

SHEETS	
#	Name
A-1.1	FIRST FLOOR / SITE PLAN
A-1.2	SECOND & THIRD FLOOR PLAN
A-2.1	NORTH/SOUTH ELEVATIONS
A-2.2	EAST/WEST ELEVATIONS

PROJECT DESCRIPTION: FULLY SPRINKLERED, LEGAL TWO-UNIT WITH NON-CONFORMING THIRD FLOOR STUDIO OCCUPIED BY OWNER. OWNER IS SEEKING TO HAVE THIRD FLOOR UNIT LEGALIZED.

NOTE THIS PERMIT IS FOR WORK THAT HAS PREVIOUSLY BEEN COMPLETED. OWNER TOOK OUT BUILDING PERMIT FOR PROPERTY DURING ORIGINAL RENOVATIONS THAT CREATED THE UNIT EXCEPT FOR DOOR AT THE 2ND FLOOR LANDING AND THIRD UNIT KITCHEN. LOT IS NON-CONFORMING IN TERMS OF SETBACKS. NOTE THAT NO EXTERIOR ALTERATIONS HAVE OCCURRED SINCE THE PREVIOUS PERMIT WAS ISSUED.

OWNER IS COMPLETING APPLICATION FOR CONDITIONAL USE/LEGALIZE NON-CONFORMING EXISTING USE.

PROPERTY DOES NOT MEET C(1) AND C(2) OF THE NON-CONFORMING UNIT APPLICATION.

FIRST FLOOR UNIT (#1) | 960 SF
SECOND FLOOR UNIT (#2) | 1,031 SF
THIRD FLOOR UNIT (#3) | 636 SF

GENERAL
ADDRESS | 47 LAFAYETTE STREET
CBL | 014 C007001
LOT AREA | 3575 SF
BUILDING AREA | 3,284
USE | THREE FAMILY R-2
BUILT | 1874
CONSTRUCTION TYPE | VB
SPRINKLER | TYPE 13D

APPLICABLE BUILDING CODES
IBC 2009
IEBC 2009
NFPA 101
NFPA 1 2009
NFPA 13R

ZONING
ZONE | R-6
MIN LOT SIZE | 2000 SF
FRONT SETBACK | 5'-0" OR AVERAGE ADJACENT DEPTH
BACK SETBACK | 10'-0"
SIDE SETBACK | 5'-0" OR 10'-0" TOTAL
SETBACK STEPPING | ABOVE 35'-0" NO CLOSER THAN 10'-0" TO
SIDE & 15'-0" FROM REAR
STREET FRONTAGE | 20'-0" MIN. (69'-3 1/2" ACTUAL)
ACCESSORY STRUCTURE SETBACK | 10'-0"
MAX. LOT COVERAGE | 60% (ACTUAL 40%)
MAX. IMPERVIOUS | 80% (ACTUAL 73%)
MAXIMUM HEIGHT | 45'-0" PRIMARY, 18'-0" DETACHED
ACCESSORY
LANDSCAPED OPEN SPACE | 20%
PARKING | NO OFF-STREET REQ. FOR BUILDING W/3 OR
FEWER UNITS

ICC
INSULATION VALUES REQ. PER ICC 2009 TABLE 402.1.1
CLIMATE ZONE | 6A
CEILING | R-49
WALLS | R-20
SKYLIGHTS | 0.6 U-FACTOR
FENESTRATIONS | .35 U-FACTOR
BASEMENT WALL 15/19
FLOOR | R-30

