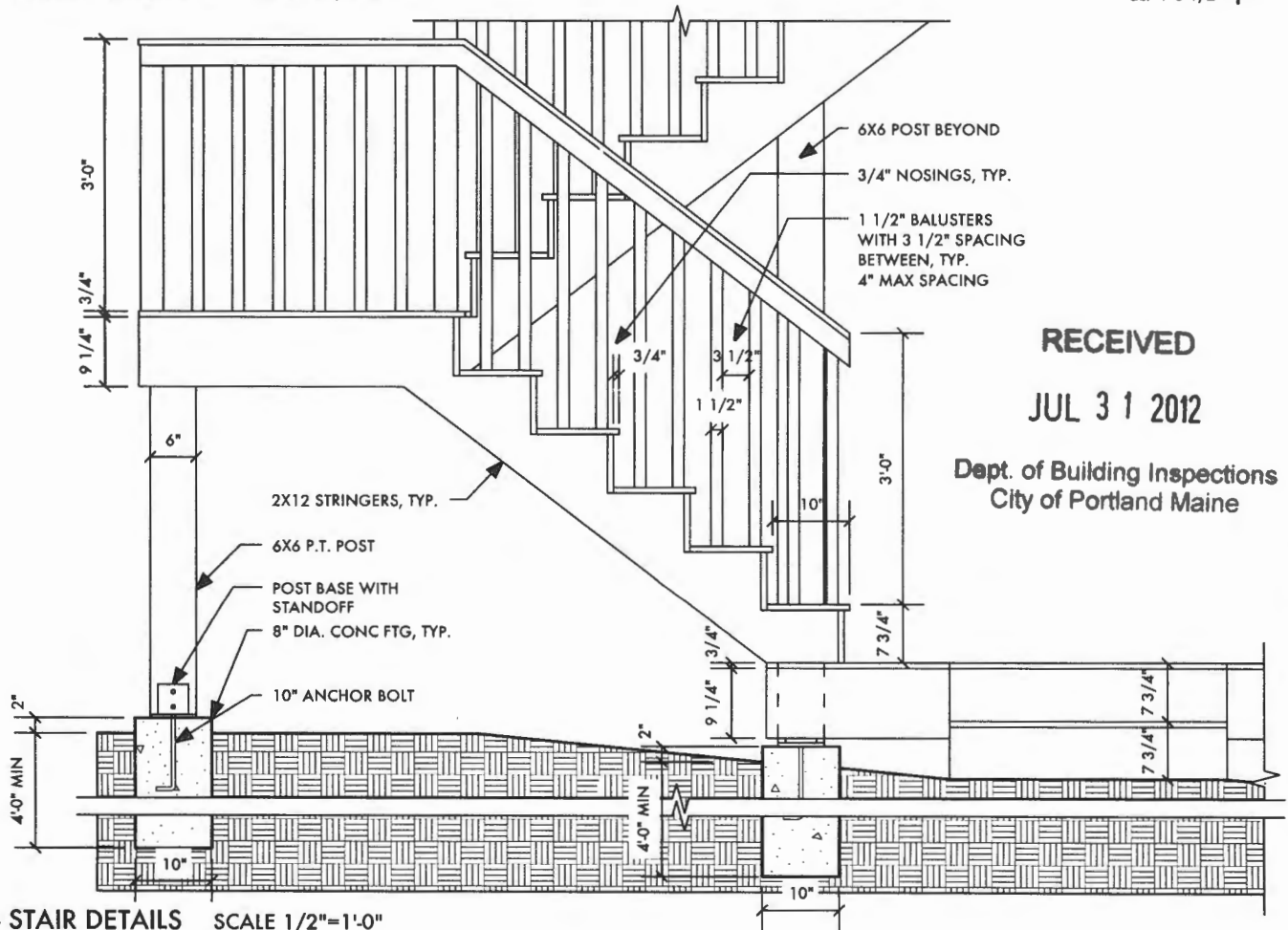
Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

=



3 - BACK ELEVATION SCALE 1/4"= 1'-0"



4 - STAIR DETAILS SCALE 1/2"=1'-0"

RECEIVED

JUL 31 2012

Dept. of Building Inspections
City of Portland Maine

NOT FOR CONSTRUCTION

16 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 6.18.12 SCALE: AS NOTED

Jonathan Rioux - 46 Howard St

From: Jonathan Rioux
To: sandrew@frawleyconstruction.com
Date: 7/26/2012 2:38 PM
Subject: 46 Howard St

Mr. Frawley,

The stair landing/ opposite end of the porch needs to be posted down to grade. The "triangle" angle brackets would have to be engineered for approval. JGR.

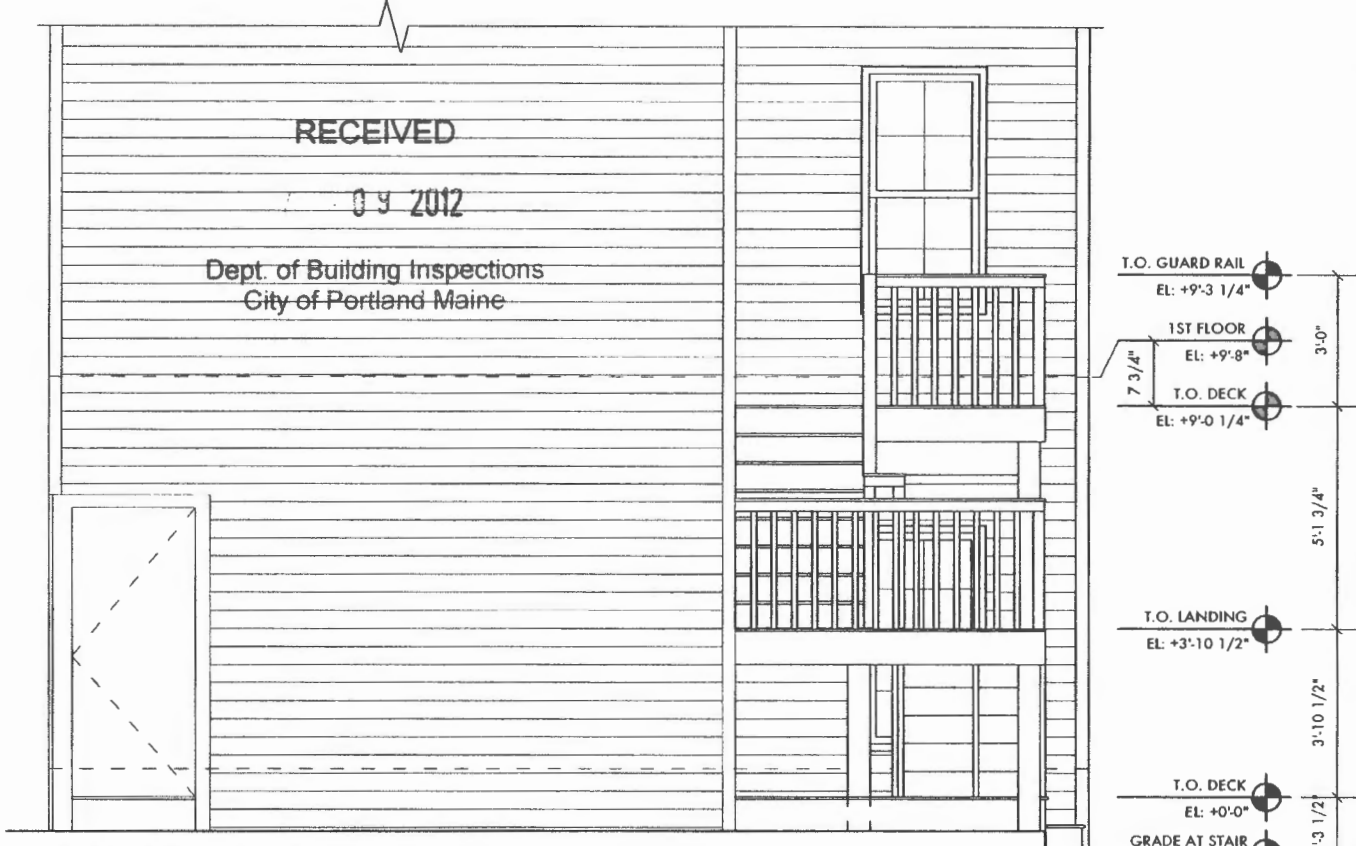
Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
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389 Congress St. Rm 315
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jrioux@portlandmaine.gov

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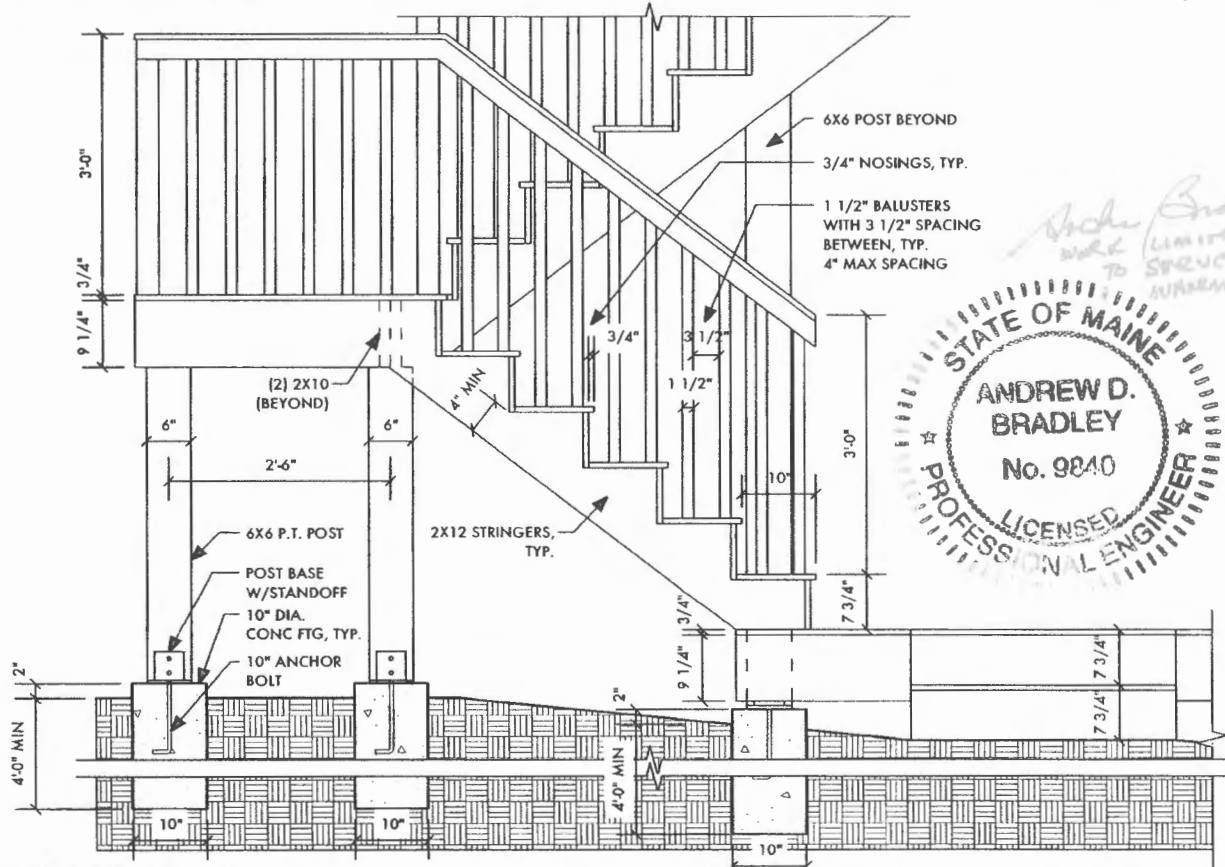
09 2012

Dept. of Building Inspections
City of Portland Maine



DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: AS NOTED

3 - BACK ELEVATION SCALE 1/4" = 1'-0"



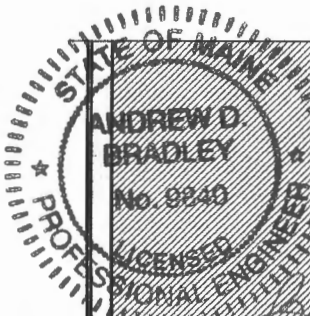
Andy Bradley
 ANDY BRADLEY LIMITED
 TO STRUCTURAL
 INFORMATION/DETAILS

