

Plan Reference:

"Plan Depicting The Results Of A Boundary Survey Made For Richard S. Harris, Jr. Southwesterly Sideline Of Merrill Street, Portland, Maine", dated December 9, 2010, revised December 22, 2010 by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine.

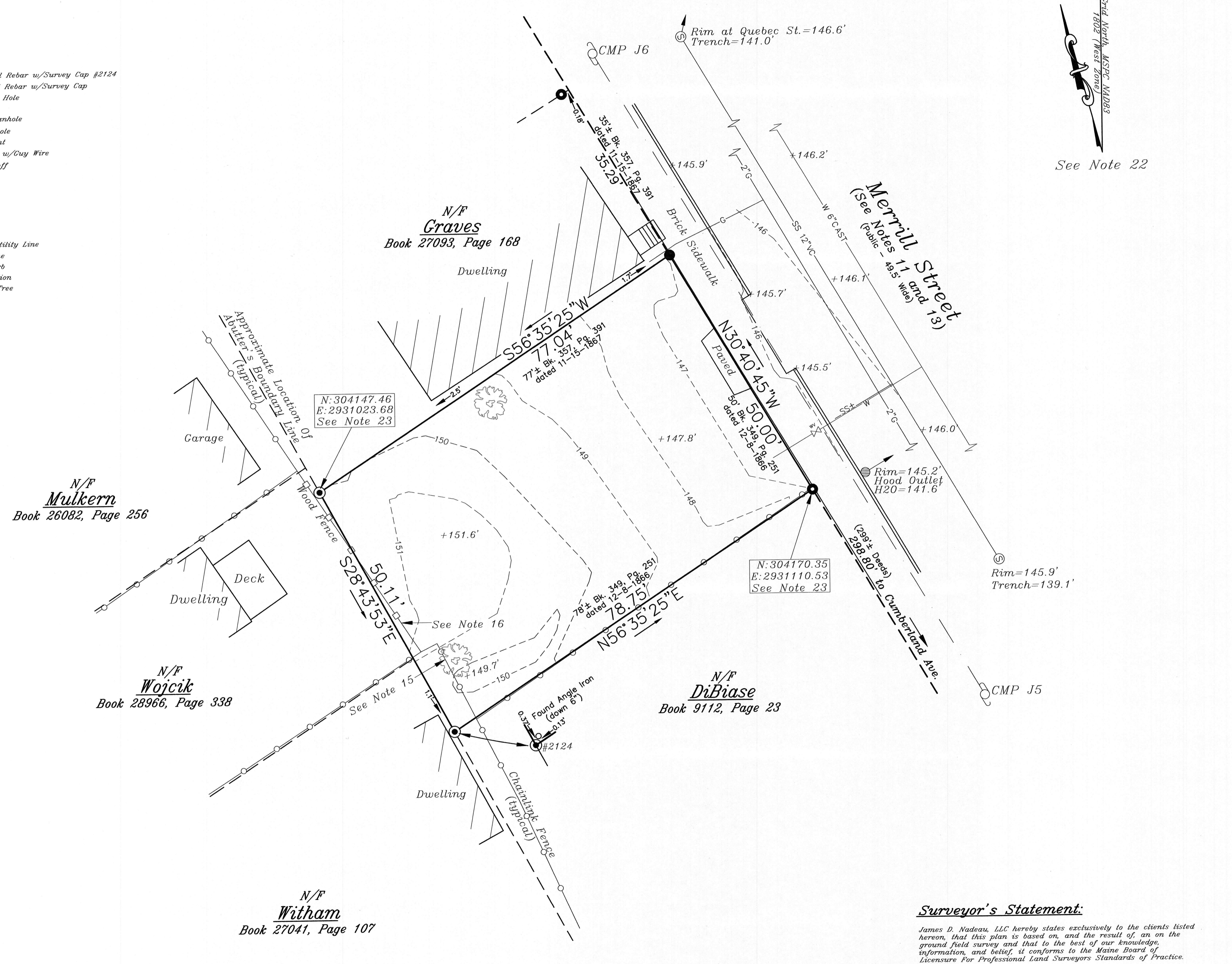
Legend:

- Set #5 Steel Rebar w/Survey Cap #2124
- Found Steel Rebar w/Survey Cap
- Found Drill Hole
- Catch Basin
- Sanitary Manhole
- Drain Manhole
- Fire Hydrant
- Utility Pole w/Guy Wire
- Water Shutoff
- Water Valve
- Gas Valve
- Sign
- W — Water Line
- G — Gas Line
- SS — Sewer Line
- Overhead Utility Line
- Contour Line
- Granite Curb
- Spot Elevation
- Hardwood Tree

Magnetic North, 2008
(observed)



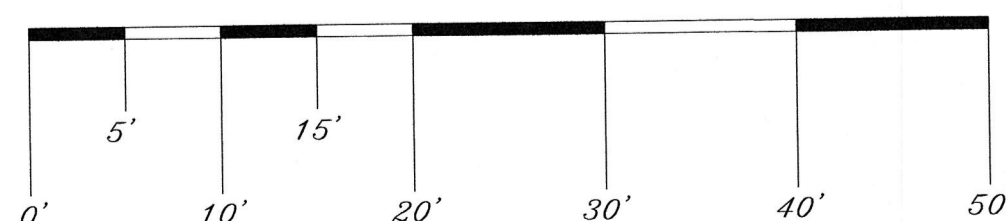
See Note 22



General Notes:

1. This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
2. This office reserves the right to be held harmless by all 3rd party claims.
3. This survey does not purport to reflect any of the following:
 - a. easements other than those that are visible or specifically stated in the referenced documents.
 - b. building setback compliance or restrictive covenants.
 - c. zoning or other land use regulations.
 - d. the location of any underground utilities or structures.
4. This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
5. Reference is made to a "Letter of Agreement", dated November 10, 2017 between Nadeau Land Surveys and the below listed client(s), which shall be considered an integral part of this survey.
6. N/F is an abbreviation for Now or Formerly.
7. All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
8. Call 1-888-DIGSAFE at least three business days before performing ANY excavation.
9. Locus Parcel is shown on the City of Portland Assessor's Map 14, Block C, as Lots 8 and 22, and is known as 46-48 Merrill Street.
10. Area of Locus Parcel is 3,890 square feet (0.09 acre).
11. The apparent right of way lines depicted on this plan are based on the Plan References listed hereon, monumentation found in the field, and City of Portland Engineering Street Notes. Right of way width of Merrill Street is 49.5 feet per said street notes and Plan References 7 & 9.
12. The Locus Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230051 0014B, index dated December 8, 1998. The parcel scales in Zone C.
13. Per City of Portland Records 10-197, Merrill Street was accepted June 19, 1857 as three rods (49.5 feet) wide, then re-run October 3, 1877 as fifty feet wide. This call appears to be erroneous, since all street notes and plans depict Merrill Street as 49.5 feet wide, as does monumentation found.
14. See CCRD Book 349, Page 251, dated December 8, 1866, for deed from Mary W. Merrill to Philip W. Sawyer.
15. Abutter's chainlink fence appears to encroach on Locus Parcel.
16. Abutter's wood fence appears to encroach on Locus Parcel.
17. See CCRD Book 8195, Page 187, dated February 29, 1988 for Corrective Quitclaim Deed from Richard Haynes for 46 Merrill Street, Assessor's Plan 14-C-22, stating that CCRD Book 7549, Page 175 erroneously described the premises as "14-C-8 Merrill St. 46". It appears that the corrective deed should have conveyed 14-C-22 to convey. See CCRD Book 8669, Page 132, dated February 1, 1989, for Court Order that states Richard S. Harris, Jr. has title to 46 Merrill Street (14-C-8) and 46 Merrill Street (14-C-22). A title attorney should be consulted for review of said documents.
18. The above ground utilities shown have been located from field survey. This office make no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The apparent underground utilities depicted hereon have been located as accurately as possible from information available. Since no underground utilities were exposed, this office has not physically located any underground utilities.
19. Horizontal Datum, Maine State Plane Coordinates, West Zone, NAD83 via City data. GPS base point, DPS MF T111-18-112, N:304293.998, E:2930987.391, GPS azimuth point DPS MF T111-30-132, N:303797.196, E:2931509.056, azimuth between GPS points used S45°49'41"E, computed distance 727.31'.
20. City of Portland Vertical Benchmark, TBM 2: Monument found, 3' offset, northeast corner of Munjoy St. & Moody St. copper bolt in monument with an "X", City Datum (NGVD 1929) elevation 131.16'.
21. Spot grades are for engineering purposes only, and shall not be used as project benchmarks.
22. Bearing Basis: The project is submitted digitally to the City of Portland on Maine State Plane Coordinates, but the bearings on the plan are magnetic per the above noted Plan Reference, and for survey boundary retracement purposes.
23. The coordinates depicted on this plan ARE FOR MUNICIPAL APPROVAL PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT. This office assumes no liability and/or responsibility if used for construction purposes.

Graphic Scale:



Locus Deed Reference: (See Note 17)

Peter S. Adams
to
Tyler M. Clements & Lily K. King
dated June 15, 2017 and recorded June 19, 2017 at the
Cumberland County Registry of Deeds in Book 34090, Page 213.

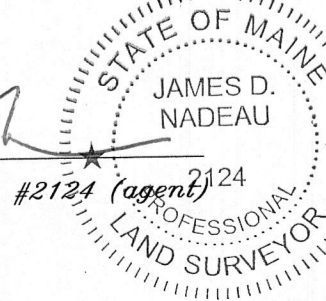
Surveyor's Statement:

James D. Nadeau, LLC hereby states exclusively to the clients listed hereon, that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice.

This plan is not valid without the signature and stamp of the below listed Professional Land Surveyor who prepared this plan as it may contain unauthorized alterations unknown to this office.

James D. Nadeau, LLC

[Signature]
James D. Nadeau, P.L.S. #2124 (agent) Date: 11-28-17



Revised:

Plan Depicting The Results Of A Boundary Survey And Existing Conditions Survey
Made For
Tyler M. Clements & Lily K. King
Southwesterly Sideline Of Merrill Street
PORTLAND, MAINE

PREPARED BY:
Nadeau Land Surveys
Professional Land Surveyors
918 BRIGHTON AVENUE
PORTLAND, ME 04102
PH. (207) 878-7870
FAX (207) 878-7871

RECORD OWNER: Tyler M. Clements & Lily K. King 48 Center Street Yarmouth, Maine 04096	DRAWN BY: MLC CHECKED BY: TPB/JDN INSTR. Topcon DS-205AC JOB No.: 2171843BEC	PLAN DATE: 11/28/2017 SURVEY DATE: Nov. 2017 SCALE: 1" = 10' SHEET No.: 1 Of 1
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