IBC/NFPA
-HEIGHT | 2 STORIES + 1 FOR SPRINKLER (MAX. 40+20 = 60'-0" TOTAL)
-AREA | 7,000 x 200% = 14,000 SF
-FIRE SEPERATION DISTANCE | 5'-0" - 10'-0" UP, S - 25%
-FIRE RATED EXTERIOR WALL | RATED FROM BOTH SIDES IF <10'-0" OR INTERIOR IF GREATER THAN 10'-0" = 1-HOUR FOR 9'-0" SEPERATION
-OCCUPANT LOAD | 200 GROSS SF
-SHAFT ENCLOSURES | NOT REQUIRED FOR RESIDENTIAL UNDER 4 STORIES
-DWELLING AND SLEEPING UNIT SEPERATIONS | 1/2 HOUR
-HANDRAILS | 34-38" ABOVE NOSING
-HANDRAIL EXTENSIONS | NOT REQUIRED FOR DWELLING NOT CONSIDERED ACCESSIBLE
-GUARDS | 42" AFF
-1 MEANS OF EGRESS ALLOWED FOR 20 OF FEWER PERSONS PER DWELLING UNIT W/SPRINKLER SYSTEM (IBC 1015.1)
-TRAVEL DISTANCE | 250'-0" (WITH SPRINKLER) BUT 50'-0" MAX. FOR ONE EXIT (1021.2)
-CORRIDOR FIRE RESISTANCE RATING | 30 MIN. (WITH SPRINKLER)
-CORRIDOR WIDTH | 36" FOR OCCUPANT LOAD UNDER 50 PERSONS
-1 EXIT WHEN THE TRAVEL DISTANCE FROM THE ENTRANCE DOOR OF ANY DWELLING UNIT TO AN EXIT DOES NOT EXCEED 35'-0" NOTE THAT THIRD FLOOR IS 42'-10" (NFPA 101 - 31.2.4.3), 60 MIN. SELF-CLOSING DOORS, 60 MIN. WALL ENCLOSURE RATING, HORIZONTAL AND VERT. SEPERATION OF 30. MIN BTW UNITS. NO MORE THAN 3-STORIES (NFPA 31.2.4.3) COORIDORS SERVING THE EXIT RATED FOR 20 MIN.
-EMERGENCY LIGHTING | NOT REQUIRED FOR LESS THAN 4-UNITS EXCEPT IN MEANS OF EGRESS
-BOILER ROOM | 1-HOUR SEPERATION OR SPRINKLERS
-FINISHES | CLASS A OR B FOR STAIR WAYS
-FIRE NOTIFICATION SYSTEM | NOT REQ. FOR FEWER THAN 4-UNITS

LAFAYETTE THREE-FAMILY
LEGALIZING NON-CONFORMING UNIT
47 LAFAYETTE STREET
JOSHUA WOJCIK



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No.	Description	Date
1	Revision 1	Date 1