STATE OF MAINE
 ANDREW D. BRADLEY
 No. 9840
 LICENSED PROFESSIONAL ENGINEER

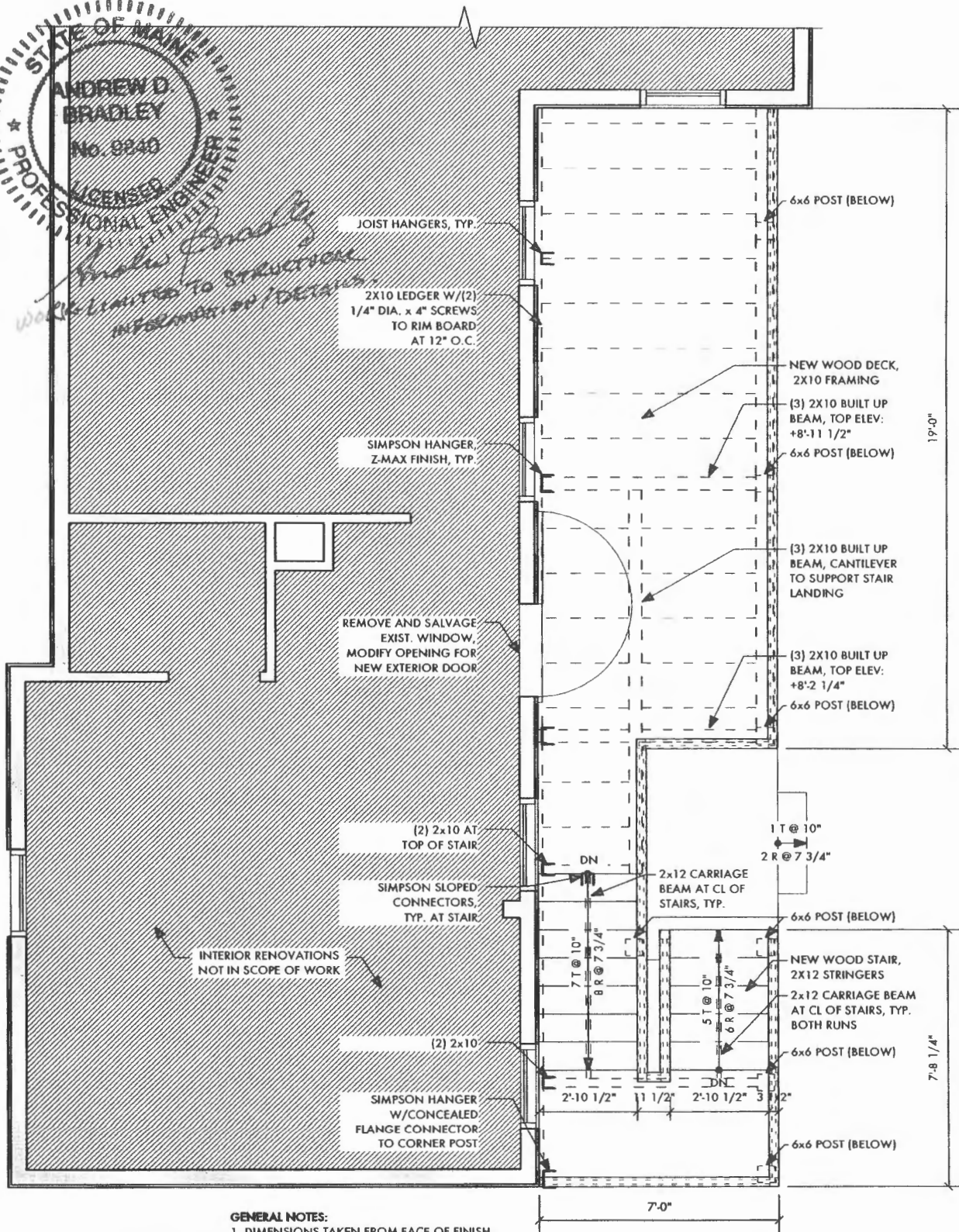
4 - STAIR DETAILS SCALE 1/2" = 1'-0"

NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition



*Work Limited to Structural
in Plans and Details*



GENERAL NOTES:

1. DIMENSIONS TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
2. ALL DECK FRAMING TO BE P.T. LUMBER, #2 SYP OR BETTER.
3. GUARD RAILING TO BE 1 1/2" SQUARE BALUSTERS BETWEEN 1X4 TRIM AT TOP RAIL WITH 3X3 NEWEL POSTS. CAP TO BE GRASPABLE AND SERVE AS HANDRAIL.
4. SECOND FLOOR DECK POSTS AND FRAMING SHOWN DASHED
5. ALL FOUNDATION TUBES TO BE 10" DIA., UNLESS OTHERWISE NOTED
6. ALL METAL CONNECTORS ARE TO BE HOT-DIPPED (Z-MAX) FINISH WITH FASTENERS DESIGNED FOR CONTACT WITH P.T. FRAMING.

2 - 2ND FLOOR PLAN

RECEIVED

APR 29 2012

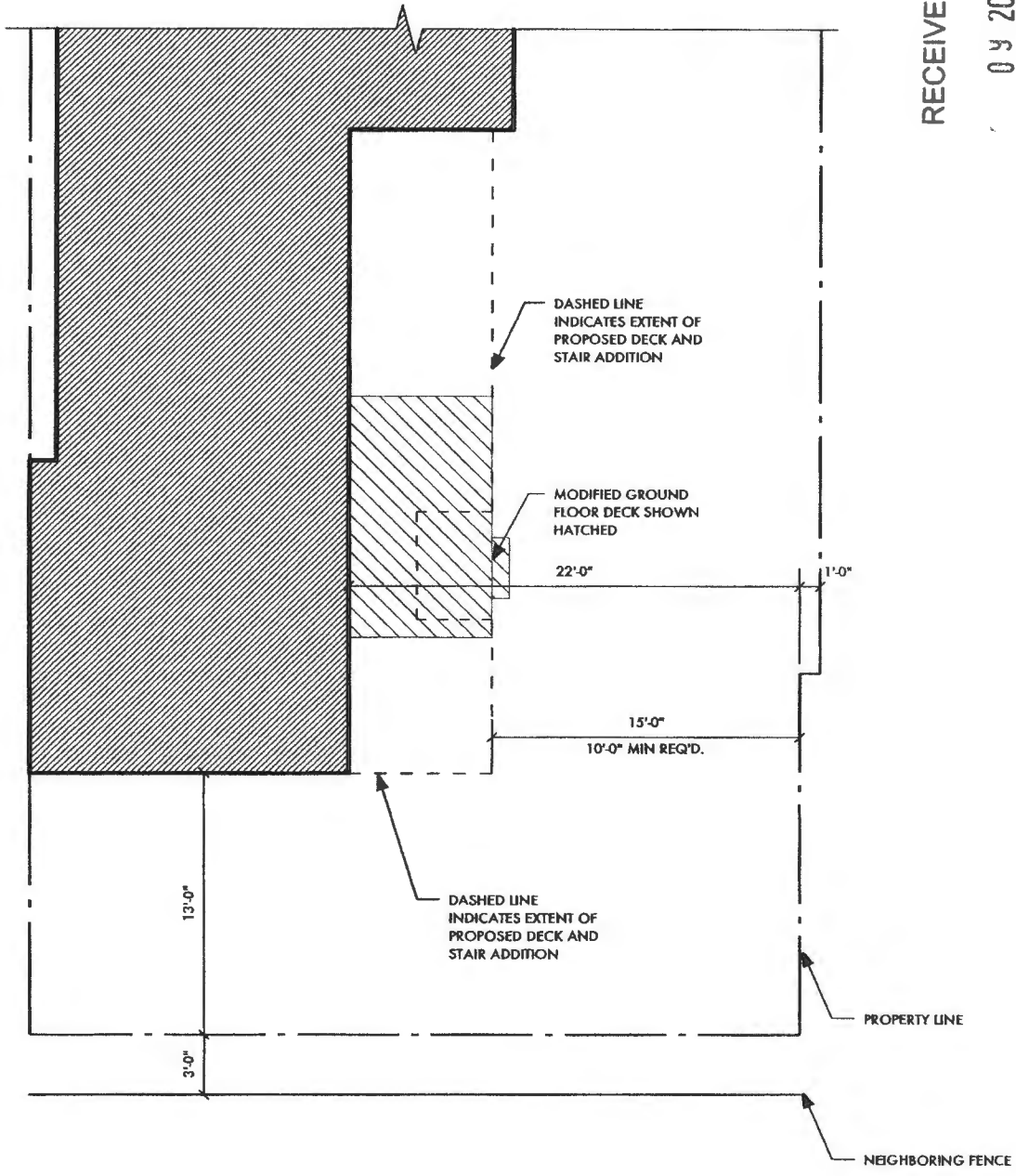
Dept. of Building Inspections
City of Portland Maine

DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION
46 Howard Street - Deck & Stair Addition



1 - SITE PLAN



NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: 1/8"=1'-0"

Dept. of Building Inspections
City of Portland Maine

RECEIVED

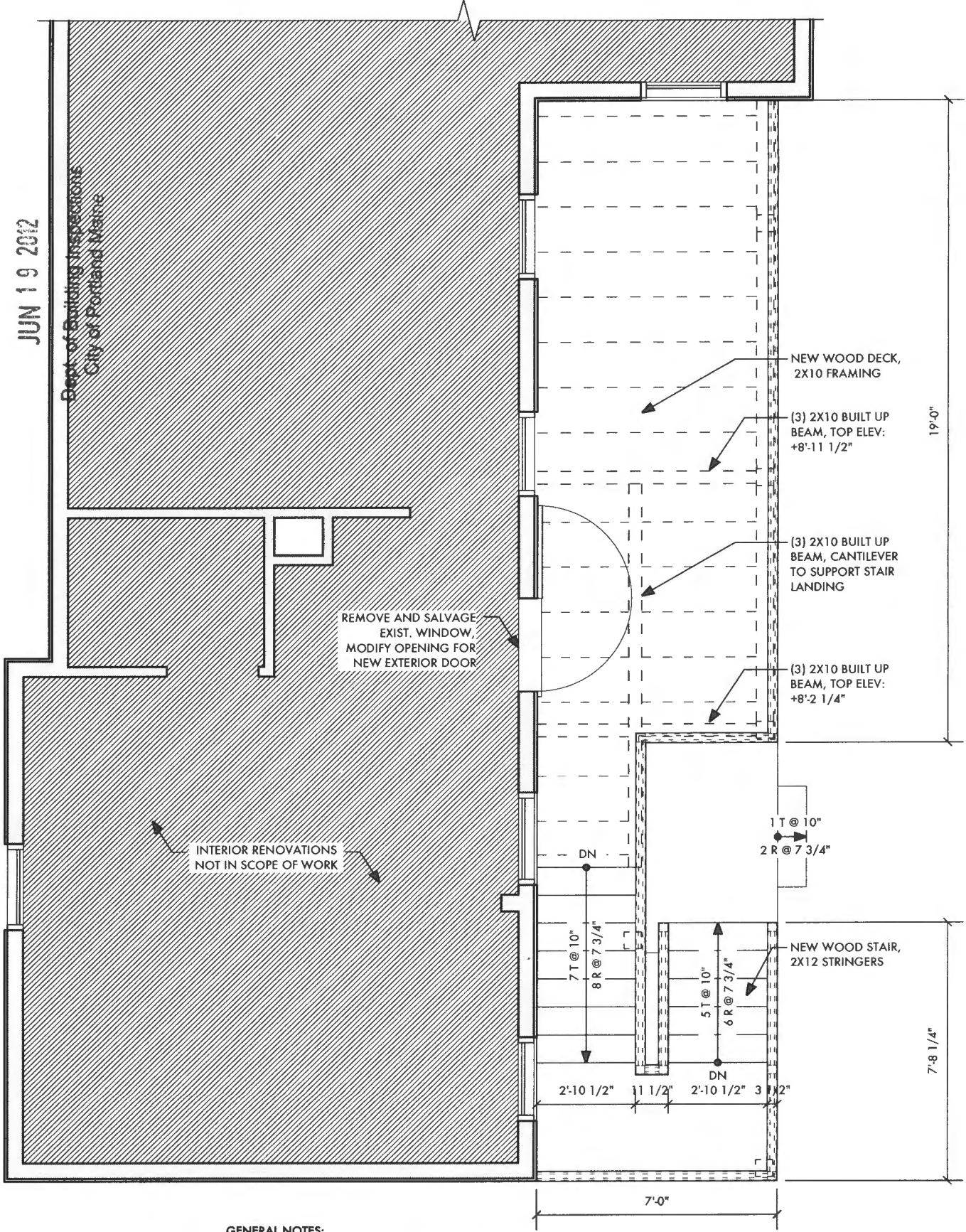
0 y 2012



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JUN 19 2012

Dept. of Building Inspection
City of Portland Maine



GENERAL NOTES:

1. DIMENSIONS TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
2. ALL DECK FRAMING TO BE P.T. LUMBER.
3. GUARD RAILING TO BE 1 1/2" SQUARE BALUSTERS BETWEEN 1X4 TRIM AT TOP RAIL WITH 3X3 NEWEL POSTS. CAP TO BE GRASPABLE AND SERVE AS HANDRAIL.
4. SECOND FLOOR DECK POSTS AND FRAMING SHOWN DASHED
5. ALL FOUNDATION TUBES TO BE 10" DIA., UNLESS OTHERWISE NOTED

2 - 2ND FLOOR PLAN



NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON

DATE: 6.18.12

SCALE: 1/4" = 1'-0"

1st Floor proposed renovation

Kitchen

Closed off not in use

Back of house

Revisions

- include 2x4 wall 10" O.C.
- add 2x8 double header to create opening into existing stairwell
- remove existing door
- add framing where needed
- add partition wall to box in existing stairwell with 5/4" sheetrock

Disconnector

Open stairwells

Opening to 2nd floor

1st Floor ST

Pantry

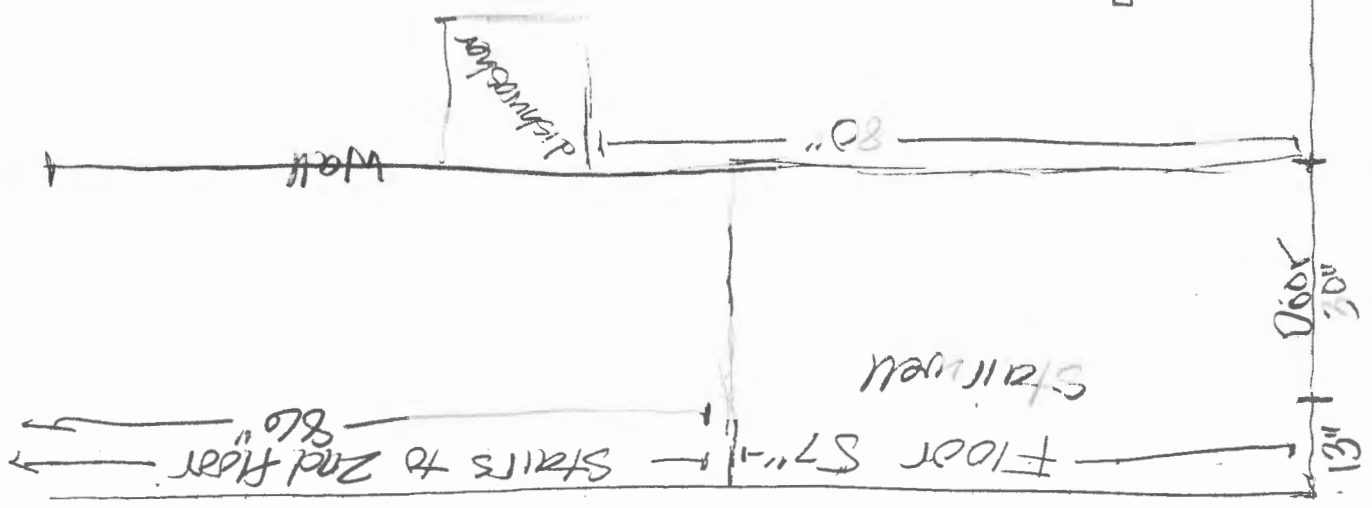
Pantry open stairwells

104" door 30"

