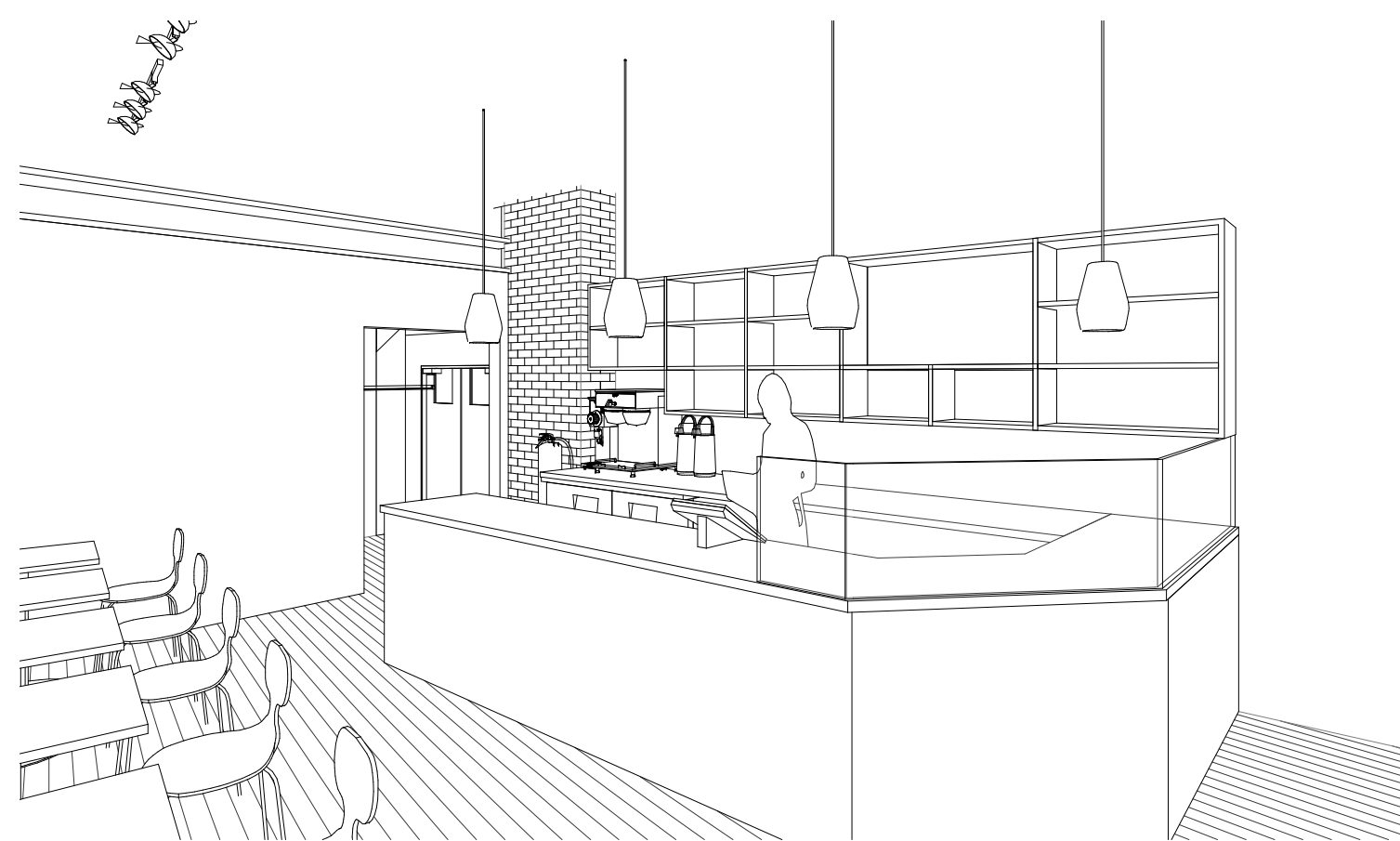