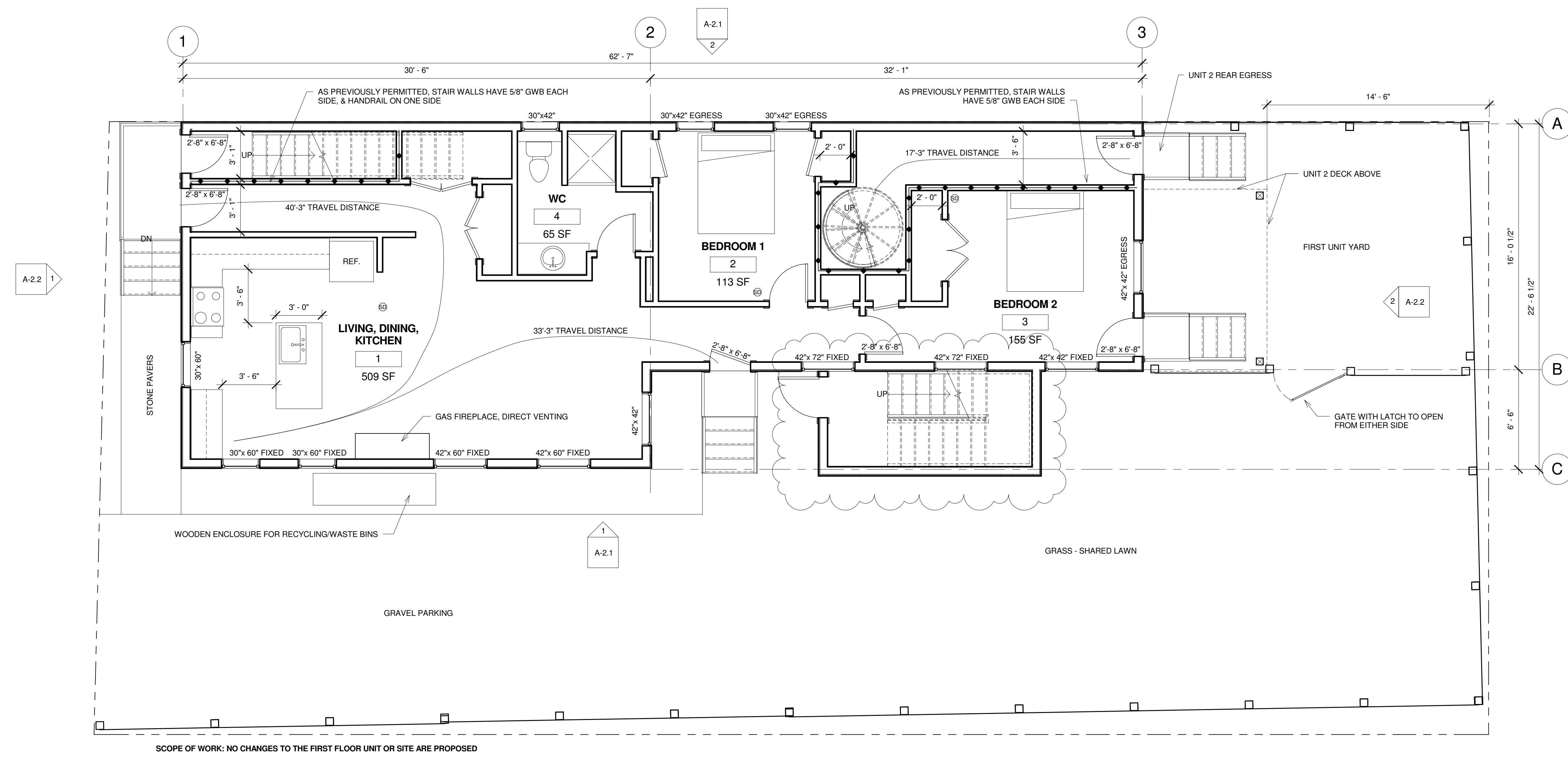
FIRST FLOOR / SITE PLAN

Project number 16-22
Date 08.29.16
Drawn by TJR
Checked by TJR

A-1.1

Scale 1/4" = 1'-0"

