

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

APR 06 2004

Permit Number: 040352

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Dagavarian Helen M &/Jerome House
has permission to Amend permit # 04-0147 to add a 2nd floor 1/2 bath and structural beams in kitchen
AT 99 Congress St 04-014 D003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid out or enclosed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeanie Bonke 4/6/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0352	Issue Date: 04/05/2004	CBL: 014 D003001
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Location of Construction: 99 Congress St	Owner Name: Dagavarian Helen M &	Owner Address: 280 Hovey St	Phone: 879-1338
Business Name:	Contractor Name: Jeromey House	Contractor Address: 9 Howard St. Portland	Phone: 2076719831
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: Rb

Past Use: Single Family	Proposed Use: Single Family w/amendment	Permit Fee: \$291.00	Cost of Work: \$30,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B BOCA 1999	

Proposed Project Description:
Amend permit # 04-0147 to add a 2nd floor 1/2 bath and structural beams in kitchen

Signature: _____
Signature: *JMB 4/6/04*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jmb	Date Applied For: 04/05/2004	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>approved</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 4/6/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

5/6/04 Framing + Electric rough-in ok.
Plumbing not done yet. AL

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0352	Date Applied For: 04/05/2004	CBL: 014 D003001
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Location of Construction: 99 Congress St	Owner Name: Dagavarian Helen M &	Owner Address: 280 Hovey St	Phone: () 879-1338
Business Name:	Contractor Name: Jeromey House	Contractor Address: 9 Howard St. Portland	Phone: (207) 671-9831
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family w/amendment	Proposed Project Description: Amend permit # 04-0147 to add a 2nd floor bath and structural beams in kitchen
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 04/06/2004

Note: **Ok to Issue:**

1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 04/06/2004

Note: **Ok to Issue:**

1) Design load specs on the engineered beams must be submitted to this office

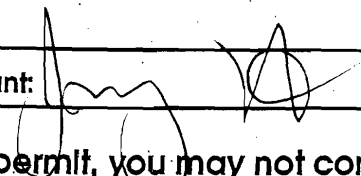
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>99 Congress St</u> <u>PHJ</u> <u>ME</u> <u>04101</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>014</u> Block# <u>D</u> Lot# <u>003</u>	Owner: <u>D. DZAGALIAN</u>	Telephone: <u>(978) 470-5772</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Aaron E. Davis</u> <u>(207) 650-4485</u>	Cost Of Work: \$ <u>30,000.00</u> Fee: \$ <u>291.00</u>
Current use: <u>Single Family</u>		
If the location is currently vacant, what was prior use: <u>Same</u>		
Approximately how long has it been vacant: <u>3 yrs.</u>		
Proposed use: <u>Amendment to permit # 040147</u> Project description: <u>Add Bath (1/2) 2 structural Beams</u>		
Contractor's name, address & telephone: <u>Jeromey House</u> <u>650.4180</u>		
Who should we contact when the permit is ready: <u>Jeromey House</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>650 4180</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>4.6.04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

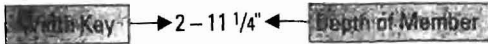
99 Congress

Engineered Lumber Residential Guide

General Notes for G-P Lam® LVL Charts and Tables

G-P Lam Laminated Veneer Lumber (LVL) is manufactured in two thicknesses; 1 3/4" and 3 1/2". Multiple pieces may be combined in order to achieve thicker beams. Refer to multiple piece member connections on page 49 for connection patterns and capacities.

Beam sizes in charts and tables use the following key.



For all depths, the following table may be used to achieve net thickness for multiple-ply G-P Lam LVL members.