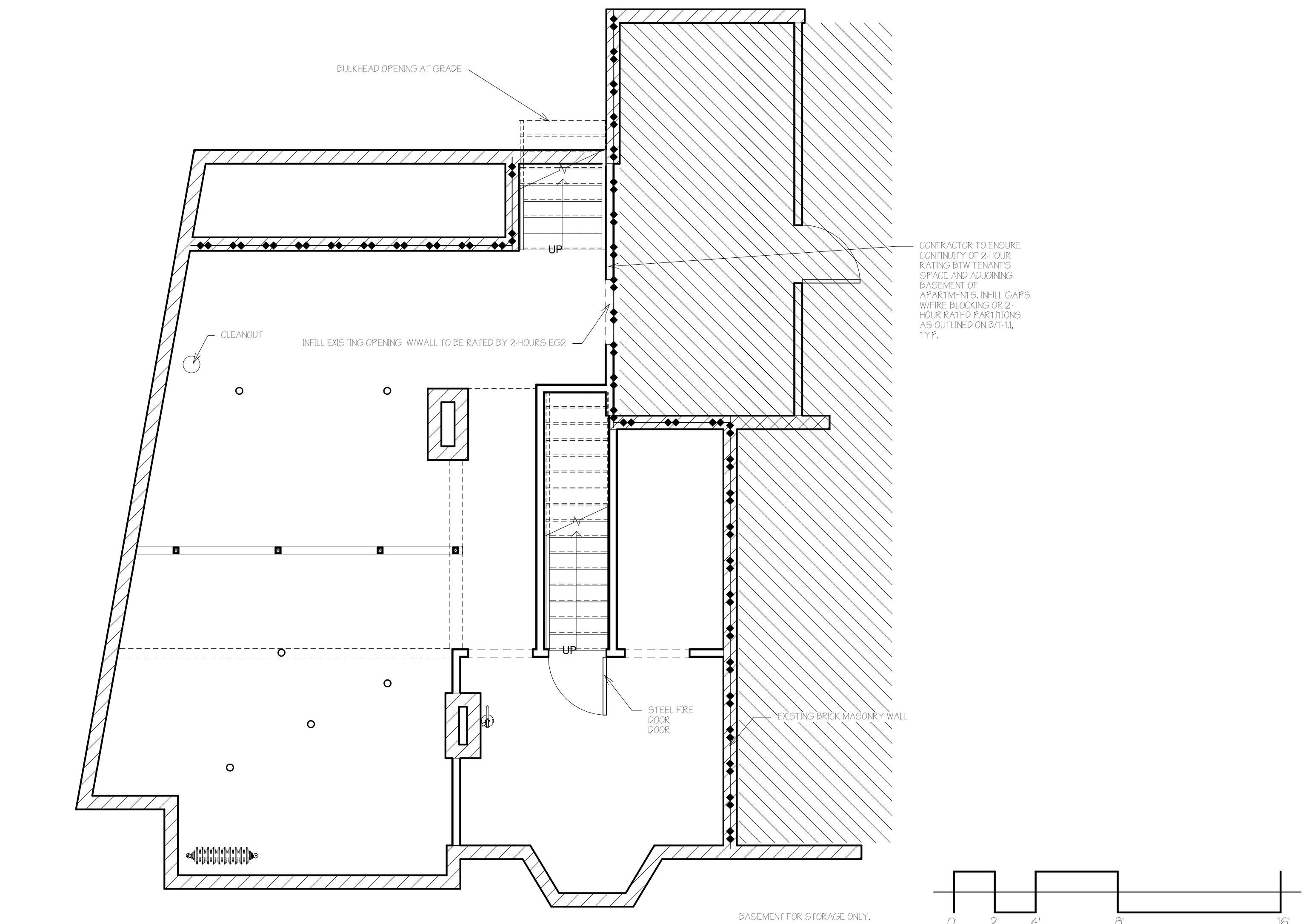