Side of house

1st Floor existing

Kitchen



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JUN 19 2012

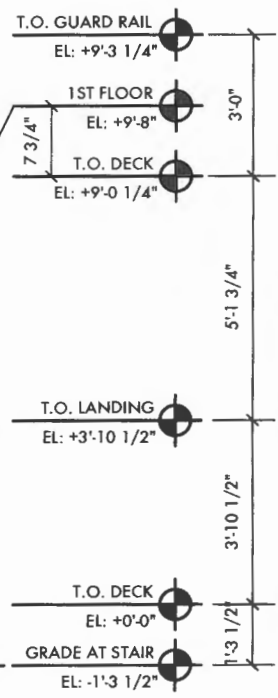
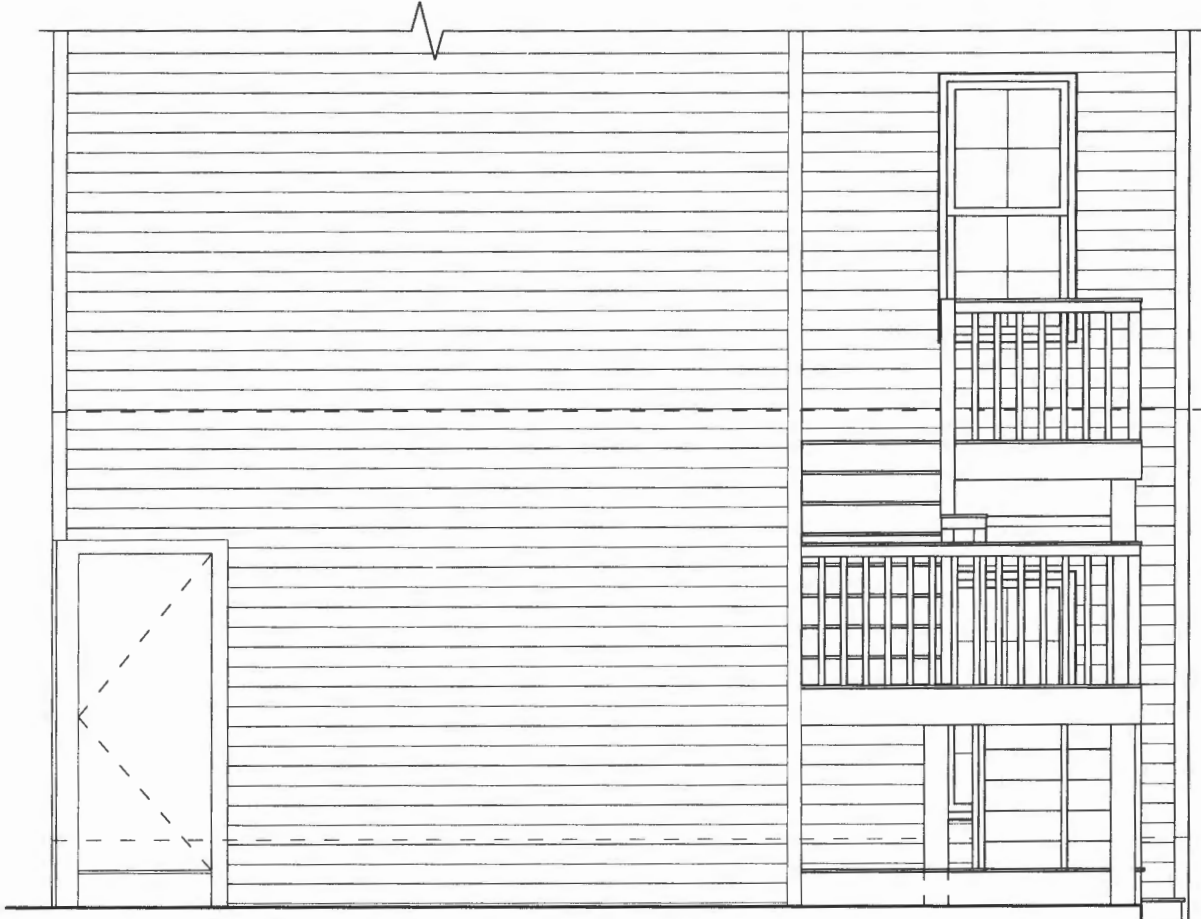
Dept. of Building Inspections
City of Portland Maine

Door 30"

111"

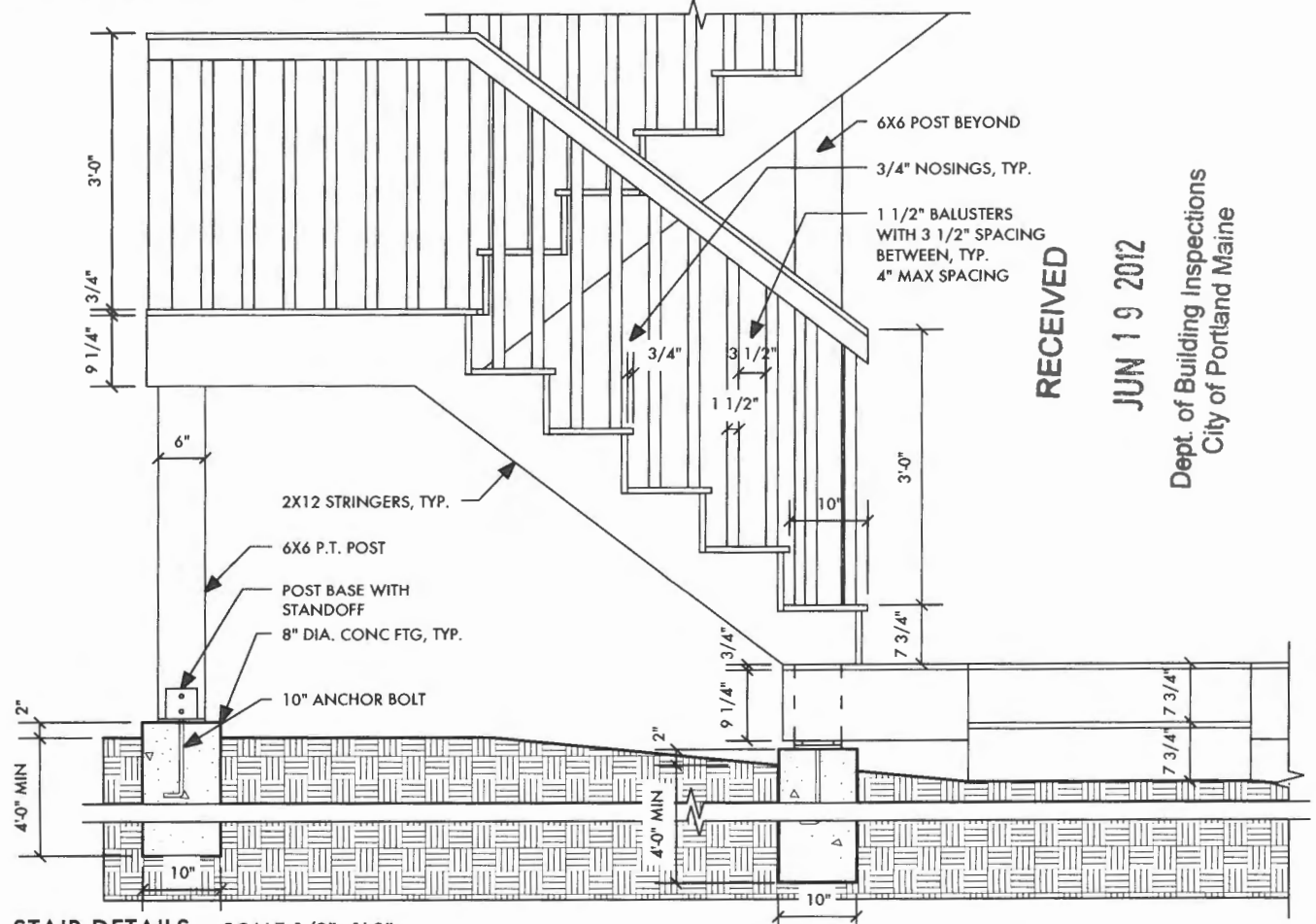
Door 30"

Side of house



3 - BACK ELEVATION SCALE 1/4" = 1'-0"

DRAWN BY: LESLIE BENSON DATE: 6.18.12 SCALE: AS NOTED



4 - STAIR DETAILS SCALE 1/2" = 1'-0"

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Dept. of Building Inspections
City of Portland Maine

NOT FOR CONSTRUCTION

16 Howard Street - Deck & Stair Addition

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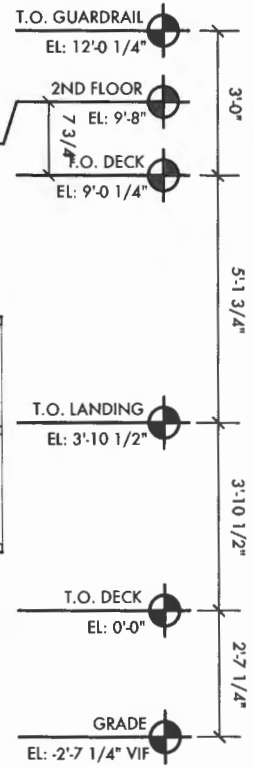
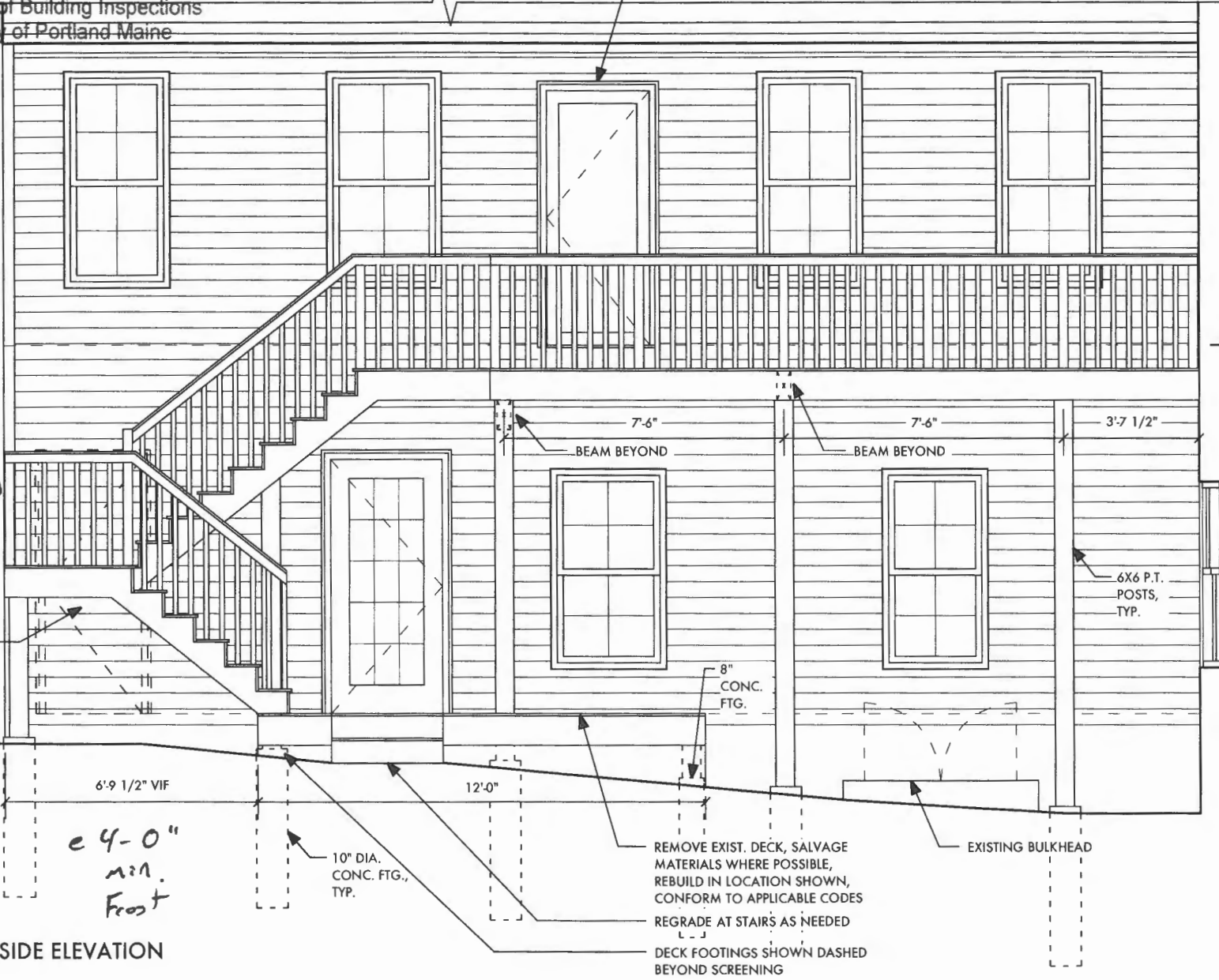
JUN 19 2012

Dept. of Building Inspections
City of Portland Maine

NEW DOOR IN
MODIFIED WINDOW
OPENING, PATCH
FINISHES AS NEEDED

7/16/12
- 7 1/2 x 10"
- 3 4" Opening
- 36" Rail
&
Guard

REMOVE
EXIST. DOOR
AND TRIM,
PATCH
SIDING AS
NEEDED



6'-9 1/2" VIF
e 4'-0"
min.
Frost

10" DIA.
CONC. FTG.,
TYP.