Width Code Chart

Width Code	Net Thickness	Number of plies ¹ of 1 3/4"	Number of plies ¹ of 3 1/2"	Combinations ¹ 1 3/4" & 3 1/2"
1	1 3/4"	1	None	None
2	3 1/2"	2	1	None
3	5 1/4"	3	None	1 - 1 3/4" + 1 - 3 1/2"
4	7"	4	2	1 - 1 3/4" + 1 - 3 1/2" + 1 - 1 3/4"

1. Multiple-ply members must be connected in accordance with pages 48 and 49.

99 CONGRESS ST. PORTLAND, ME

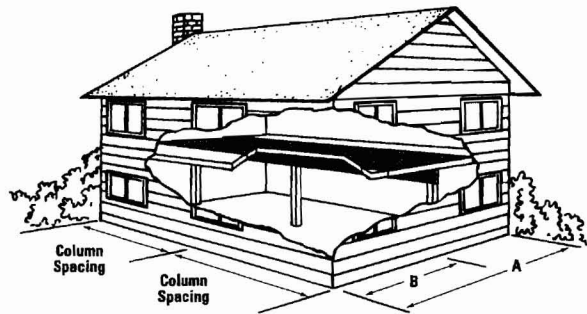
G-P Lam® LVL Floor Beams

The table below shows the size of the beams needed to support various floor systems. The table is valid for loads of one floor only, i.e., a second story floor or one story floor over a basement. (See drawing at right.)

When floor joists span continuously from wall to wall (not cut at beam) this table requires that "B" be not less than 45%, or greater than 55% of "A".

Example: If "A" = 32', "B" must be between 14.4' (32 x .45) and 17.6' (32 x .55)

For non-conforming situations, use FASTBeam® analysis & selection software or contact G-P Engineered Lumber Technical Services.



Total Floor Joist Span "A"	Column Spacing (center-to-center)									
	11'	12'	13'	14'	15'	16'	17'	18'	19'	20'
24'	2-11 1/4" 3-9 1/4"	2-11 1/4" 3-9 1/4"	2-11 1/4" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-16" 3-14"	2-16" 3-14"	2-18" 3-16"	2-18" 3-16"	2-18" 3-16"
28'	2-11 1/4" 3-9 1/4"	2-11 1/4" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-16" 3-14"	2-16" 3-14"	2-18" 3-16"	2-18" 3-16"	2-18" 3-16"
32'	2-11 1/4" 3-9 1/4"	2-11 1/4" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-16" 3-14"	2-16" 3-14"	2-18" 3-16"	2-18" 3-16"	2-18" 3-16"
36'	2-11 1/4" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-16" 3-14"	2-16" 3-14"	2-18" 3-16"	2-18" 3-16"	3-16" 3-16"	3-18" 3-16"
40'	2-11 1/4" 3-11 1/4"	2-14" 3-11 1/4"	2-14" 3-11 1/4"	2-16" 3-14"	2-16" 3-14"	2-16" 3-14"	2-18" 3-16"	2-18" 3-16"	3-16" 3-16"	3-18" 3-16"

NOTES:

- Table is based on continuous floor joist span and simple or continuous beam span conditions. If floor joists are not continuous above the beam, take the sum of the joist spans then multiply by .8. This is the total floor joist span to consider.
- Required end bearing length (based on 565 psi) is 3.0" unless the subscript + is shown. In that case, 4.5" is required.
- At intermediate supports of continuous spans, use the following guidelines or refer to page 40.
 - 7 1/2" bearing length for beams requiring 3" bearing at the beam ends
 - 10 1/2" bearing length for beams requiring 3" bearing at the beam ends
- Beams require full width bearing. Minimum cripple size for 5 1/4" wide beams is 2 x 6.
- Table is based on residential floor loading of 40 psf live load and 12 psf dead load.
- Live load reductions have been applied per IBC section 1607.9.1.
- Deflection is limited to L/360 at live load.
- For other loading conditions refer to page 42.