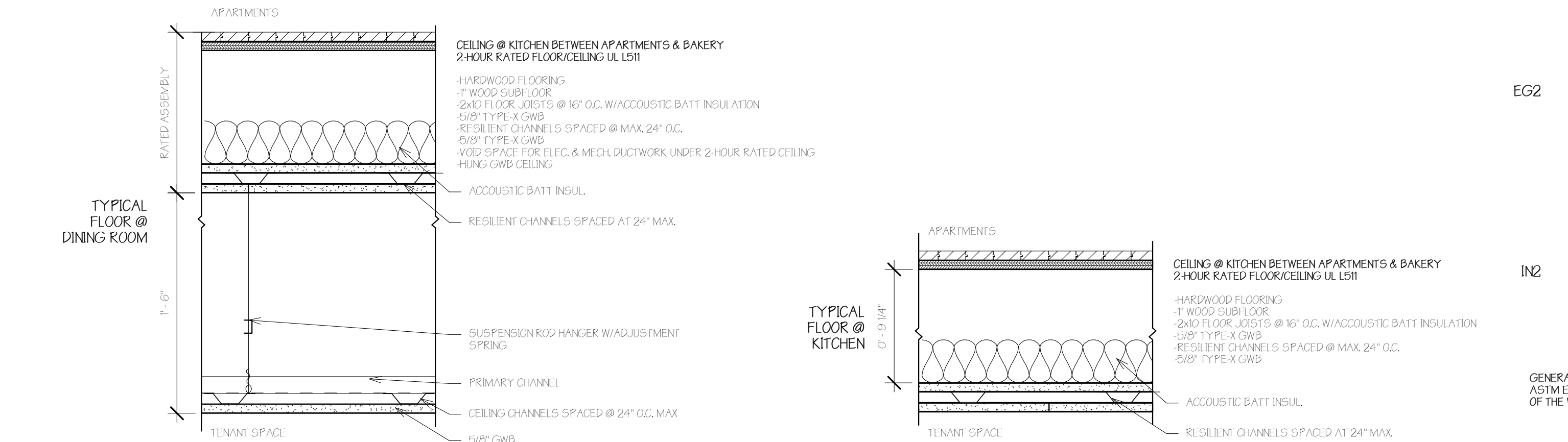
LOCUST MAP



C VIEW FROM DOOR



A Basement
1/4" = 1'-0"



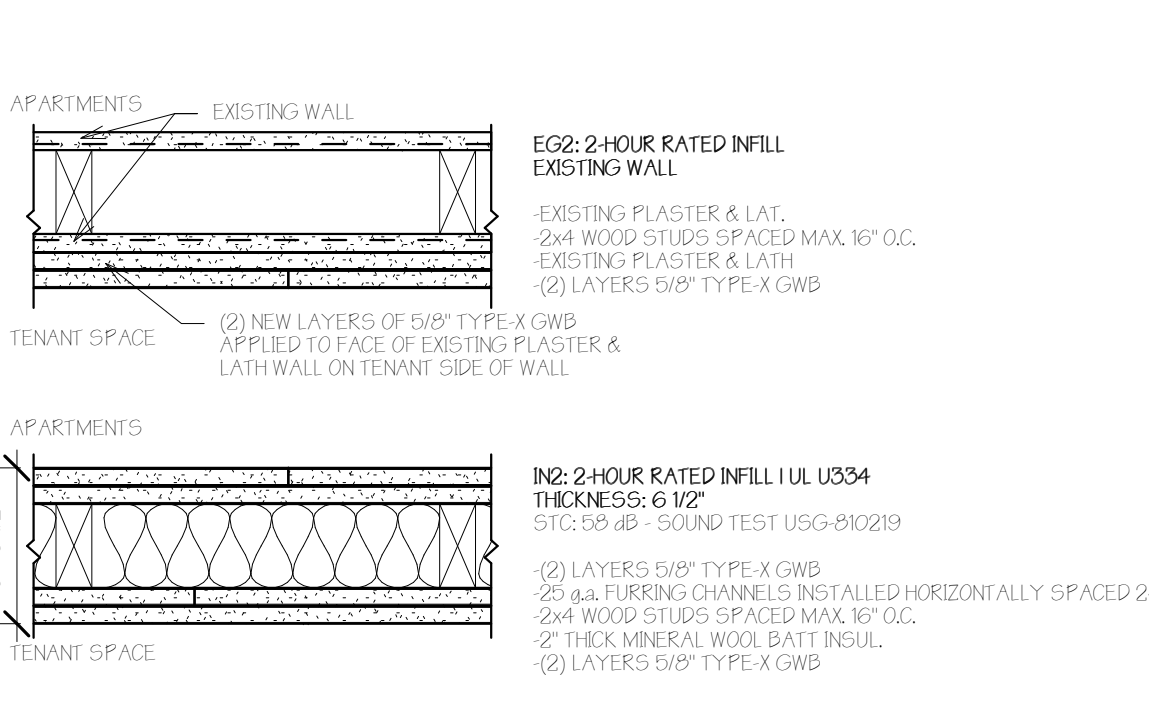
B WALL & CEILING/FLOOR TYPE LEGEND
1 1/2" = 1'-0"

- GENERAL NOTES
- DIMENSIONS ARE TO FACE OF FRAMING, FOUNDATION & THE CENTERLINE OF INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - DO NOT SCALE DRAWINGS - WORK FROM DIMENSIONS ONLY.
 - IF THIS PROJECT INVOLVES AN EXISTING STRUCTURE, DIMENSIONS SHOWN ON THE DRAWING ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. THE GENERAL CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION.
 - ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE & LOCAL CODES.
 - CONTRACTOR RESPONSIBLE FOR OBTAINING REQUIRED PERMITS.
 - CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF-SITE.
 - EXTERIOR PAVING AND GRADE SHALL SLOPE AWAY FROM BUILDING TO DRAINAGEWAYS.
 - NOTIFY OWNER OF STRUCTURAL ENGINEER BEFORE PENETRATING OR MODIFYING JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL MEMBERS.
 - SEE STRUCTURAL NOTES.
 - NOT ALL WINDOWS & FLASHINGS FOLLOWING MANUFACTURER'S INSTRUCTIONS WITH STICK-ON FLASHING TO PROVIDE WATERPROOF SEAL.
 - PROVIDE A CONTINUOUS BEAD OF SEALANT IN ALL JOINTS IN BUILDING, INCLUDING ENVELOPE, PERIMETER, ISOLATION JOINTS, COLUMN PIPE, ALL PENETRATIONS AND CONDITIONS SO THAT NO MOISTURE, VAPOR OR GAS MAY PASS THROUGH STRUCTURE.
 - THE ROOF BOTTOM EDGE 3" O" WIDE SHALL HAVE A WATERPROOF MEMBRANE LIKE "ICE & WATER SHEILD."
 - PROVIDE DOUBLE STUDS AT EACH SIDE OF NORTH WINDOW FRAMES.
 - PROVIDE PRE-MOLDED ISOLATION STRIP BETWEEN ALL FOUNDATION WALLS AND CONCRETE SLAB.
 - WOOD JOISTING IN CONTACT WITH CONCRETE OR STONE TO BE PRESERVATIVE TREATED BY PRESSURE PROCESS. SEAL CUTS IN 2" WOOD WITH FIELD APPLIED PRESERVATIVE. USE STAINLESS STEEL FASTENERS.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITIES.
 - HEATING SYSTEM TO BE PERFORMANCE BASED, DESIGN BY MECHANICAL CONTRACTOR, OWNER TO APPROVE BEFORE PURCHASING.
 - ELECTRICAL LIGHTS & OUTLETS TO BE INSTALLED BY CERTIFIED ELECTRICIAN, OWNER TO APPROVE BEFORE PURCHASING.
 - CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS, AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION THAT PREVENTS CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS.
 - TAPE ALL GYPSUM SEAMS AND PAINT PER FINISH SCHEDULE.
 - PROVIDE PAPERLESS, MOISTURE RESISTANT GWB IN BATHROOMS, TYP.
 - SEAL ALL OUTLETS & PENETRATIONS IN VAPOR RETARDER W/ APE COMPLIANT W/VAPOR RETARDER MANUFACTURER.
 - CONTRACTOR TO CONDUCT VISUAL INSPECTION OF SHEATHING TO SPOT AND SEAL PENETRATIONS, INCLUDING NAIL HEAD PENETRATIONS IN VAPOR BARRIER.
 - USE SPRAY FOAM INSULATION TO SEAL AIR GAPS INWARD-TO-REACH PLACES THAT ARE UNLIKELY TO BE FILLED DURING APPLICATION OF INSULATION.
 - PROVIDE METAL STRIP EDGES ON ALL ROOF EAVES, TYP. AND METAL FLASHING W/WRAP EDGE ON ALL WINDOWS, TYP.
 - PROVIDE THRU PENETRATION FIRE STOPPING AT ALL PENETRATIONS TESTED TO MEET ASTM E 84 OR UL 1479 PER IBC 7102.12. NOTE THAT FIRE RESISTANCE RATING SHALL NOT BE LESS THAN THE RATING OF THE WALL(S) PENETRATED.

- STRUCTURAL ENGINEERING GENERAL NOTES
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REQUIREMENTS. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT PORTIONS OF THE BUILDING.
 - THE STRUCTURAL DESIGN OF THESE REPAIRS IS BASED ON THE FULL INTERACTION OF ALL CONNECTED COMPONENTS. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROGRESS OF THE PROJECT.
 - WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE INCLUDED.
 - THE CONTRACTOR SHALL, PRIOR TO WORK, REVIEW WITH DESIGN TEAM AND OWNER ALL ASPECTS OF SITE ACCESS, WORK SCHEDULE, AND COORDINATION WITH OTHERS TO ENSURE SMOOTH PROJECT FLOW.
 - NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK.
 - THE INSTALLATION AND OR REMOVAL OF PROPOSED MATERIALS SHALL NOT DAMAGE EXISTING COMPONENTS.
 - ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DRAWINGS WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY OF THE ENGINEER.
 - DO NOT SCALE FROM THE DRAWINGS.

- STRUCTURAL ENGINEERING GENERAL REQUIREMENTS
- COORDINATE CONSTRUCTION TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK.
 - CONDUCT PROGRESS MEETINGS AT SITE AT WEEKLY INTERVALS OR AS NECESSARY.
 - IDENTIFY DEVIATIONS FROM CONTRACT DOCUMENTS ON SUBMITTALS. REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ENGINEER.
 - SUBMIT SAMPLES FINISHED AS SPECIFIED AND PHYSICALLY IDENTICAL WITH PROPOSED MATERIAL OR PRODUCT. INCLUDE NAME OF MANUFACTURER AND PRODUCT NAME ON LABEL.
 - DELIVER, STORE, AND HANDLE PRODUCTS USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THEFT. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - SCHEDULE DELIVERY TO MINIMIZE LONG-TERM STORAGE AT PROJECT SITE AND TO PREVENT OVERTROWING OF CONSTRUCTION SPACES. DELIVER PRODUCT IN MANUFACTURER'S ORIGINAL SCALED CONTAINER OR PACKAGING, COMPLETE WITH LABELS AND INSTRUCTIONS FOR HANDLING, STORING, UNPACKING, PROTECTING, AND INSTALLATION.
 - STORE PRODUCTS THAT ARE SUBJECT TO DAMAGE BY THE ELEMENTS UNDER COVER IN A WEATHERTIGHT ENCLOSURE ABOVE GROUND, WITH VENTILATION ADEQUATE TO PREVENT CONDENSATION.
 - WHERE DRAWINGS SPECIFY A SINGLE PRODUCT OR MANUFACTURER, PROVIDE THE ITEM INDICATED THAT COMPLIES WITH REQUIREMENTS.

- ROUGH CARPENTRY MATERIALS
- DIFFERING LUMBER AND COMPOSITE LUMBER MATERIALS ARE SPECIFIED AT VARIOUS LOCATIONS. MATERIAL GRADES SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADES:
 - PERIMETER SILLS (WALL SILL): PRESSURE-TREATED SOUTHERN YELLOW PINE, SUITABLE FOR GROUND CONTACT PLACED ON TOP OF CONCRETE.
 - EXPOSED FINISH TIMBERS: (LAP JOINT EXTERIOR POSTS) PRESSURE-TREATED SOUTHERN YELLOW PINE.
 - PRESSURE-TREATED LUMBER: SOUTHERN YELLOW PINE NO. 1 GRADING
 - COMPOSITE LUMBER: VERSA LAM BY BOISE CASCADE, 1 1/2" x 3" x 6' E-2000 (4) (EXTERIOR FRAMING AS NOTED), POWER PRESERVED BEAMS FOR EXTERIOR USE.
 - CONVENTIONAL LUMBER: S-P-F No. 2 OR BETTER
 - ALL LEDGER BOLTS EXTENDING THROUGH PRESSURE-TREATED LUMBER SHALL BE STAINLESS STEEL.
 - ALL LUMBER AND TIMBER FRAMING MATERIAL SHALL BE STORED IN A PROTECTED, DRY AREA OFF OF THE GROUND AND GROUND FLOOR SURFACES. STORE MATERIAL OUT OF DIRECT SUNLIGHT TO PREVENT DIFFERENTIAL DRYING AND WARPING.
 - JOIST HANGERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE, INC. WHERE NOTED, HANGERS SHALL BE STAINLESS STEEL, ATTACHED WITH STAINLESS STEEL 10d x 1 1/2" HANGER NAILS INSTALLED IN PREDRILLED HOLES AS REQUIRED OR DIRECTED BY ENGINEER. REFER TO PLAN SHEETS AND SCHEDULE FOR HANGERS AND LOCATIONS.
 - REFER TO STRUCTURAL DRAWINGS FOR APPROPRIATE SELF-DRIVING FASTENERS, EITHER MANUFACTURED BY FASTENMASTER, INC. OR BY GRK, INC. INSTALL FASTENERS AS INDICATED ON DRAWINGS.
 - DO NOT NOTCH JOISTS IN THE MIDDLE THIRD OF THEIR SPANS, AND PROVIDE TAPERED CUTS AT ENDS OF JOISTS WHERE NOTED, TO PREVENT SPLITTING OF LUMBER AT STRESS CONCENTRATION POINTS.
 - FLOOR SHEATHING SHALL BE ADVANTX SHEATHING, IN THICKNESS INDICATED ON DRAWINGS. GLUE AND NAIL FLOOR DECKING TO SHEATHING AS NOTED. PROVIDE 1/8" SPACINGS BETWEEN SHORT ENDS OF PANELS AS REQUIRED BY MANUFACTURER.



GENERAL NOTE: CONTRACTOR TO PROVIDE THRU-PENETRATION FIRE STOPPING AT ALL PENETRATIONS TESTED TO MEET ASTM E 84 OR UL 1479 PER IBC 7102.12. NOTE THAT FIRE RESISTANCE RATING SHALL NOT BE LESS THAN THE RATING OF THE WALL(S) PENETRATED.

CODE & ZONING REVIEW

PROJECT DESCRIPTION: EXISTING BUILDING, FORMER GALLERY SPACE, BUILDING HAS APARTMENTS ON UPPER FLOORS, FIRST FLOOR RETAIL SPACE TO BE RENOVATED (LEVEL II ALTERATION) BY TENANT TO HOUSE A BAKERY. TENANT HAS NO LEASE TO EXTERIOR SPACE OR PARKING ASSOC. WITH BUILDING. TOTAL OCCUPANCY UNDER 50 PERSONS CLASSIFIED PER IBC AS BUSINESS PER IBC 300.2 TO EXTERIOR ALTERATIONS TO BUILDINGS OR SITE.

ADDRESS: 1 NORTH STREET, PORTLAND
 GR: 04 3007
 LOT SIZE: 3,394 SF
 BUILT: 1904
 3RD FLOOR SE (RETAIL SPACE) WHOLE BUILDING 2,277
 MIXED USE

APPLICABLE CODES:
 IBC 2009
 IBC 2009
 ICC 2009
 NFPA 101 2009
 NFPA 1008
 ADA STANDARDS 2010

CONDITIONS:
 UNSPRINKLED BUILDING
 -BASEMENT + THREE STORES

ZONING:
 -R-1 NEIGHBORHOOD BUSINESS ZONE
 -R-1: 04 3007
 -MIN LOT SIZE: NONE
 -LOT FRONTAGE: MIN 20' 0"
 -FRONT SETBACK: 0' 0" TO 10' 0" OR AVERAGE
 -REAR SETBACK: 10' 0"
 -SIDE SETBACK: 0' 0"
 -MAX STRUCTURE HEIGHT: 50' 0"
 -MAX IMPERVIOUS: 50%
 -FIRE SEPARATION WALLS AVAILABLE TO PUBLIC: 2,000 SF
 -HOURS OF OPERATION LIMITED TO 6:00 AM TO 11:00 P.M.
 -MAXIMUM FLOOR AREA FOR RETAIL: 5,000 SF
 -NO EXTERIOR STORAGE EXCEPT FOR SOLID WASTE DISPOSAL IN CONTAINERS

IBC/IFC:
 -USE CLASSIFICATION: BUSINESS PER (303.1)
 -CONSTRUCTION TYPE: VB
 -ALTERATION LEVEL: LEVEL THREE ALTERATION (402.1)
 -SMOKE BARRIERS SHALL HAVE A HOUR FIRE PROTECTION RATING (710.3)
 -SHAFT ENCLOSURES SHALL BE 1 HOUR IN BUILDINGS UNDER 4 STORES (708.4)
 -INTERIOR FINISH REG. - CLASS C (803.5)
 -TRAVEL DISTANCE - FOR LESS THAN 70' OCCUPANTS, 75' 0" TRAVEL DISTANCE MAX (BC 1021.2)
 -FIRE SEPARATION BUSINESS TO RESIDENTIAL NON-SPRINKLERED = 2 HOURS (605.4)
 -GIC 50 BETWEEN APARTMENTS IN RESIDENTIAL & BUSINESS OR RES UNITS FLOORS, CEILING, AND WALLS (1007.2 & 1007.3)

IECC:
 CLIMATE ZONE: 6
 ATTIC: R-38
 WALLS: R-15 + R-7.5ci
 BASEMENT WALLS: R-7.5ci
 DOORS: U-0.20
 WINDOWS: U-0.25, 0.40 SHGC

NFPA 101:
 -WIDTH OF AISLES SERVING SEATING AT TABLES SHALL NOT BE LESS THAN 36"
 -REQUIRE SEATING AND TABLE LOAD OF 50 OR FLOOR: (NFA 222.2.2)
 -REQUIRED SEPARATION FROM APT. ABOVE: 2 HOURS PER NFPA TABLE 5.10.4.1(1)
 -CHANGES IN FLOOR ELEVATION CANNOT BE MORE THAN 1/4" (NFA 713.2)
 -CEILING HEIGHT OF NOT LESS THAN 7' IN EXISTING BUILDING WITH PROJECTIONS FROM THE CEILING OF NOT LESS THAN 6'-9" (NFA 7.1.5.1)
 -MINIMUM CLEAR WIDTH FOR A NEW RAMP: 41" (725.2(4))
 -INTERIOR FINISHES: A, B OR C (NFA A.0.2.2)
 -FIRE EXTINGUISHERS IN PUBLIC, MERC AND STORAGE AREAS TO BE ABC TYPE AND TYPE K IN THE KITCHEN.