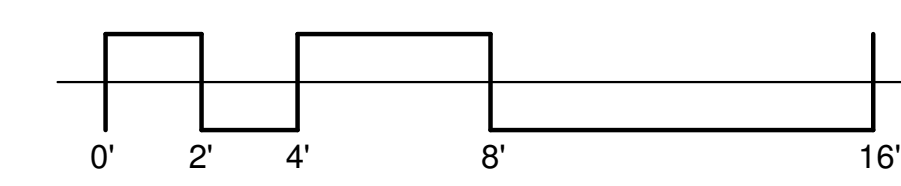
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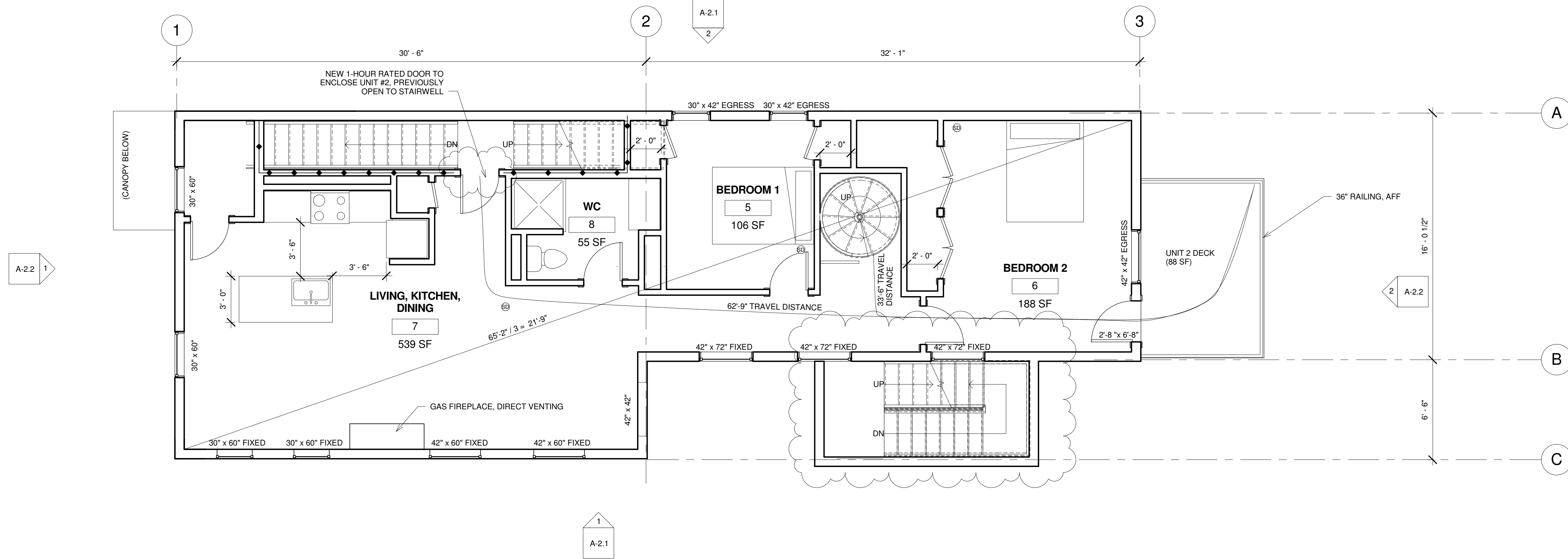


SCOPE OF WORK: NO CHANGES TO THE FIRST FLOOR UNIT OR SITE ARE PROPOSED

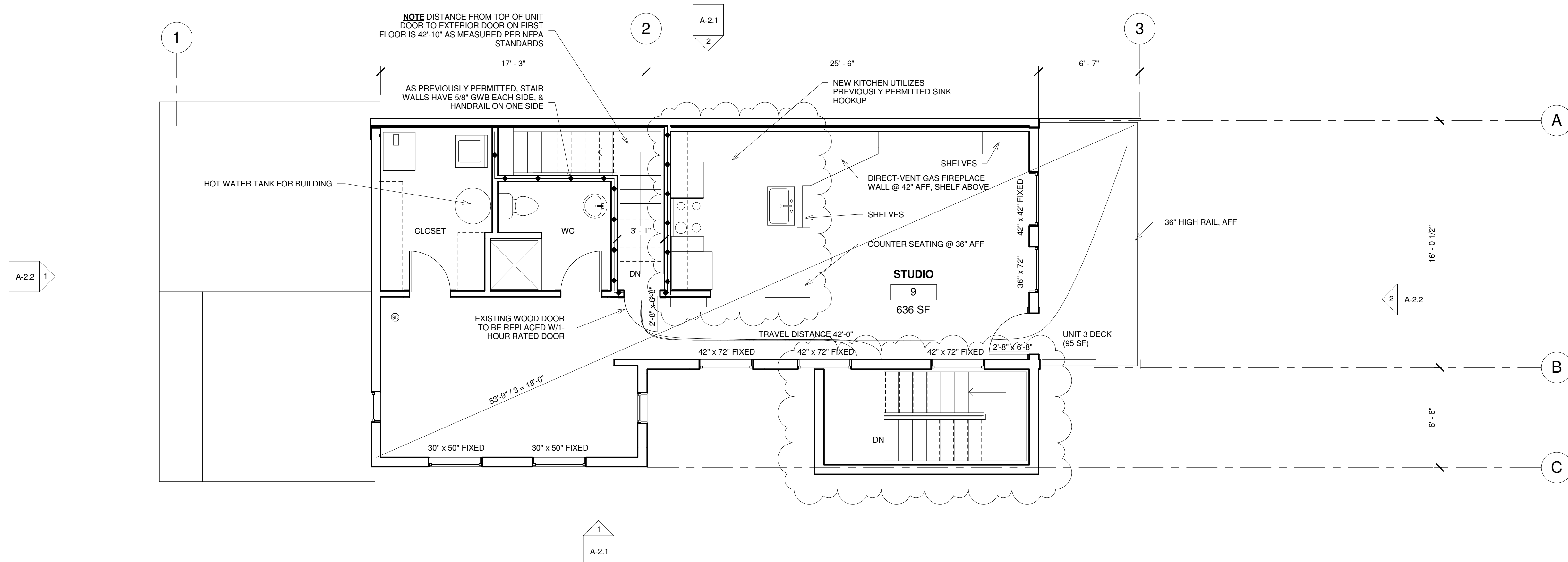
1 First Floor / Site Plan
1/4" = 1'-0"