99 CONGRESS
PORTLAND, ME

Amendment
to
#04-0147

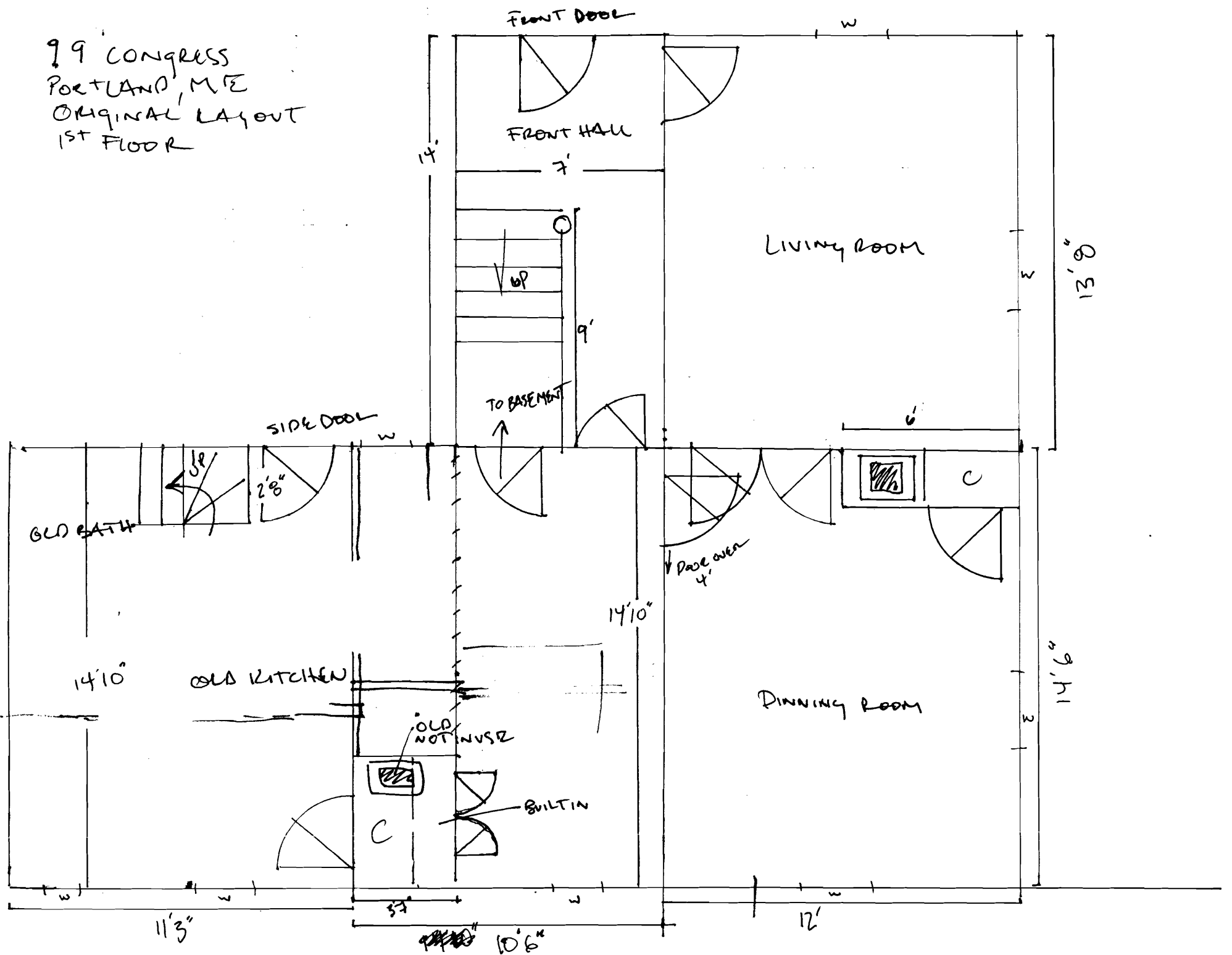
1ST FLOOR

- DEMO BUILT IN AND OLD CHIMNEY
- PUT IN 2 NEW BEAMS TO SPAN 14'10" IN KITCHEN

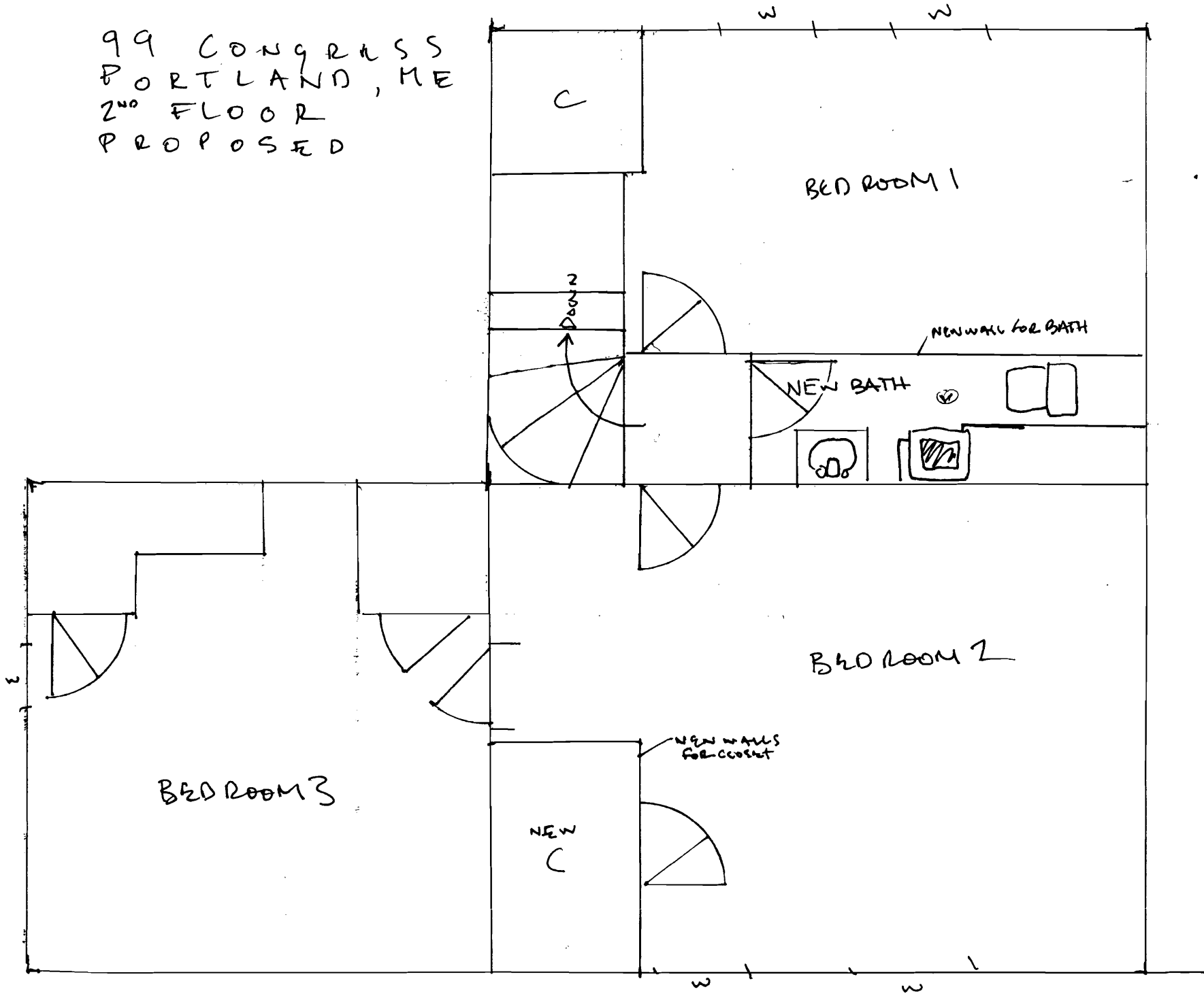
2ND FLOOR

- DEMO WALL BETWEEN BED 1 AND CLOSET IN BED 2
- DEMO WALL AND CHIMNEY IN BED ROOM 3
- ADD NEW WALLS FOR CLOSET IN BED ROOM 2
- NEW WALL FOR BATHROOM ON BED ROOM 1 SIDE -

99 CONGRESS
 PORTLAND, ME
 ORIGINAL LAYOUT
 1ST FLOOR



99 CONGRESS
PORTLAND, ME
2ND FLOOR
PROPOSED





CITY OF PORTLAND, MAINE
Department of Building Inspections

April 6 2007

Received from John J. Brown

Location of Work 77 Congress

Cost of Construction \$ 200,000.00

Permit Fee \$ 271.00

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other Specialty Permit

CBL: 147-0003

Check #: 1001 Total Collected \$ 271.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy