

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0412	Issue Date: JUN 26 2003	CBL: 014 D012001
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Location of Construction: 89 Congress St	Owner Name: Iovino David B	Owner Address: 32 Hampshire St CITY OF PORTLAND	Phone: 772-7719
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone: 2077973381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B1

Past Use: Restaurant	Proposed Use: Restaurant with structural repairs <i>The use is not determined by this permit</i>	Permit Fee: \$93.00	Cost of Work: \$10,000.00	CEO District: 1
Proposed Project Description: Structural repairs <i>required for bldg regardless of use</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>NO USE JUST REPAIRS</i> Type: <i>5B</i>	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: kwd	Date Applied For: 04/30/2003	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date: <i>6/20/03</i>
	Date: <i>6/20/03</i>			Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone: (207) 797-3381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Retail with structural repairs	Proposed Project Description: Structural repairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/20/2003
Note: **Ok to Issue:**
 1) The issuance of this permit does not permit a change of use. The listed, documented uses shown in the microfiche continue. These structural changes are required for the building regardless of use.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/24/2003
Note: **Ok to Issue:**
 1) This permit authorizes no use, just repairs of existing. It should be noted that the engineer has designed this repair to 40 psf. Any future use of the space will be limited to uses that are compatible with that loading.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 030412

PERMIT

PERMIT ISSUED

This is to certify that Iovino David B /Papi & Romo Builders, Inc

has permission to Structural repairs

JUN 26 2003

AT 89 Congress St

014 D012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be given and when permission procured before this building or part thereof is occupied or closed-in. HOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

03-0412

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>89 CONGRESS STREET</u>	
Total Square Footage of Proposed Structure	Square Footage of Lot
Tax / Char	Telephone:
Lessee	Cost Of Work: \$ <u>10,000.00</u> : \$ <u>93.00</u>
Current	OUT
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review	der will be issued
and a	- 3381

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I hereby ce
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all applicable laws of this
authorized representative
of the codes applicable

Signature

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This
If you are

BUILDING INSPECTION
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 and fees with the
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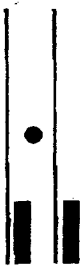
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Proposed Use: Retail with structural repairs	Proposed Project Description: Structural repairs
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 06/20/2003	Ok to Issue: <input checked="" type="checkbox"/>
Note: 1) The issuance of this permit does not permit a change of use. The listed, documented uses shown in the microfiche continue. These structural changes are required for the building regardless of use.				
Dept: Building	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Dept: Fire	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>



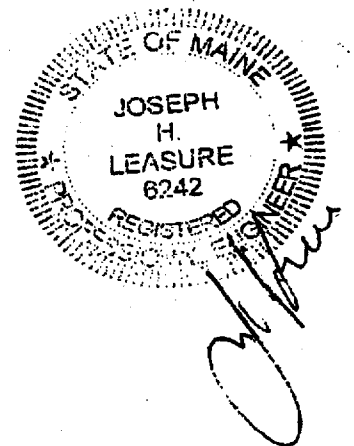
L & L STRUCTURAL
ENGINEERING SERVICES, INC.
Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

RESTAURANT AT: 89 CONGRESS STREET PORTLAND, MAINE

SECOND FLOOR (ABOVE RESTAURANT)
FRAMING REINFORCEMENT
STRUCTURAL DRAWINGS
GENERAL NOTES

Prepared for: David Levine
~~22 Hampshire Street Apt #2~~
Portland, Maine 04101

Submission Date: April 14, 2003
Drawings: S1 through S6



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
4. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Loads shall be in accordance with the building code.
 Roof (snow) Live Load..... 42 PSF (plus drift as applicable)
 Floor Load 40 PSF
3. Lateral loads (wind and seismic) shall be in accordance with the code.

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318—Latest Edition.
2. Concrete strength at 28 days shall be 3000 PSI.
3. All concrete shall be air entrained per the specifications.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315—Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete shall conform to ATSM C-1116.
9. Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6" minimum.
10. Concrete finishes: Per Owner.
11. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
12. Provide controljoints in slabs at 15' x 15' maximum spacing (225 SF).
13. The general contractor shall be responsible for coordination of door bond out locations, slab depression and other required bond outs. Coordinate location of bond outs with Architectural, Mechanical & Plumbing, Electrical and kitchen equipment vendors as necessary to properly install each specific item.

designed by: JHL	RESTAURANT at: 89 CONGRESS STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4630 FAX: (207) 768-8432 EMAIL: LLEN@AOL.COM	S1
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: APRIL 14, 2003			

FOUNDATION NOTES:

1. Foundations have been designed utilizing a presumptive bearing capacity of 2000 PSF to be verified in the field.
2. Interior spread footings and exterior strip footings shall be founded on undisturbed native soil or compacted structural fill.
3. Exterior strip and spread footings shall be founded a minimum of 4'-0" below finished grade.
4. Slabs on grade shall bear on a minimum of 8" of compacted structural fill overlaid with 4" of sand. If loose or undesirable fills are encountered at the slab sub grade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
6 INCH	100
3 INCH	70-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5

6. Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by self propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM D-1557).
7. Under drains shall be installed to positively drain to a suitable discharge point away from the structure.
8. Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
9. Backfill both sides of foundation walls simultaneously.
10. Do not back fill walls until the first first floor elevated slab and basement slab have been installed.

designed by: JHL	RESTAURANT at: 89 CONGRESS STREET PORTLAND, MAINE GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 788-8432 EMAIL: LLS@BACI.COM	S2
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: April 14, 2003			

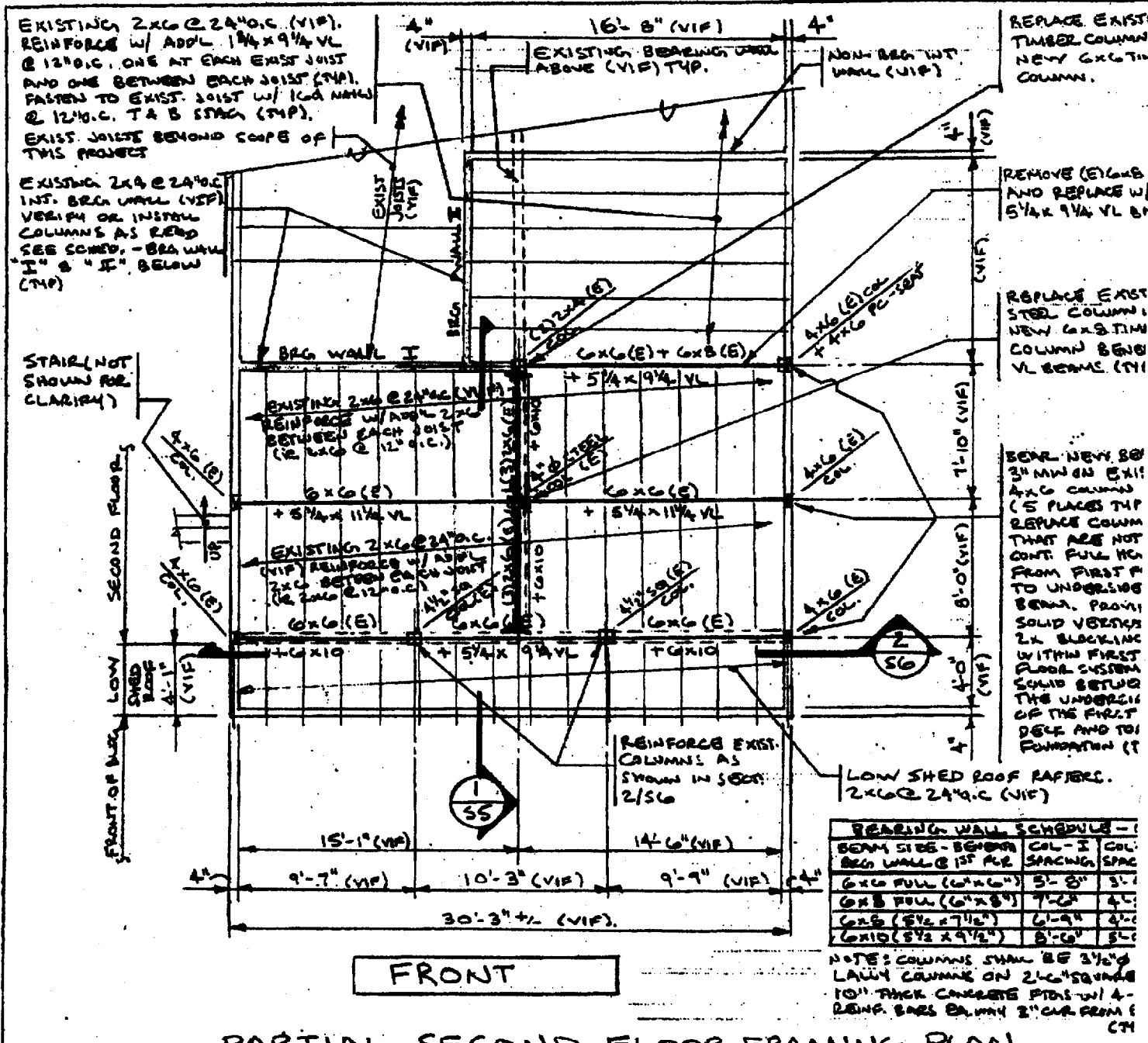
TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content (unless otherwise noted on the drawings).
3. All lumber in contact with concrete shall be pressure treated. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide solid 2x timber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide 19/32" thick APA rated sheathing on roof framing.
8. Provide 15/32" thick APA rated sheathing on exterior wall framing.
9. Provide 23/32" thick APA rated sheathing on floor framing.

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR.B.
 - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4" # ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

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drawn by: JHL			
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scale: NOTED			
date: April 14, 2003			



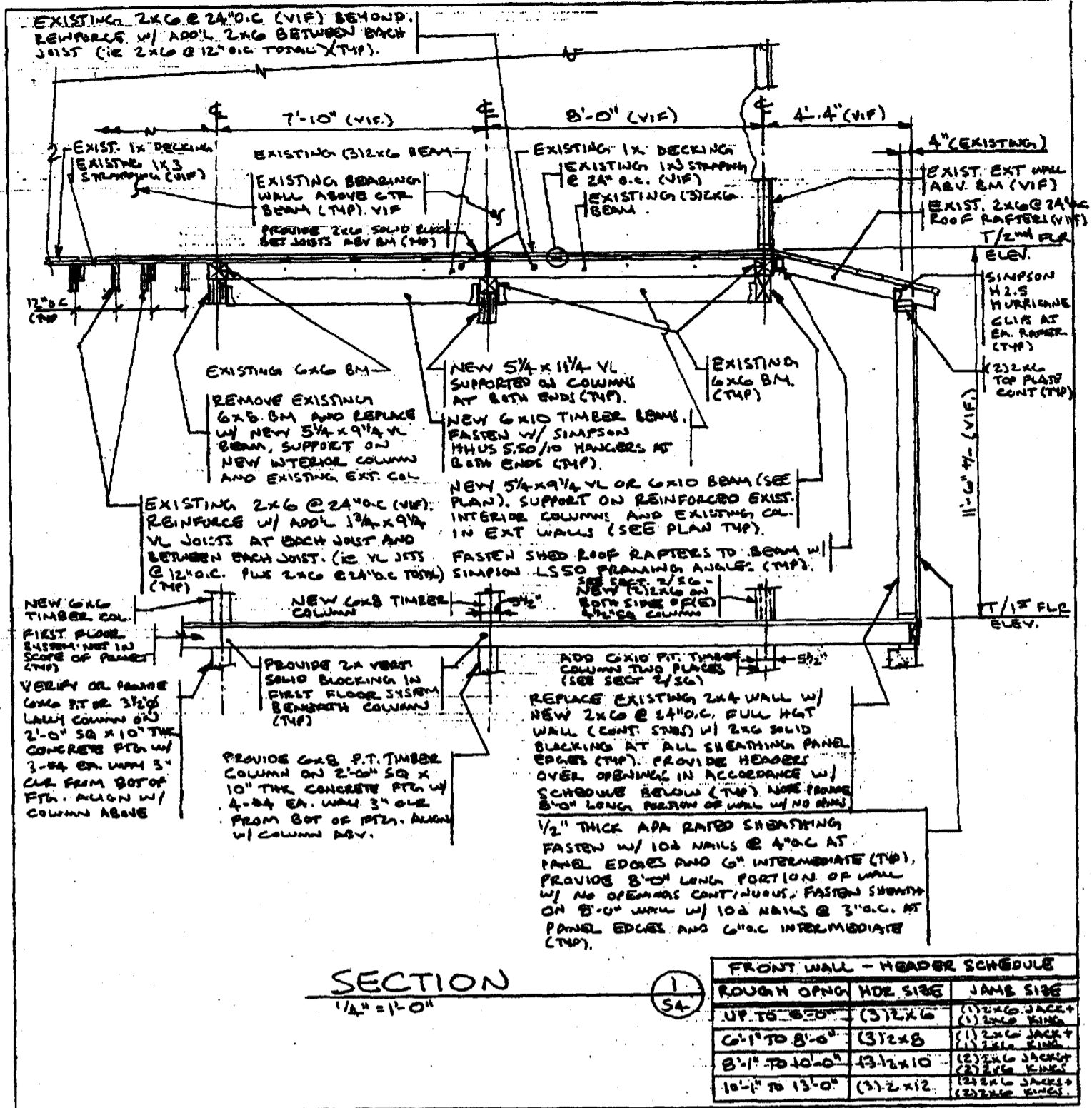
PARTIAL SECOND FLOOR FRAMING PLAN

1/8" = 1'-0"

NOTES:

- 1) SEE GENERAL NOTES ON DWG S1, S2 & S3.
- 2) "E" INDICATES: EXISTING BEAM OR COLUMN.
- 3) "VL" INDICATES: VERSILAM BEAM MANUFACTURED BY BOISE CASCADES ORP OR APPROVED EQUIV.
- 4) PROVIDE TEMPORARY SHORING AS REQ'D TO SUPPORT SECOND FLOOR AND ROOF ABOVE IN ORDER TO INSTAL NEW BEAMS, JOISTS AND COLUMNS INDICATED.
- 5) PROVIDE 1/2" THK PLYWOOD GUSSETS ON BOTH SIDES OF PRAPPED GUSSETS AND ON ONE SIDE OF FLUSH FRAMING GUSSETS AT COLUMNS DEEP ENOUGH TO OVERLAP COLUMN 3" MIN (TYP).

designed by:	JHL	RESTAURANT #5: 39 CONGRESS STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. 100 D STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 881-1800 FAX: (207) 881-8337 EMAIL: L&L@GMAIL.COM
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	4/14/03		
		PART. SECOND FLR. FRMG PLAN.	54



designed by: JHL
 drawn by: JHL
 checked by: MFL
 scale: NOTED
 date: APRIL 14, 2003

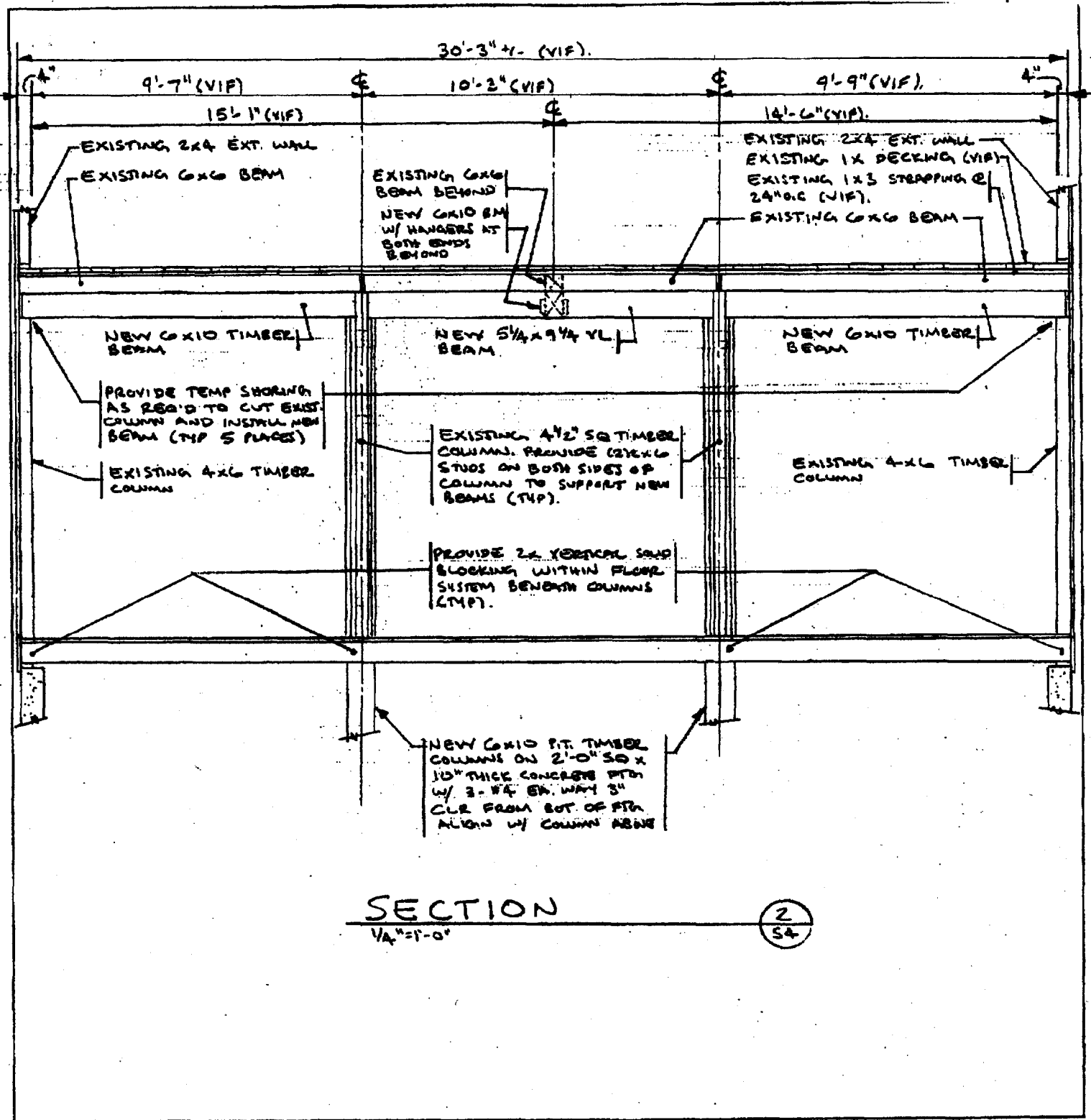
RESTAURANT at:
 89 CONGRESS STREET
 PORTLAND, MAINE

SECTIONS & DETAILS

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

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 FAX: (207) 768-8433
 EMAIL: LLEN@LCL.COM

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