- ◆ 1-HOUR RATED WALL
- ⊕ CEILING MOUNTED SMOKE/CARBON MONOXIDE DETECTOR W/BATTERY BACK-UP
- SYMBOLS
1/4" = 1'-0"





① Second Floor SCOPE OF WORK: ADDITION OF 1-HOUR RATED DOOR AT LANDING TO CREATE UNIT ON SECOND FLOOR
1/4" = 1'-0"



② Third Floor SCOPE OF WORK: CHANGE EXISTING UNRATED DOOR AT TOP OF STAIRS TO 1-HOUR RATED DOOR AND ADD KITCHEN CABINETS/BUILT-INS. KITCHEN SINK TO UTILIZE PREVIOUSLY PERMITTED BAR SINK HOOKUP. ALL OTHER WORK WAS PREVIOUSLY PERMITTED.
1/4" = 1'-0"

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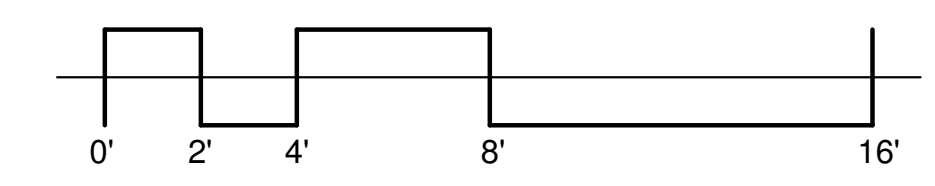
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**SECOND &
THIRD FLOOR
PLAN**

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Checked by TJR

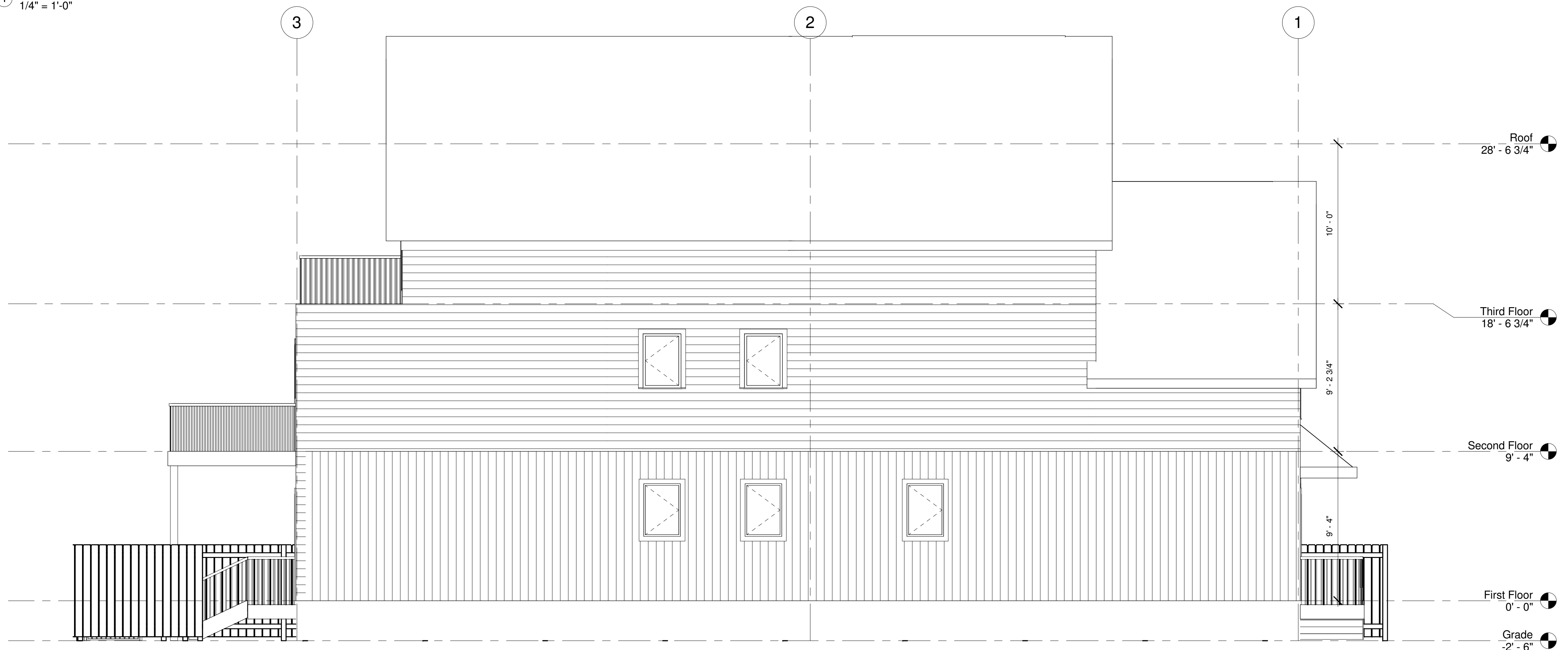
A-1.2

Scale 1/4" = 1'-0"

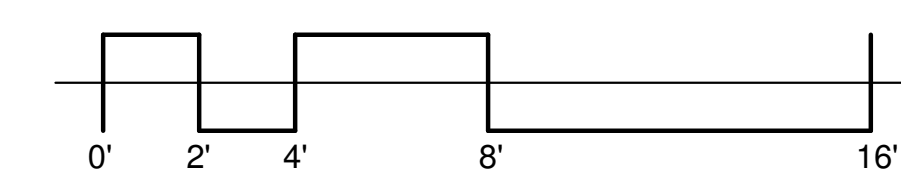




① South
1/4" = 1'-0"



② North
1/4" = 1'-0"