REMOVE EXIST. DECK, SALVAGE
MATERIALS WHERE POSSIBLE,
REBUILD IN LOCATION SHOWN,
CONFORM TO APPLICABLE CODES
REGRADE AT STAIRS AS NEEDED
DECK FOOTINGS SHOWN DASHED
BEYOND SCREENING

EXISTING BULKHEAD

5 - SIDE ELEVATION

NOT FOR CONSTRUCTION

(3) 2x10" Beams 7'-6" Max Proposed

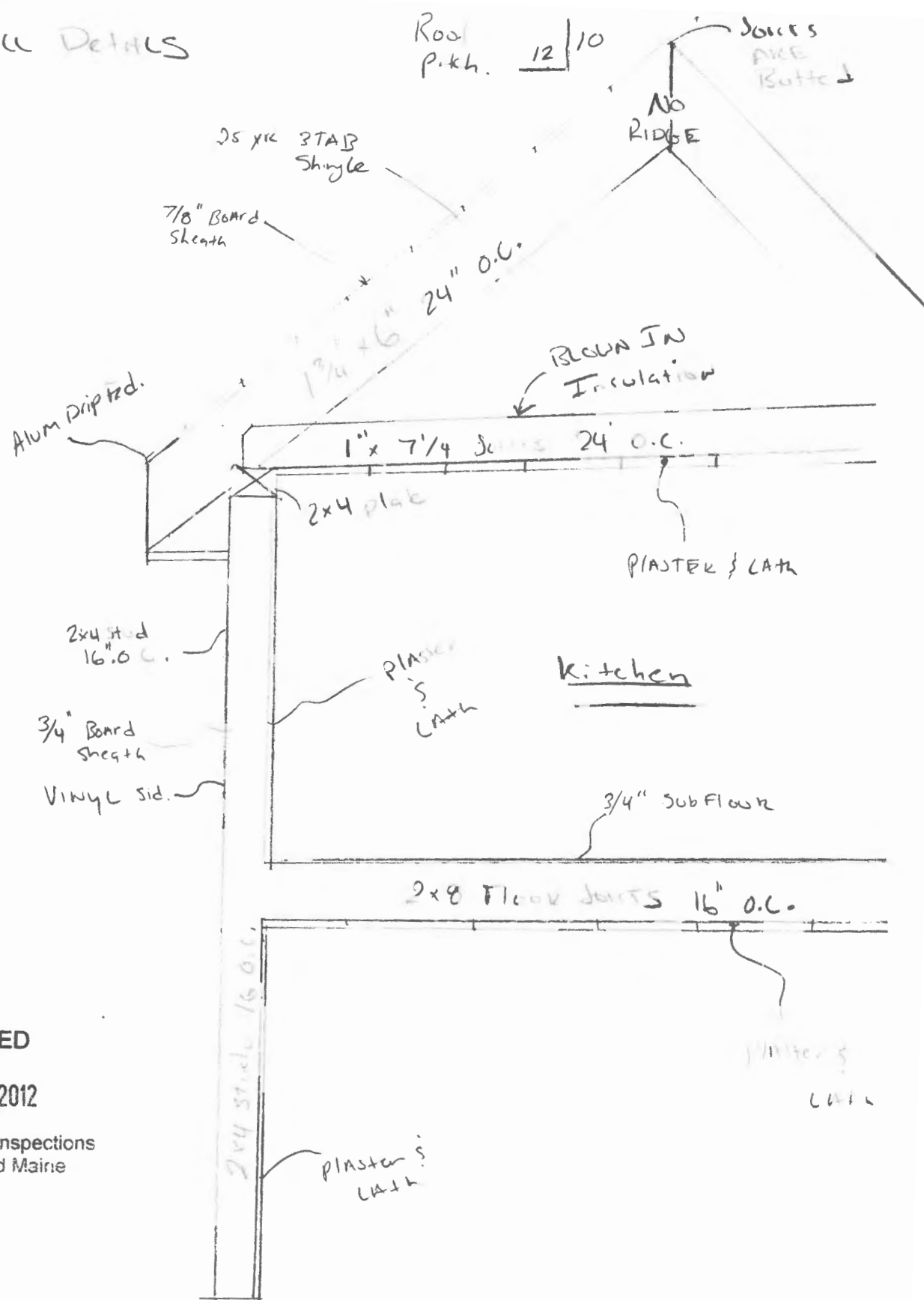
46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 6.18.12 SCALE: 1/4"=1'-0"

Top of Back Stairs



ROOF and WALL DETAILS



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JUN 19 2012

Dept. of Building Inspections
City of Portland Maine

Existing

Side of House + Deck



FRAWLEY CONSTRUCTION

BUILDING TRADITIONAL VALUE

May 17, 2012

Proposal

Customer: Apse
Howard Street
Portland, ME

Project Type: Kitchen and Bath remodel, Build 2nd story deck with stairs.

The following is included is the estimated price:

Remodel kitchen / Bath

1. Widen door way into kitchen.
2. Remove and install new framing as necessary for new bathroom footprint.
3. Remove and install new framing to accommodate new kitchen layout.
4. Fill in framing over back stairs to create more floor space. Remove back stairs to make some simple storage solutions. Patch sheetrock in stair hole.
5. Insulate kitchen walls wherever possible using Roxul Insulation. www.Roxul.com
6. Install and patch sheetrock/ plaster wherever needed.
7. Install pine floors in kitchen to match existing floors, we will match the style and size to the best of our abilities. Finish floors with 2 coats of sealer.
8. Install / remove trim as needed throughout kitchen and bathroom.
9. Remove existing kitchen cabinets and Install new kitchen cabinets supplied by customer.
10. Labor to install tile in bathroom, price **does not** include the cost of tile or grout.
11. Move access into attic to bedroom. Build scuttle hole.

Allowances:

1. Electrical: \$ 2,500.00
2. Plumbing/ gas: \$ 3,200.00
3. Painting : \$1,400.00

2nd Story deck:

1. Build deck from specs on blue print.
2. Materials to be used with be all pressure treated. I looked at using composite components but it would have pushed you guys out of your budget range. Frawley Construction LLC will help with permitting
3. Remove existing kitchen window and Install a 2/8, 6/8 door.

THIS IS NOT A BOUNDARY SURVEY

This copyrighted document expires 07-13-11. Reproduction and/or dissemination after this date is unauthorized.

MORTGAGE INSPECTION OF: DEED BOOK 25925 PAGE 173 COUNTY Cumberland
 PLAN BOOK --- PAGE --- LOT ---

ADDRESS: 46 Howard Street, Portland, Maine

Job Number: 712-44

Buyers: Rachelle F. Curran & Collin D. Apse

Inspection Date: 7-13-11

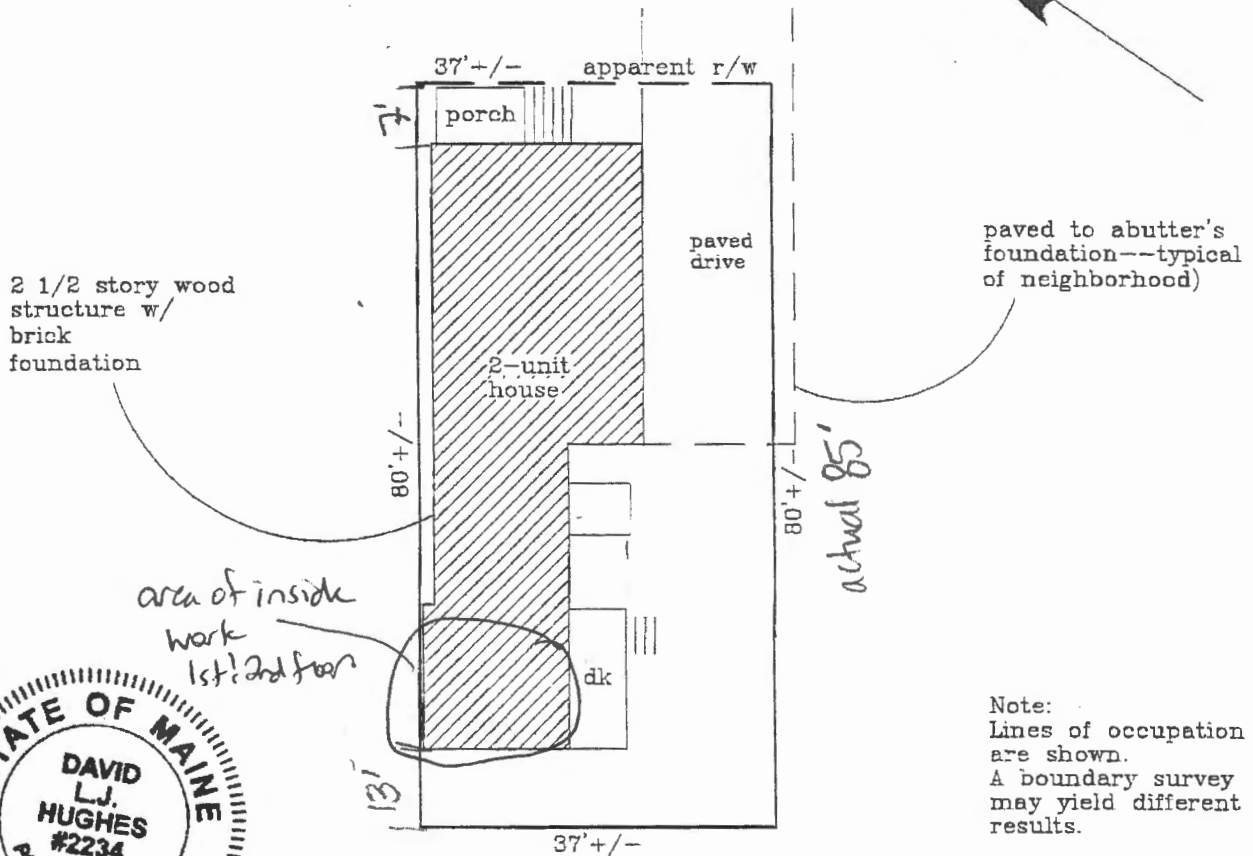
Scale: 1" = 20'

Sellers: Derek P. Converse & Theresa P. Seward

Client File #: 2011-041887

to Quebec St.

Howard Street



Note:
 Lines of occupation are shown.
 A boundary survey may yield different results.

I HEREBY CERTIFY TO: Cumberland Title Services, LLC;
TD Bank, N.A. and its title insurer.
 Monuments found did not conflict with the deed description.
 The dwelling setbacks do not violate town zoning requirements.
 As delineated on the Federal Emergency Management Agency Community Panel 230051-0014 B :
 The structure does not fall within the special flood hazard zone.
 The land does not fall within the special flood hazard zone.
 A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

Livingston-Hughes
 Professional Land Surveyors
 88 Guinea Road
 Kennebunkport, Maine 04046
 207-967-9761 phone 207-967-4831 fax
 www.livingstonhughes.com

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

Colin Apse & Rachelle Curran
46 Howard Street, #2
Portland, Maine 04101

June 4, 2012

Planning and Development Department
Inspections Division
Portland City Hall, Room 315
389 Congress Street
Portland, ME 04101

Dear Inspections Division,

We are writing to request a decision upon a deck and outdoor stair addition to our home on 46 Howard Street in Portland under Section 14-433 of the City's Code of Ordinances prior to submitting a full General Building Permit Application. We write you based on a conversation with Ann Machado. Our home is in the R-6 Zone and it is a 2 unit in which we live on the second floor and rent the first. We purchased the house in June 2011 and are trying to update it before starting a family here in Portland.

We are seeking to add a side deck and outdoor stairs to our second floor unit in order to improve: 1) safety of our home and 2) livability of our kitchen and bathroom. We have two modes of egress from our unit, a front stairs and a back stairs. The back stairs are far from meeting code (see attached pictures). They have a narrow tread depth, ranging from 7 ¼ inches at the top of stairs to a 9 inch depth lower on the staircase and a large riser height of approximately 9 ½ inches. This is the primary exit from our home in the warmer months out to our yard, but it is not safe. We propose replacing this indoor stair with an outdoor stair that meets code as outlined in the attached drawing.

We are also making changes to our current outdated and inconvenient kitchen and bath. Our only bathroom is currently 5'8 ½" by 4'5" about the size of a half bath, which can not fit a standard size sink or allow free movement. Our kitchen is an inconvenient three-pronged shape, with the sink on the opposite side of the room as the stove and the entry to the back stairs sticking out in between (see attached drawing).

To remedy this situation, we have worked with an architect, contractor, and kitchen/bath designer to come up with a draft plan which will include a larger bath and a modern kitchen by eliminating the back indoor stairs (see attached drawing and contractors estimate). To permit a second exit, we propose constructing an exit door out one of our current kitchen windows that goes out to an exterior staircase that would largely mirror a first floor deck that existed when we purchased the house. The outdoor staircase would meet all current codes and not impact the rear yard setback more than our current house footprint does. The design is also within the 10 foot

FRAWLEY

-
- Upon completion the site will be cleared of all construction waste.
-

Estimated price for Kitchen/ Bath remodel and 2nd story deck: \$ 31,950.00

It is our to build long term customer relationships , we stand behind a 100 % customer satisfaction guarantee.