UNIFORM PLUMBING CODE (TABLE 4-1):
 -WATER CLOSET TO 150 FIXTURES FOR WOMEN AND 1000 MEN
 -URINALS: 1:1000
 -LAVATORIES: 1:200 FOR MEN AND WOMEN
 -HANDWASHING SINK FOR EMPLOYEES
 -FOOTRESTS REGARDING SMALL ESTABLISHMENTS AS PUBLIC OR PROFESSIONAL OFFICES.

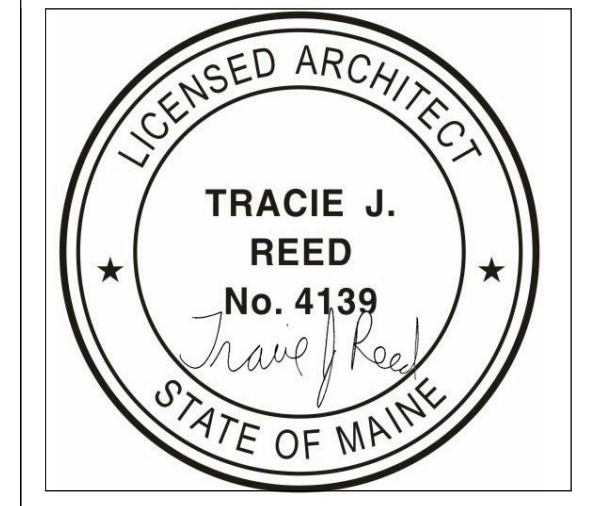
ADA:
 -PROJECT MUST SPEND 20% OF BUDGET TO IMPROVE ACCESSIBILITY
 -PRIORITY ORDER OF PRIORITY: 1) ACCESSIBLE ENTRANCE, 2) ACCESSIBLE ROUTE TO ALTERED AREA, 3) AT LEAST ONE ACCESSIBLE RESTROOM, 4) ACCESSIBLE TELEPHONES, 5) ACCESSIBLE DRINKING FOUNTAIN (506.4)(2)
 -CHECK OUT COUNTER SHALL BE NO HIGHER THAN 38" AFF (504.3)(2)
 -CLEAR SPACE, WHERE REQUIRED SHALL BE 30" x 48" (506.2)
 -LATCHED DOORS SHALL HAVE 12" ON PUSH SIDE OF DOOR & 18" OF CLEARANCE ON PULL SIDE W/60" CLEAR SWING IN FRONT OF DOOR (404.2.4.1)
 -LATCH STYLE HANDLES W/IA PULL FORCE OF LESS THAN 5# TO BE PROVIDED (504.2.7)
 -CLEAR OPENING WIDTH OF 32" MIN FOR DOORS WHEN OPENED 90 DEGREES W/NO PROJECTIONS (404.2)
 -DOOR CLEARANCE SHALL BE 17" 20" IN DEPTH & 12" AFF, EXTENDING FOR MIN OF 30" WIDE (506.2)
 -KNEE CLEARANCE SHALL BE BETWEEN 9"-27" AFF & EXTENDING 25" UNDER SURFACE & 30" WIDE, MIN (506.3)
 -OB. OBJECTS BETWEEN 27"-80" AFF CANT PROTRUDE MORE THAN 4" FROM WALL INTO CIRCULATION PATH (507.2)
 -RAMPS, MAX SLOPE OF 1:12 (405.2)
 -60" SQUARE TURNING RADIUS PROVIDED @ BOTTOM OF RAMP OR TOP LANDING (405.7)
 -HANDRAIL TO EXTEND 12" PAST BOTTOM OF RAMP OR ONE TREAD WIDTH @ BOTTOM OF STAIR & 12" AT TOP OF STAIR OR RAMP (503.1) - 505.3(2)
 -BOTTOM EDGE OF WARRORS NO HIGHER THAN 40" AFF ABOVE COUNTER/SBK, OTHERWISE NO GREATER THAN 25" AFF (603.3)
 -CENTERLINE OF TOILET BTW 15"-18" FROM WALL (604.2)
 -60" x 60" CLEARANCE AROUND TOILET (604.3)
 -TOILET HEIGHT OF 17"-19" AFF (604.4)
 -SIDE WALL GRAB BAR IN BATHROOM TO BE 12" FROM CORNER & 42" LONG. CLEAR GRAB BAR SHALL BE 36" LONG & 12" FROM CENTERLINE OF TOILET. EXTENDING 24" MIN PAST CENTERLINE ON FAR SIDE (604.5)(2)
 -TOILET PAPER DISPENSERS 7" 5" IN FRONT OF TOILET BOWL, MEASURED FROM DISPENSER CENTERLINE & BTW 15"-19" AFF (604.7)
 -10" CLEARANCE UNDER STALL DOORS = 12" MIN (604.2)(4)
 -KNEE CLEARANCE: 30" 17" AFF (605.2)
 -SINK HEIGHT (RM) OF NO MORE THAN 34" AFF (606.3)
 -KNEE CLEARANCE OF 24" DEEP PROVIDED FOR ALL SINKS NOT ACCESSED THROUGH PRIVATE OFFICES (605.2)
 -GRAB BARS TO BE INSTALLED BTW 33"-36" AFF (605.4)
 -CROSS SECTION OF ALL GRAB BARS TO BE: BTW 1 1/4" TO 2" MAX IN DIAMETER (CIRCULAR) & BE 1/2" FROM WALL (605.2.2)
 -TACTILE SIGNS TO BE INSTALLED BTW 48"-60" MAX AFF (703.4)

Sheet List

#	Name
T-1	TITLE
A-1	FIRST FLOOR PLAN
A-1.1	INTERIOR ELEVATIONS

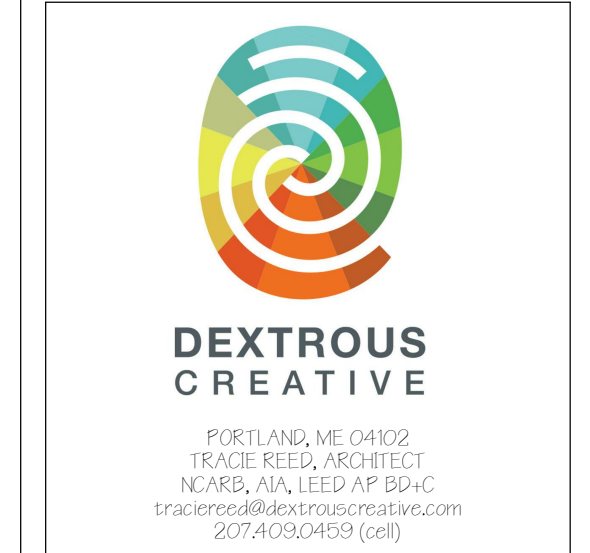
ABBREVIATIONS

2017: Finishes with disabilities act
 AFF: 1 Above finish floor
 DWG: Drawing
 EL: Elevation
 GA: Gauge
 GWB: Gypsum wall board
 EQ: Equal
 GPF: Gallons per flush (toilets)
 FE: Fire extinguisher
 HVAC: Heating, ventilation and air conditioning
 LM: Lumens
 MNI: Minimum
 NTS: Not to scale
 PSI or PSF: Pounds per square inch or pounds per square foot, pressure or strength
 UNO: Unions noted otherwise
 R-Value: Thermal resistance
 RCP: Rotocast ceiling panel
 SHG: Solar Heat Gain
 SF: Square foot
 SMI: Gypsum
 STRUCT: Structural
 T2: Top of
 TYP: Typical
 VE: Verify in field
 VT: Visual transmittance, a measurement of transparency/translucency
 WC: Water closet, otherwise known as a bathroom



1 NORTH STREET
 TENANT FITOUT (LEVEL II ALTERATION)

OWNERS (Tenants)
 Chris Deutsch & Amy Fuller
 219 Wilson Street #2
 Portland, ME 04101
 (703) 395-9361 (cell)
 bellevillemaine@gmail.com



PROJECT TEAM

No.	Description	Date

TITLE

150 SF

Room name: 101

150 SF

DOOR TAG: 101

WALL TAG: 11

CENTERLINE

NORTH SYMBOL

Project number	17-04
Date	04.06.17
Drawn by	TJR
Checked by	TJR

T-1.1
 Scale: As indicated