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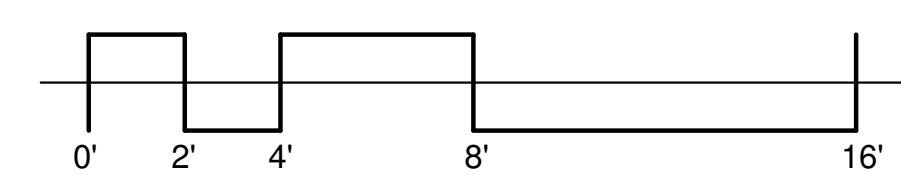
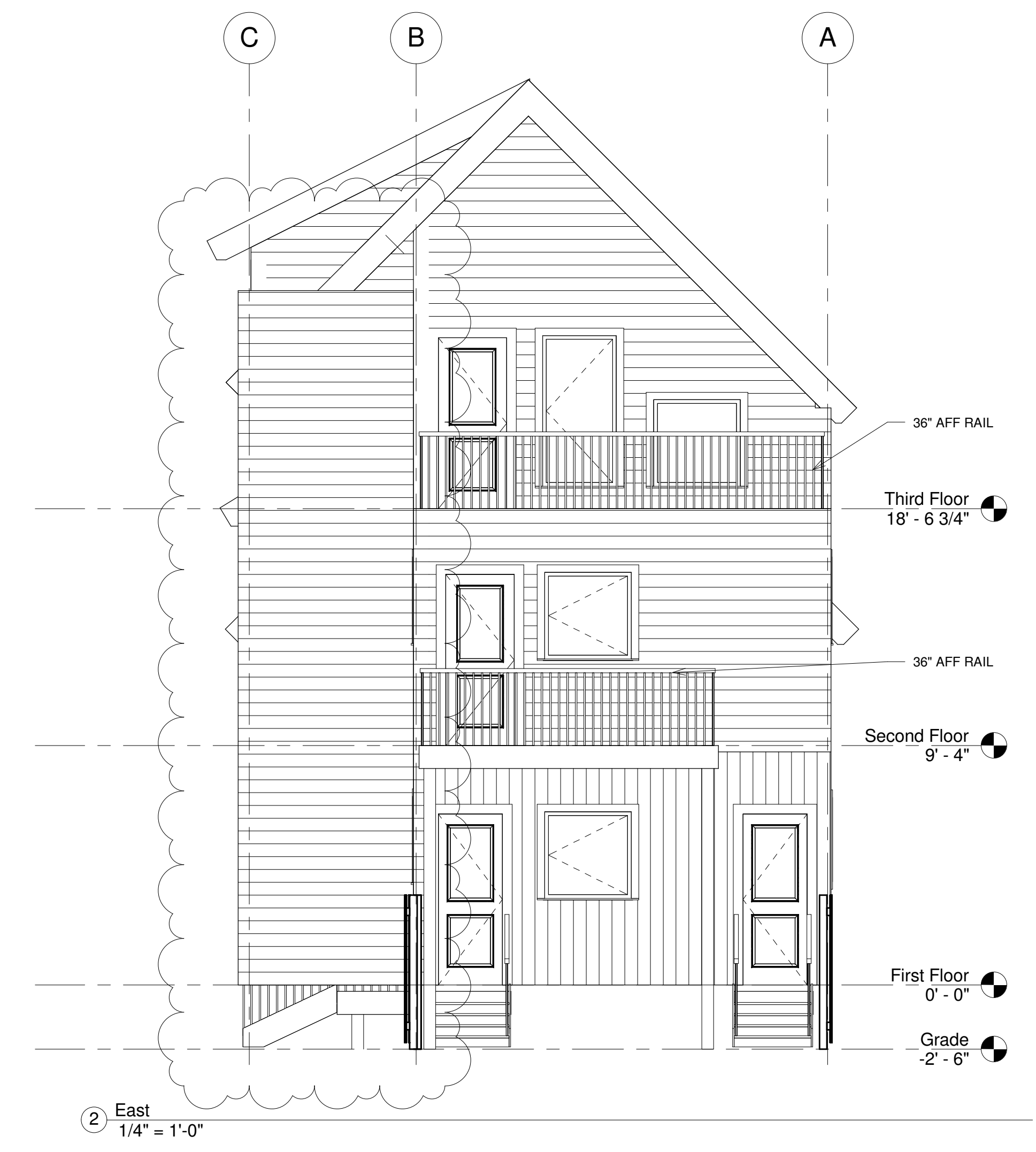
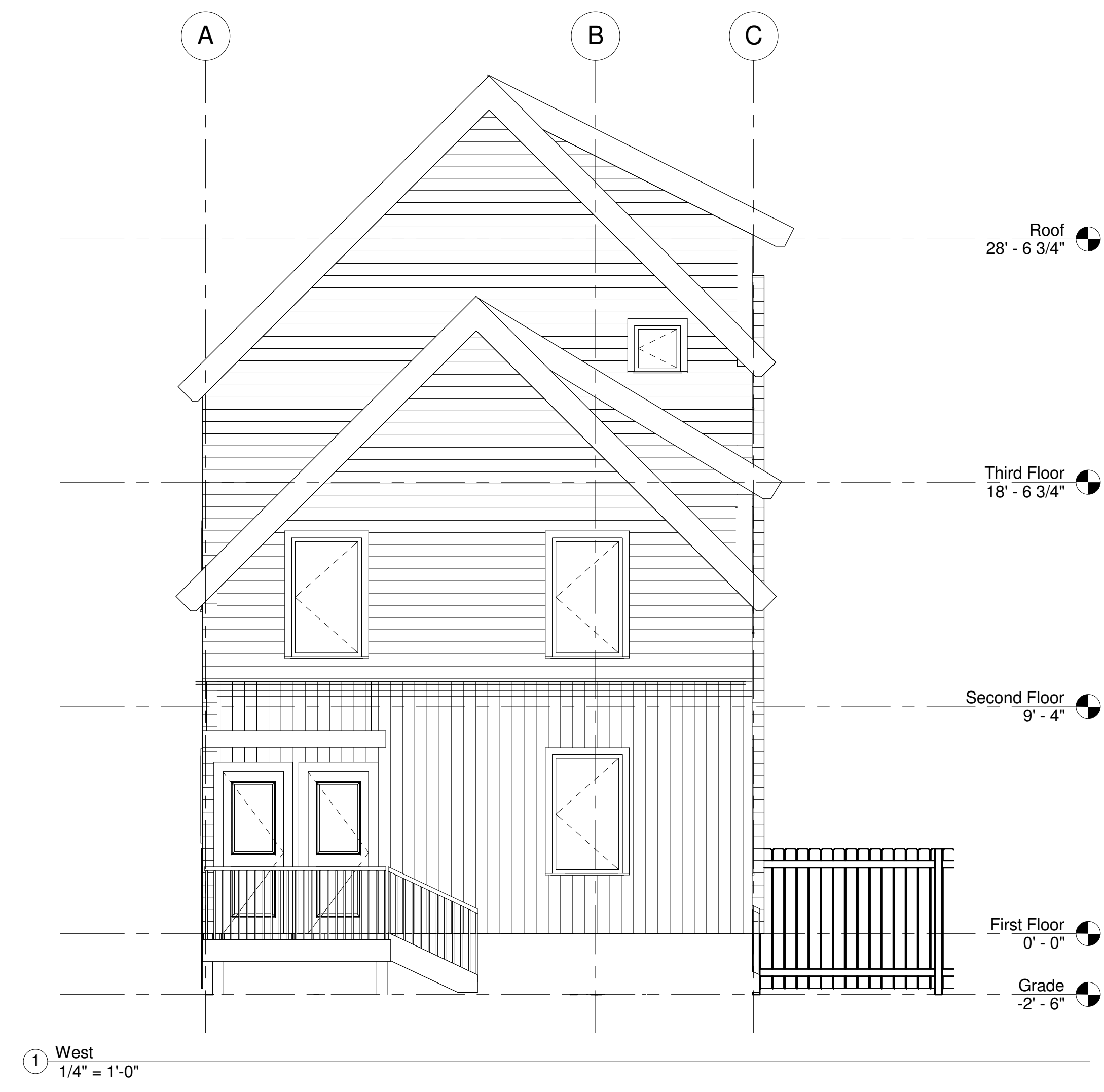
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**NORTH/SOUTH
ELEVATIONS**

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A-2.1

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**EAST/WEST
ELEVATIONS**

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A-2.2

Scale 1/4" = 1'-0"