Thank you,

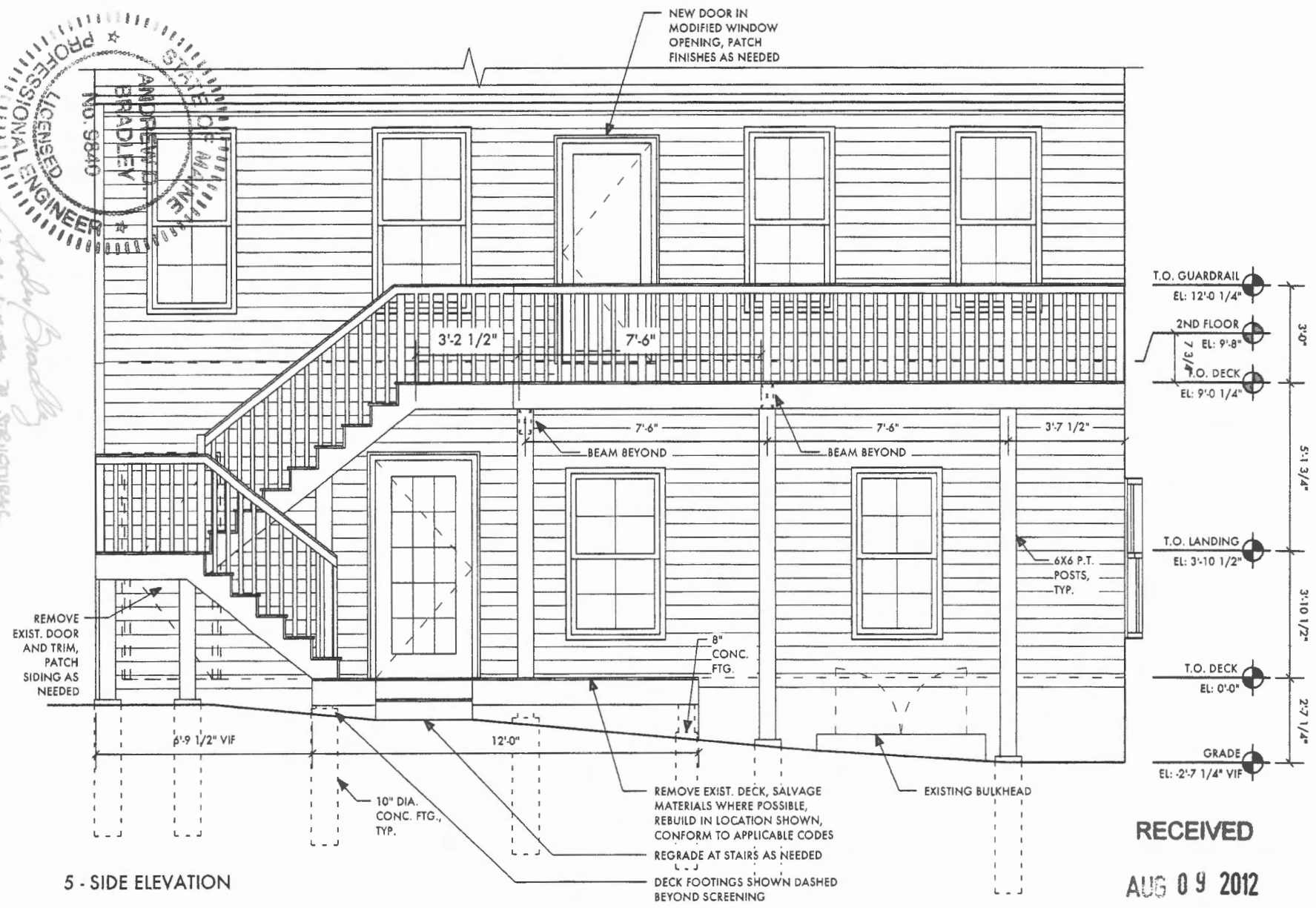
S.Andrew Frawley, Owner

Frawley Construction LLC

207-400-0042



Andrew Bradley
 WALK LIMITED P. STRUCTURAL
 10 FOREWATER RD / DEBIAILS



5 - SIDE ELEVATION

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AUG 09 2012

Dept. of Building Inspections
 City of Portland Maine

NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: 1/4"=1'-0"

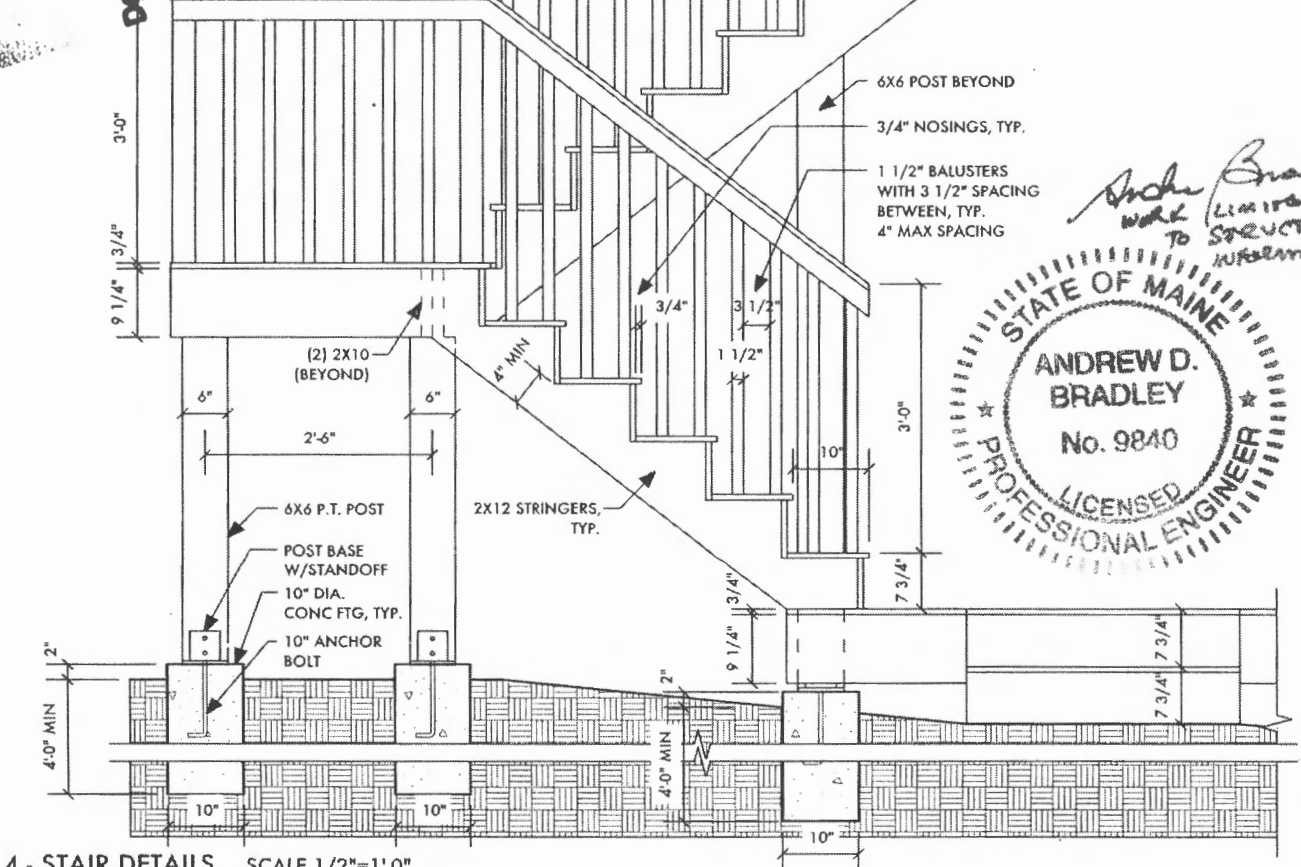
46 Howard Street

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AUG 6 2012
Dept. of Professional Regulation
Building Inspection

3 - BACK ELEVATION SCALE 1/4" = 1'-0"



DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: AS NOTED



4 - STAIR DETAILS SCALE 1/2" = 1'-0"

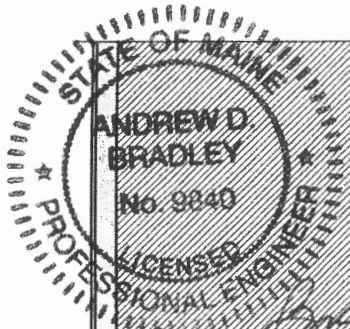
Andrew Bradley
LIMITED
TO STRUCTURAL
INFORMATION/DES

STATE OF MAINE
ANDREW D. BRADLEY
No. 9840
LICENSED PROFESSIONAL ENGINEER

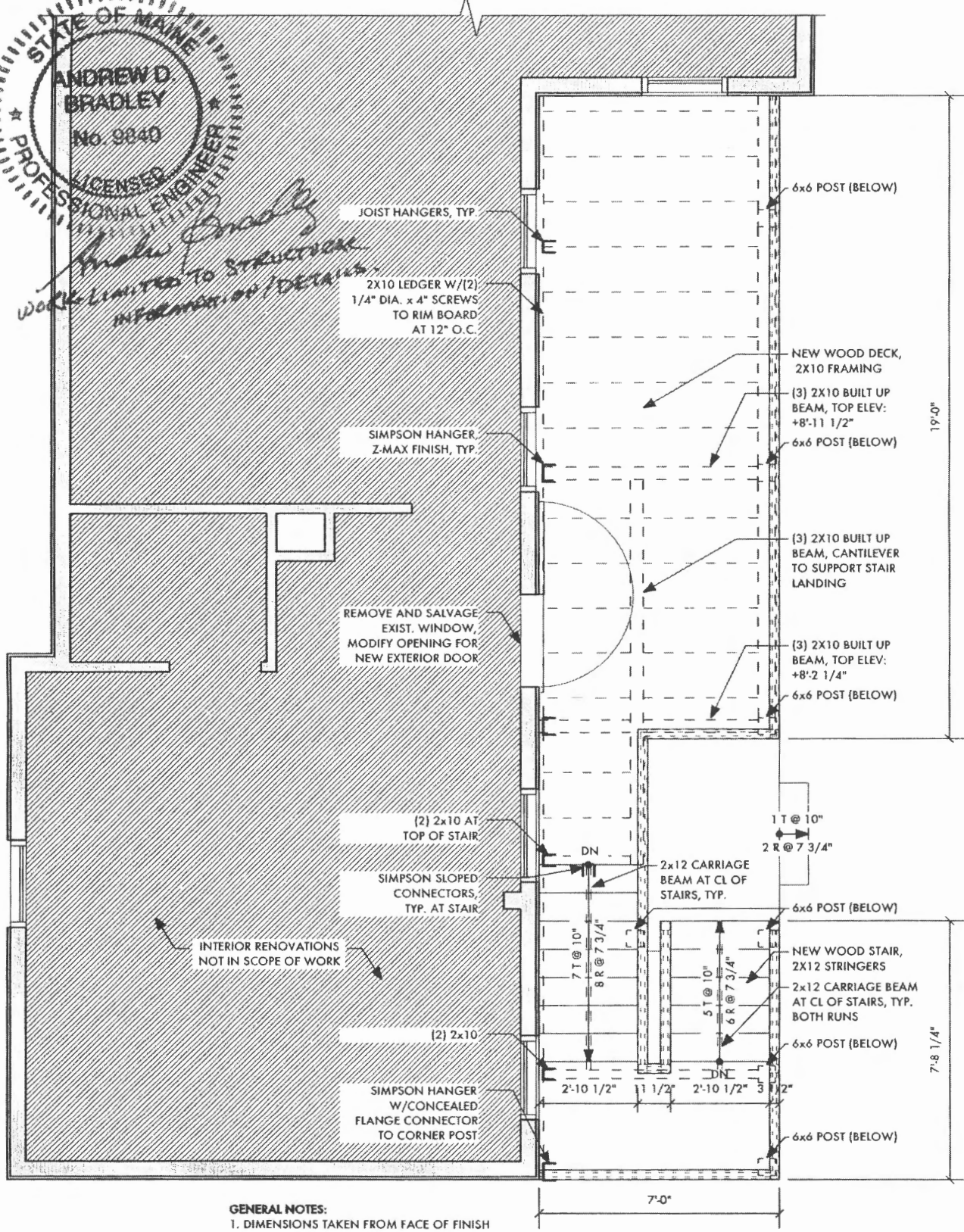
NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

CBC8 014 E009



Work limited to structural information/details.

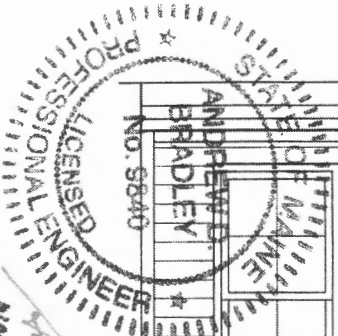


- GENERAL NOTES:**
1. DIMENSIONS TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
 2. ALL DECK FRAMING TO BE P.T. LUMBER, #2 SYP OR BETTER.
 3. GUARD RAILING TO BE 1 1/2" SQUARE BALUSTERS BETWEEN 1X4 TRIM AT TOP RAIL WITH 3X3 NEWEL POSTS. CAP TO BE GRASPABLE AND SERVE AS HANDRAIL.
 4. SECOND FLOOR DECK POSTS AND FRAMING SHOWN DASHED
 5. ALL FOUNDATION TUBES TO BE 10" DIA., UNLESS OTHERWISE NOTED
 6. ALL METAL CONNECTORS ARE TO BE HOT-DIPPED (Z-MAX) FINISH WITH FASTENERS DESIGNED FOR CONTACT WITH P.T. FRAMING.

2 - 2ND FLOOR PLAN

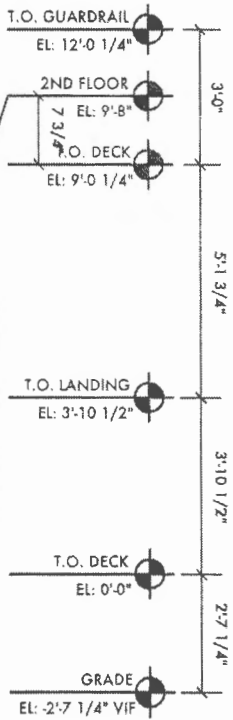
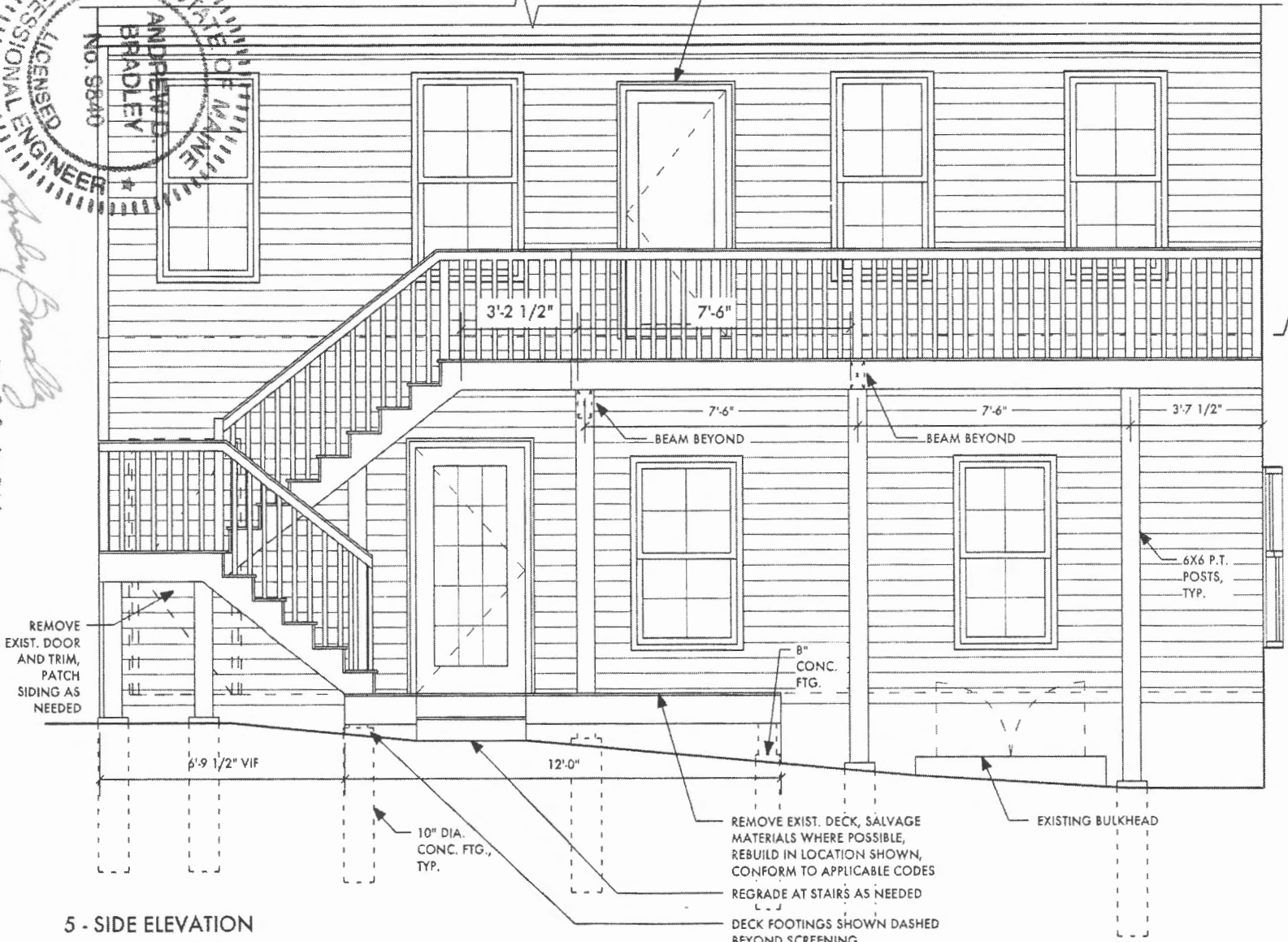


NOT FOR CONSTRUCTION
 46 Howard Street - Deck & Stair Addition
 DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: 1/4" = 1'-0"



Andrew Bradley
 WORK LIMITED TO SPECIFICATED
 IN FOUNDATION/DETAILS

NEW DOOR IN
 MODIFIED WINDOW
 OPENING, PATCH
 FINISHES AS NEEDED



5 - SIDE ELEVATION

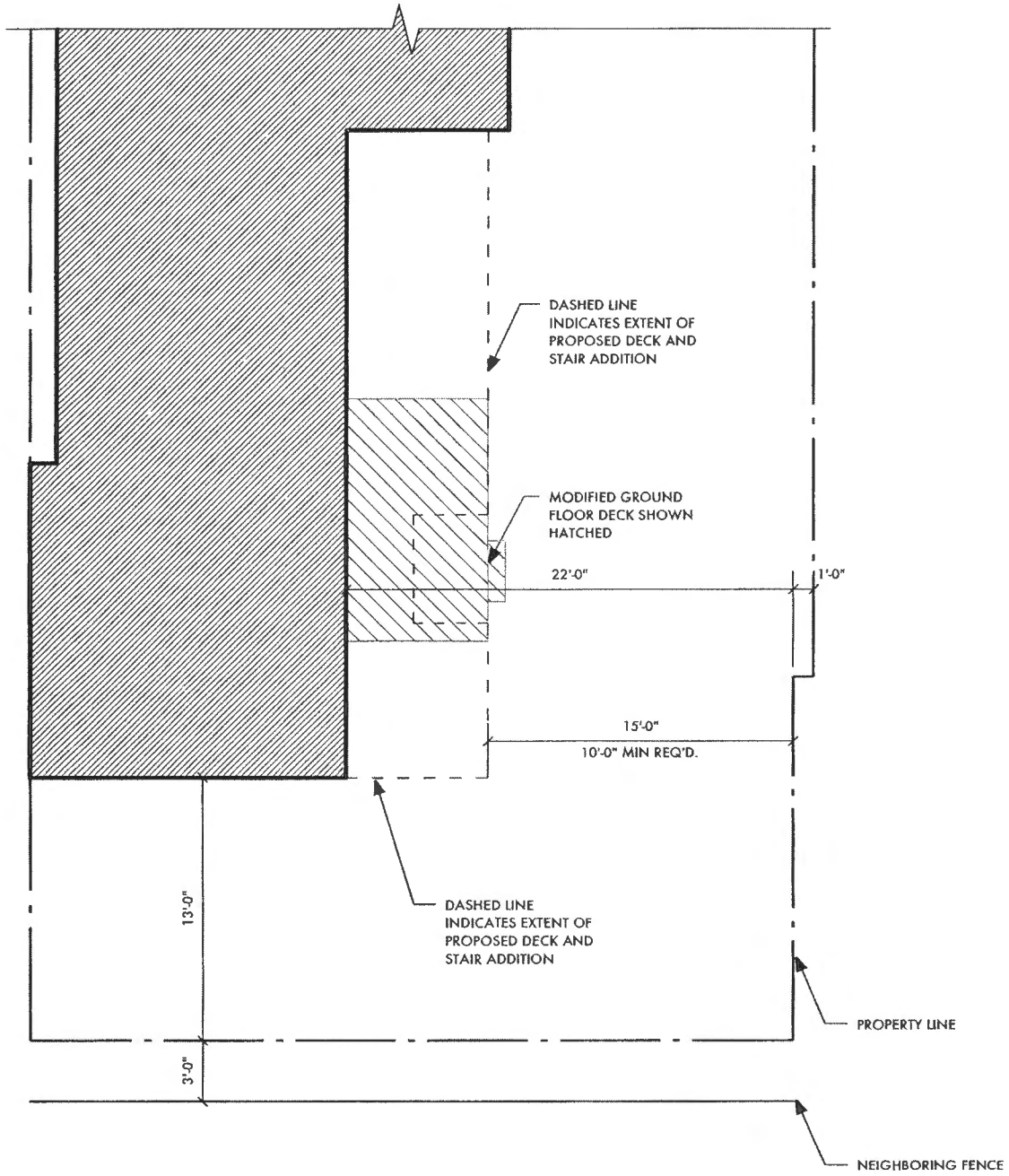
REMOVE EXIST. DECK, SALVAGE MATERIALS WHERE POSSIBLE, REBUILD IN LOCATION SHOWN, CONFORM TO APPLICABLE CODES
 REGRADE AT STAIRS AS NEEDED
 DECK FOOTINGS SHOWN DASHED BEYOND SCREENING

NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: 1/4"=1'-0"

1 - SITE PLAN



NOT FOR CONSTRUCTION

46 Howard Street - Deck & Stair Addition

DRAWN BY: LESLIE BENSON DATE: 8.7.12 SCALE: 1/8"=1'-0"



Permit # 091211 already issued

Application for Exemption from Site Plan Review

Portland, Maine

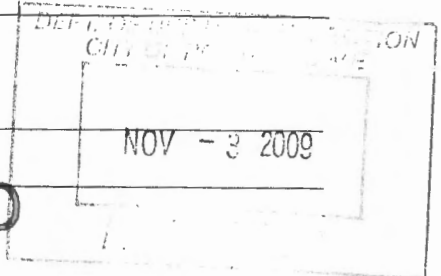
Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: Converse Porch Expansion

PROJECT ADDRESS: 46 Howard Street

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

Expand porch by 40 SF. - two family



CHART/BLOCK/LOT: 14 / E / 9

RECEIVED

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Derek Converse
 Address: 46 Howard Street
 Zip Code: 04101
 Work #: 207-791-2516
 Home #: 207-632-3532
 Fax #: 207-791-2571
 E-mail: derekconverse@yahoo.com

CONSULTANT/AGENT

NOV 20 2009
 Dept. of Building Inspections
 City of Portland Maine
 Address: _____
 Zip Code: _____
 Work #: _____
 Home #: _____
 Fax #: _____
 E-mail: _____

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NOV - 4 2009

City of Portland
Planning Division

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

No	No
Yes	Yes
Yes	Yes
N/A	No
N/A	Yes
N/A	No
No	No
No	No
N/A	No
N/A	N/a
N/A	N/a

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied

The applicant must obtain all applicable building permits.

Planner's Signature

Date Nov. 17, 2009

~ Original - Planning Division ~

~ Copy - Inspections Division and Applicant ~

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

Planning Shukria Wiar

November 17, 2009

Conditional of approval:

The applicant must obtain all applicable building permits.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 HOWARD ST.</u>		
Total Square Footage of Proposed Structure/Area <u>40 SF</u>		Square Footage of Lot <u>2,960 SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>14</u> Block# <u>E</u> Lot# <u>9</u>	Applicant * must be owner, Lessee or Buyer* Name <u>DEREK CONVERSE</u> Address <u>46 HOWARD ST.</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>207-632-3532</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2800</u> C of O Fee: \$ _____ Total Fee: \$ <u>40.00</u>
Current legal use (i.e. single family) <u>TWO-FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>TEAR DOWN EXISTING FRONT PORCH; REBUILD NEW FRONT PORCH SLIGHTLY LARGER</u>		
Contractor's name: <u>BROAD SOUND CONSTRUCTION</u> Address: <u>278 POLAND RANGE ROAD</u> City, State & Zip <u>POWELL, ME</u> Telephone: <u>207-318-9315</u> Who should we contact when the permit is ready: <u>DEREK CONVERSE</u> Telephone: <u>207-632-3532</u> Mailing address: <u>46 HOWARD ST., PORTLAND, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

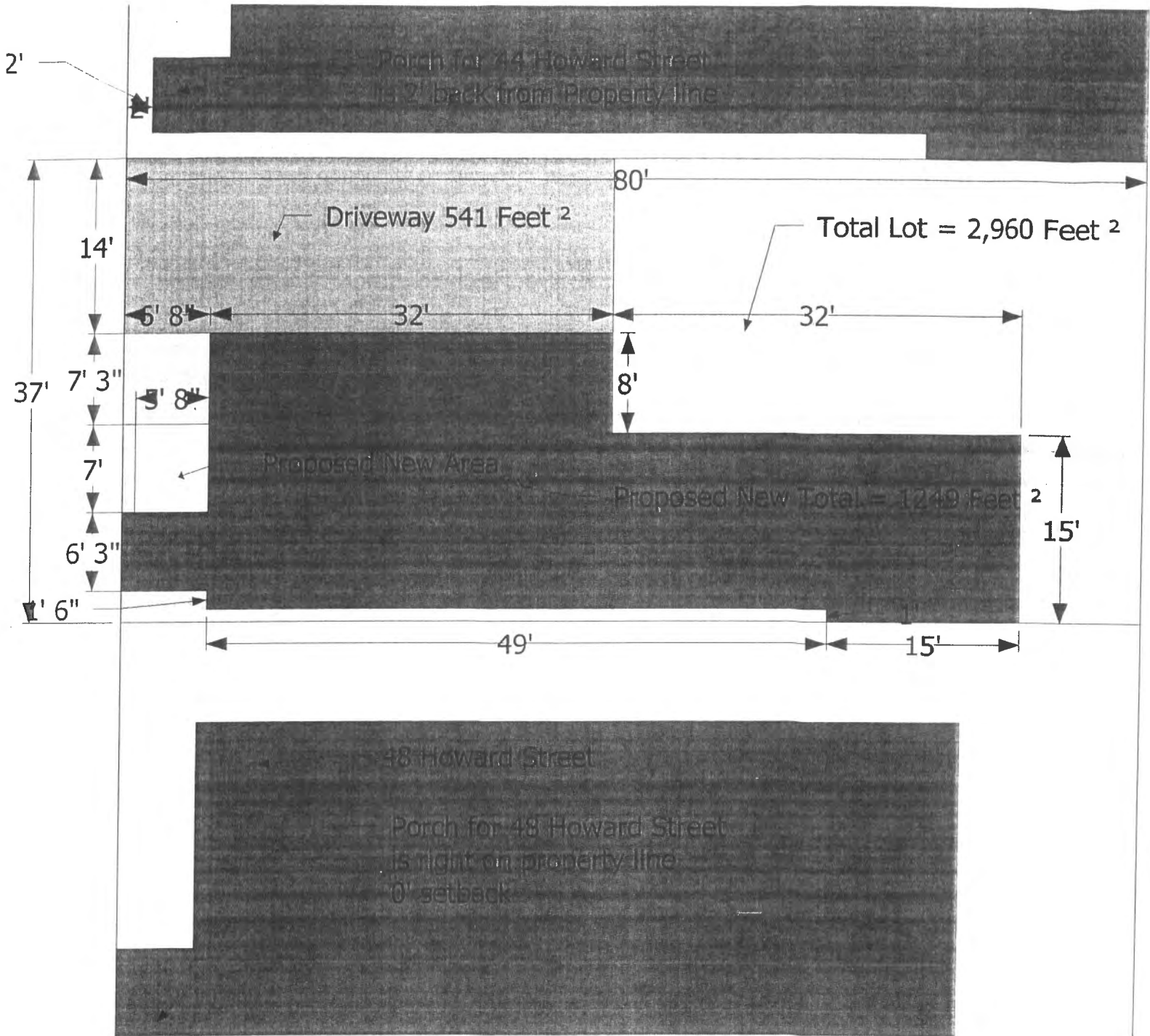
Signature: [Signature]

Date: 10/26/09

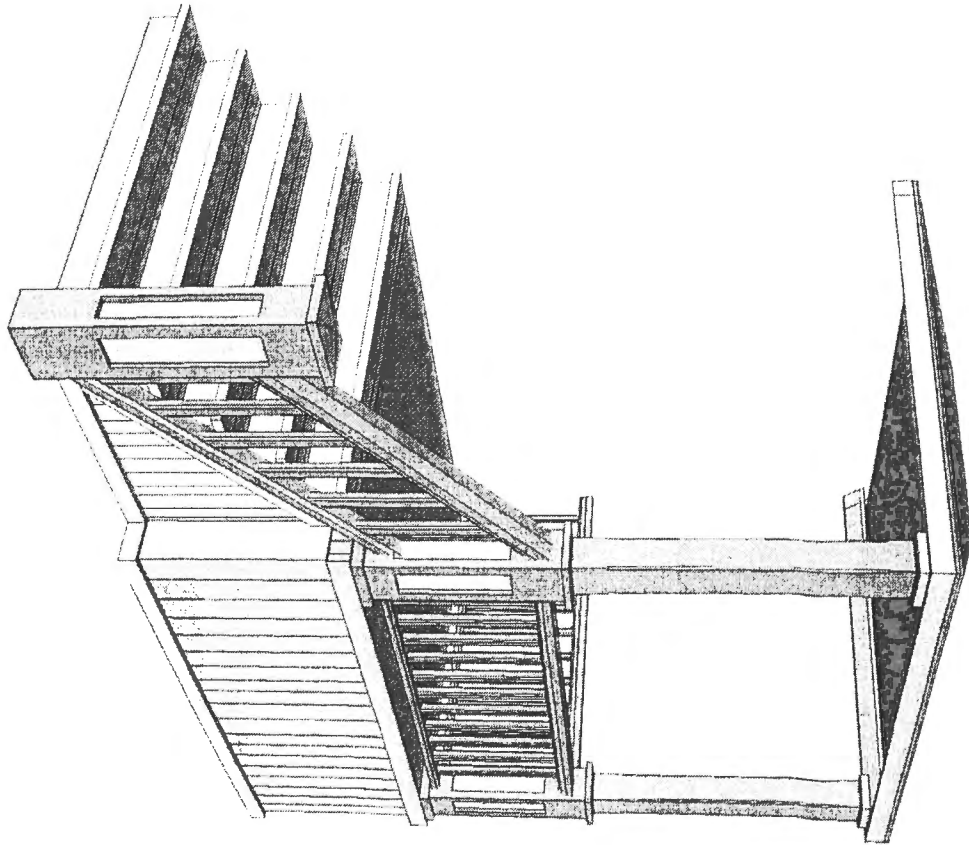
This is not a permit; you may not commence ANY work until the permit is issued

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Inspections
Department of
Planning and
Development

NOV - 4 2009

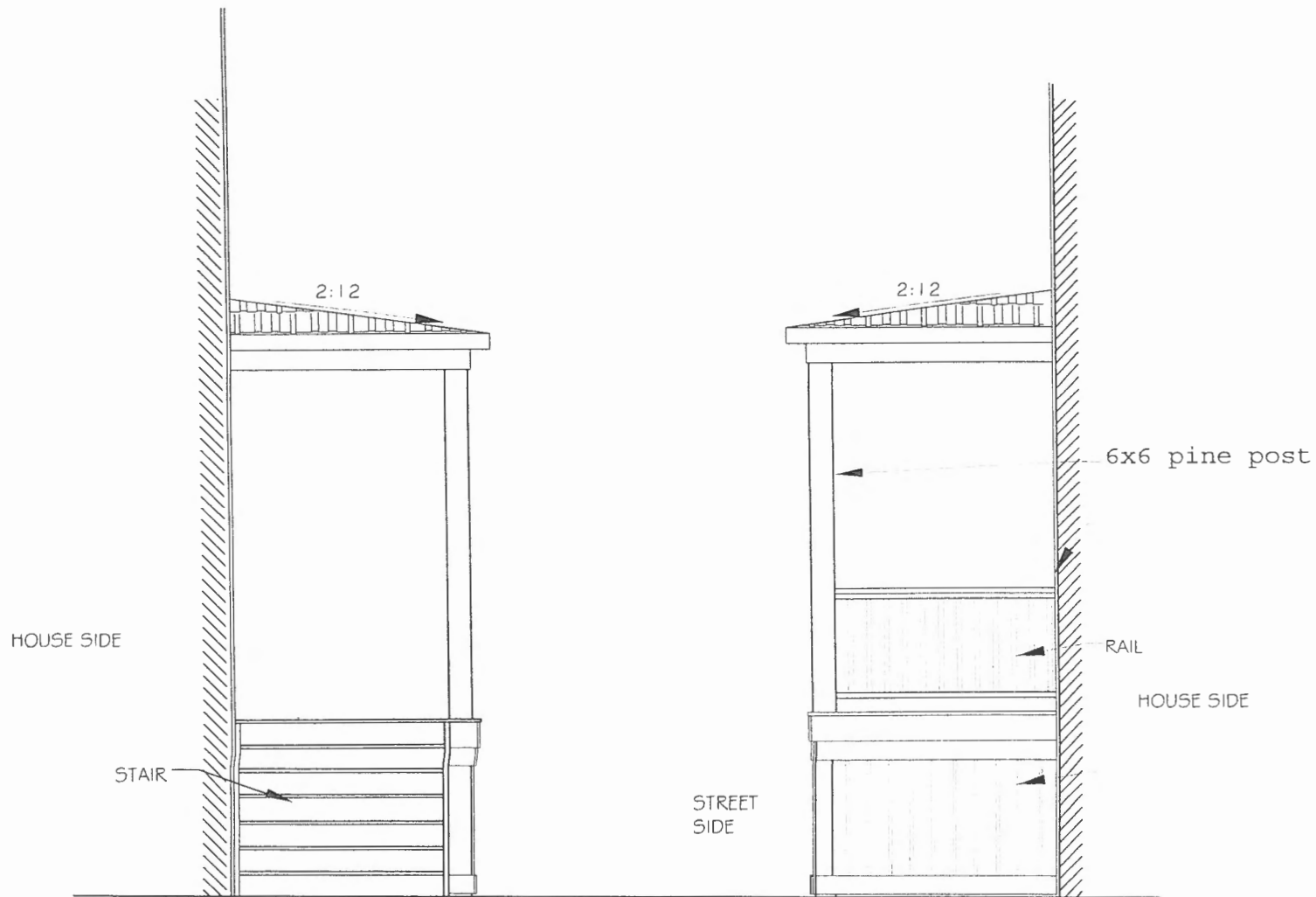


$dw\ 14 \times 38'8" = 541.30\ ft^2$



BLUE
LANDSCAPE
DESIGN
South Portland
Maine

Converse/Seward Residence
Portland, Maine



1 SOUTH ELEVATION
L-2 Scale: 1/4"=1'-0"

2 NORTH ELEVATION
L-2 Scale: 1/4"=1'-0"

June 03, 2008

Drawn by cc
Checked by bl

L-2

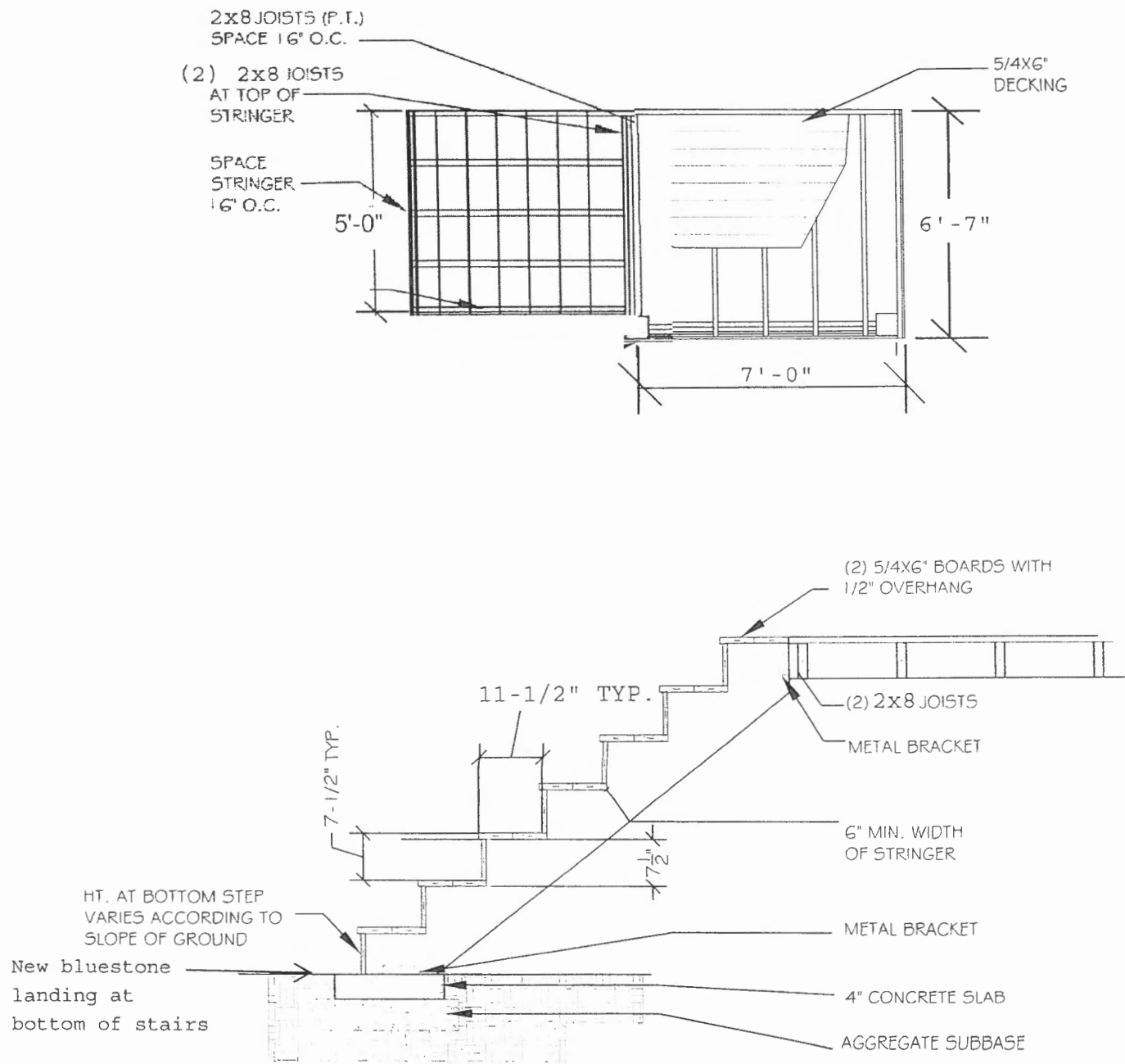
BLUE
LANDSCAPE
DESIGN
South Portland
Maine

Converse/Seward Residence
Portland, Maine

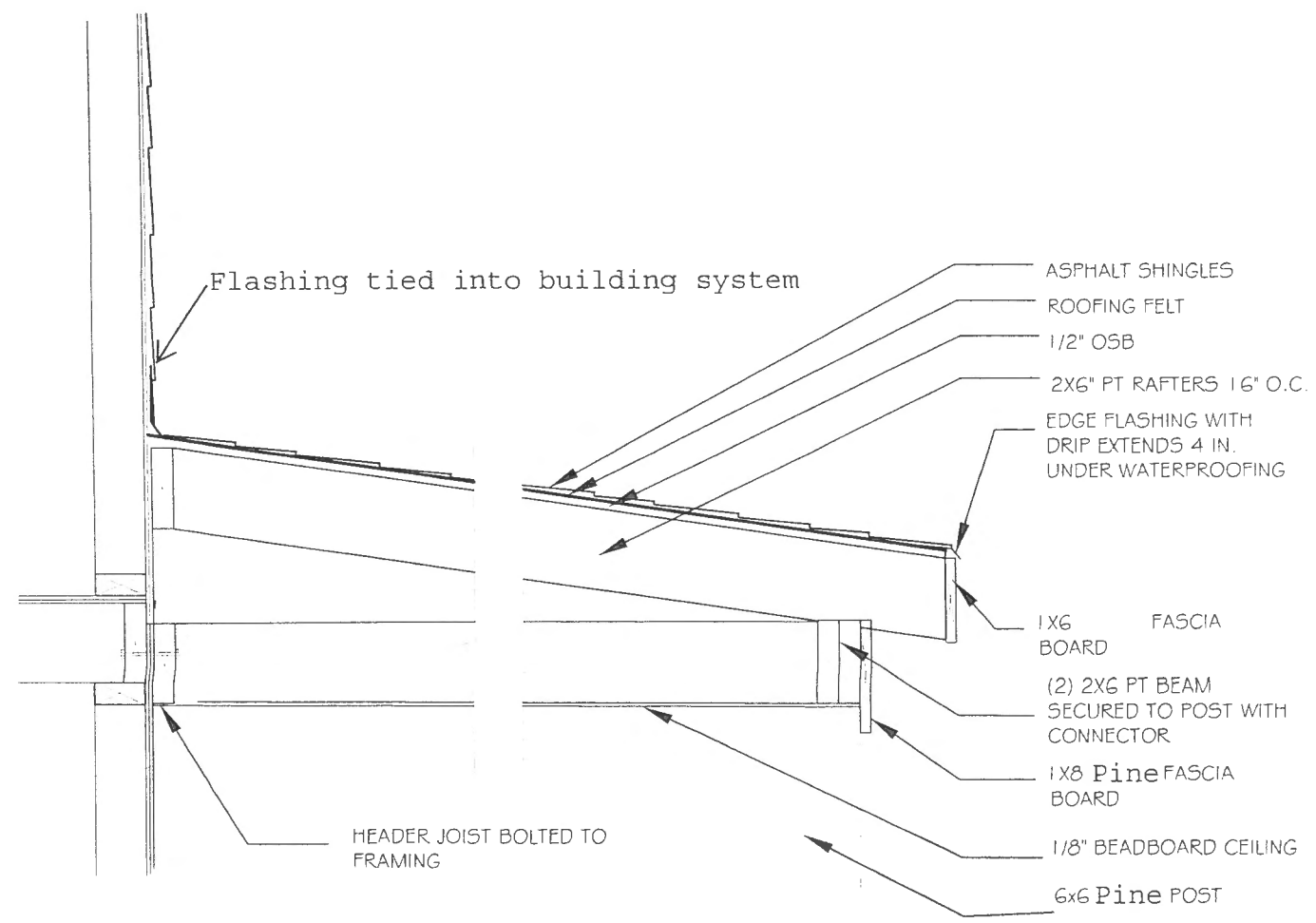
June 03, 2008

Drawn by cc
Checked by bl

L-3



2
L-3 STAIR SECTION
Scale: 1/2" = 1'-0"



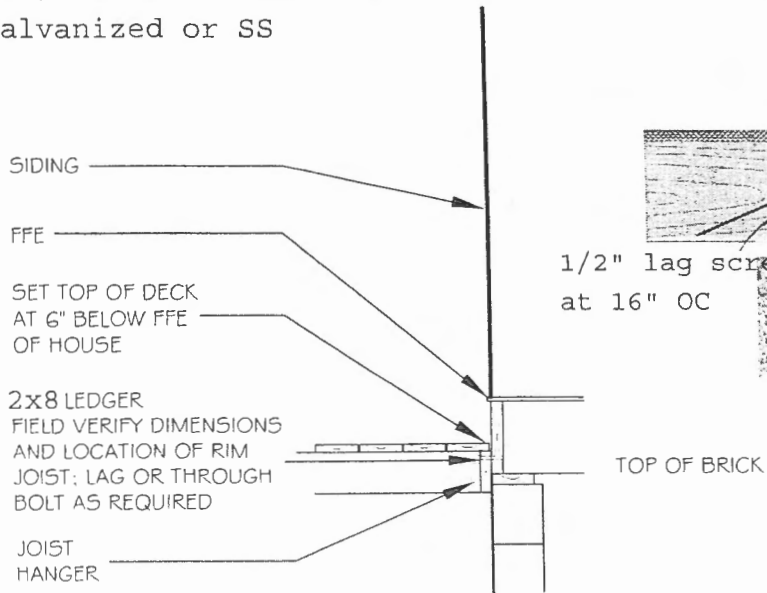
1 SECOND STORY DECK SECTION
L-4 Scale: 1"=1'-0"

June 03, 2008

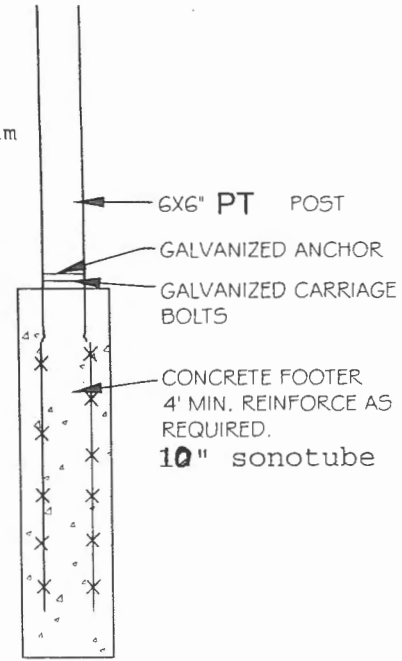
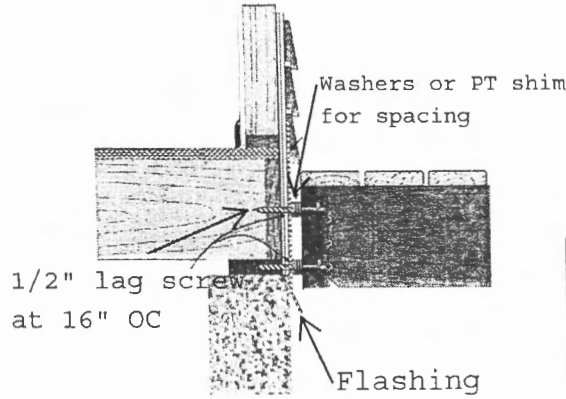
Drawn by cc
Checked by bl

Note: All fasteners, lag screws, bolts and washers to be galvanized or SS

Deck ledger detail

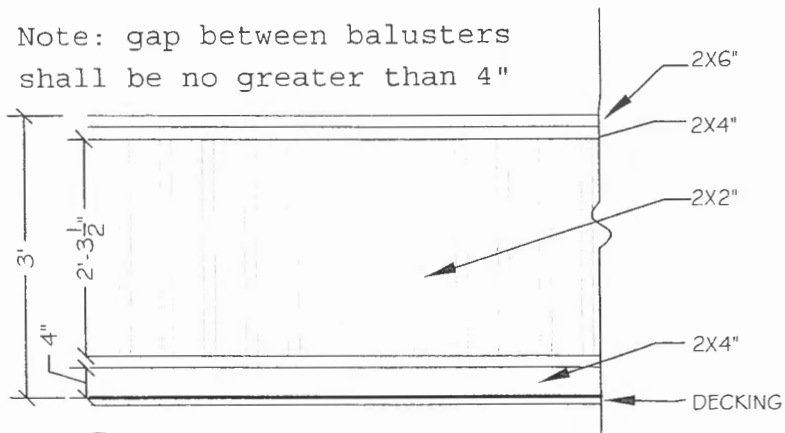


1 DECK TO BUILDING SECTION
L-5 Scale: 1/2" = 1'-0"

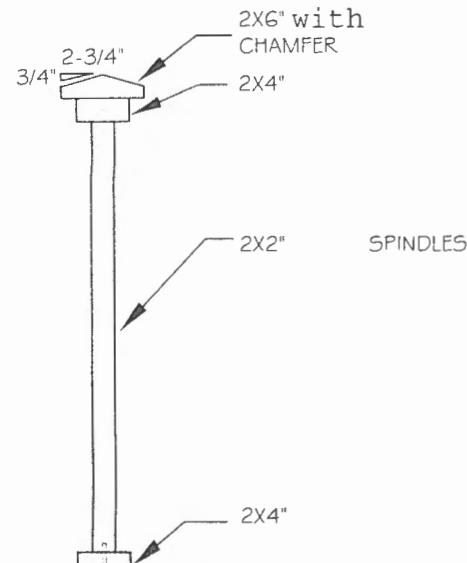


2 POST TO PIER CONNECTION SECTION
L-5 Scale: 1/2" = 1'-0"

Note: gap between balusters shall be no greater than 4"



3 RAIL ELEVATION
L-5 Scale: 1/2" = 1'-0"



4 RAIL SECTION
L-5 Scale: 1" = 1'-0"

BLUE
LANDSCAPE
DESIGN
South Portland
Maine

Converse/Seward Residence
Portland, Maine

June 03, 2008

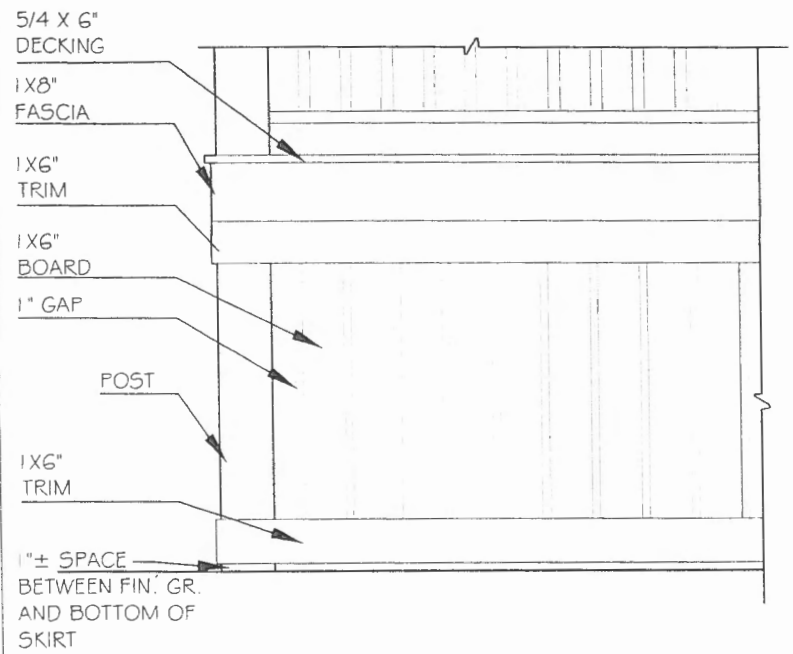
Drawn by cc
Checked by bl

L-5

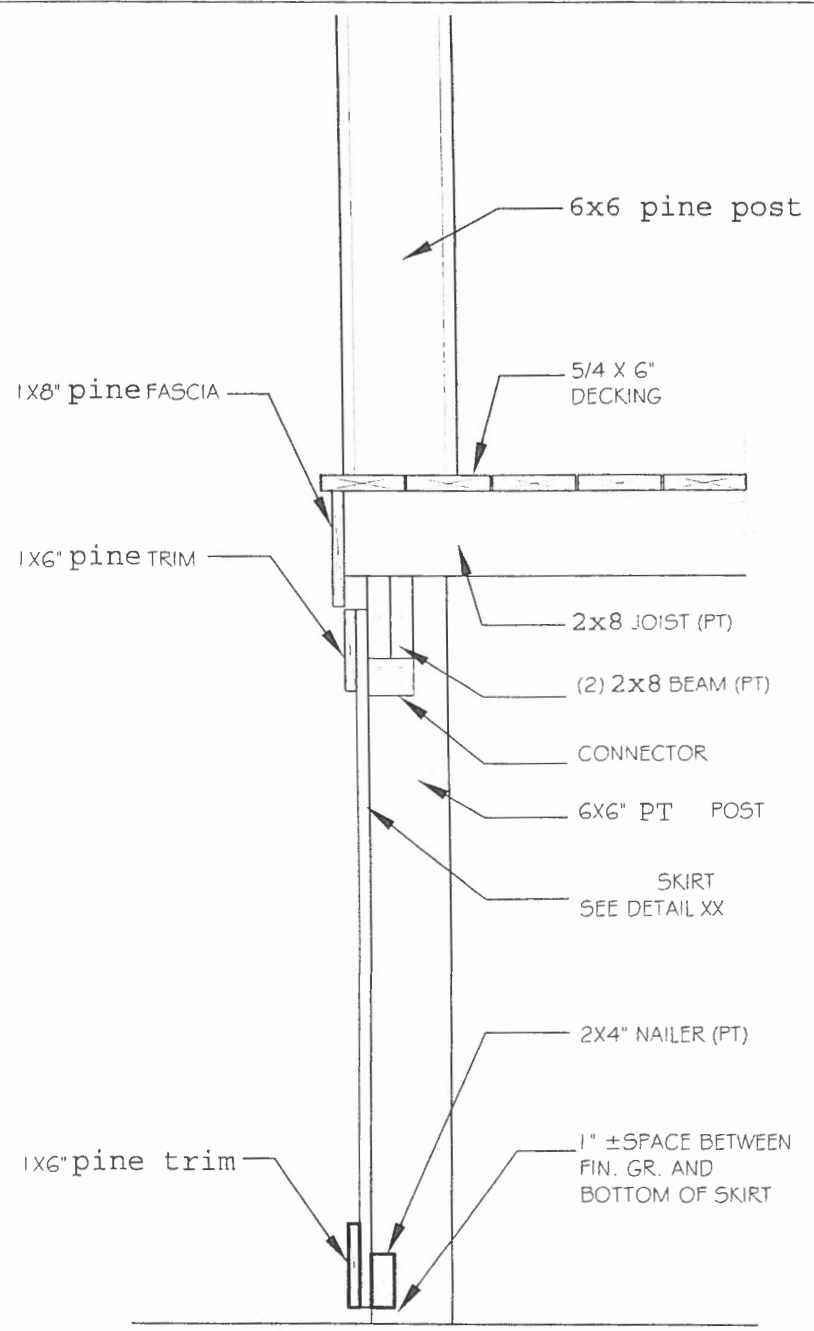
BLUE
LANDSCAPE
DESIGN
South Portland
Maine

Converse/Seward Residence
Portland, Maine

June 03, 2008
Drawn by cc
Checked by bl



1 SKIRT ELEVATION
L-6 Scale: 1/2" = 1'-0"



2 SKIRT SECTION
L-6 Scale: 1" = 1'-0"

L-6

EXISTING
CONDITION
46 HOWARD ST

