

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ICTION

Permit Number: 081498

This is to certify that Nuco Llc /Pollard Builders/ Benjamin Pollard
 has permission to Interior remodel, including installation of a structural head

AT 16 Cumberland Ave. Unit #2 CB 014 B005002

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name _____

12/3/08 *[Signature]*
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

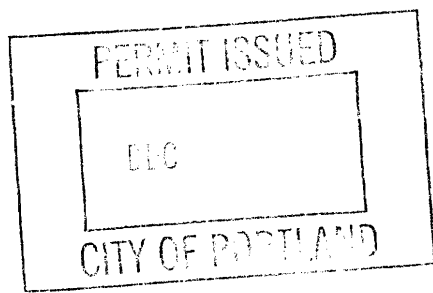
Permit No: 08-1498	Issue Date: 12/3/08	CBL: 014 B005002
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Location of Construction: 16 Cumberland Ave. Unit #2	Owner Name: Nuco Llc	Owner Address: 61 Westwood Rd	Phone:
Business Name:	Contractor Name: Pollard Builders/ Benjamin Pollard	Contractor Address: 30 Eastern Promenade Portland	Phone 2077730764
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Four Condominiums	Proposed Use: Unit #2 / Interior remodel, including install of a structural header.	Permit Fee: \$320.00	Cost of Work: \$320.00	CEO District: 1
<p>legal use: four residential condos</p>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: SB IBC-2007	
Proposed Project Description: Interior remodel, including install of a structural header.		Signature:	Signature: <i>ck</i> 12/3/08	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 11/26/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/26/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	Date: <i>11/26/08</i>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ¹⁶⁻¹⁸ 18 CUMBERLAND AVE UNIT #2		
Total Square Footage of Proposed Structure/Area 700 SF	Square Footage of Lot	Number of Stories 1
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 014 B005002	Applicant *must be owner, Lessee or Buyer* Name DALE CARLSON Address 22 CUMBERLAND AVE City, State & Zip PORTLAND, ME 04101	Telephone: 650.8654
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Same Address City, State & Zip	Cost Of Work: \$ 30,000 C of O Fee: \$ Total Fee: \$ 300.00
Current legal use (i.e. single family) UNOCCUPIED CONDOMINIUM Number of Residential Units 1 If vacant, what was the previous use? APARTMENT Condominium Proposed Specific use: CONDOMINIUM Is property part of a subdivision? NO If yes, please name Project description: WE PROPOSE TO COMPLETE AN INTERIOR REMODEL OF AN UNOCCUPIED CONDOMINIUM, INCLUDING INSTALLING A STRUCTURAL HEADER & NEW PLUMBING, ELECTRICAL, INSULATION, DRYWALL & FINISHES.		
Contractor's name: POLLARD BUILDERS / BEN POLLARD		
Address: 30 EASTERN PROMENADE		Telephone: 776.5711 Telephone: 776.5711
City, State & Zip: PORTLAND, ME 04101		
Who should we contact when the permit is ready: BEN POLLARD		NOV 28 2008
Mailing address: SAME AS ABOVE		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

JBPollard

Date: 2008.11.26

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1498	Date Applied For: 11/26/2008	CBL: 014 B005002
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Location of Construction: 16 Cumberland Ave. Unit #2	Owner Name: Nuco Llc	Owner Address: 61 Westwood Rd	Phone:
Business Name:	Contractor Name: Pollard Builders/ Benjamin Pollard	Contractor Address: 30 Eastern Promenade Portland	Phone (207) 773-0764
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Unit #2 / Interior remodel, including install of a structural header.	Proposed Project Description: Interior remodel, including install of a structural header.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/26/2008

Note:**Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain four (4) family residential condominiums. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 12/03/2008

Note:**Ok to Issue:**

- 1) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

BLUELINX CORPORATION

Armand Joseph

24 Nov 2008 3:01 pm

100 Wildwood Parkway, Atlanta, GA. 30339-

(770)953-7000

ASTBeam® Engineering Analysis ©1996-2006 Georgia-Pacific Corporation

Version: 8.1

Project :

Mark # : Beam - Floor

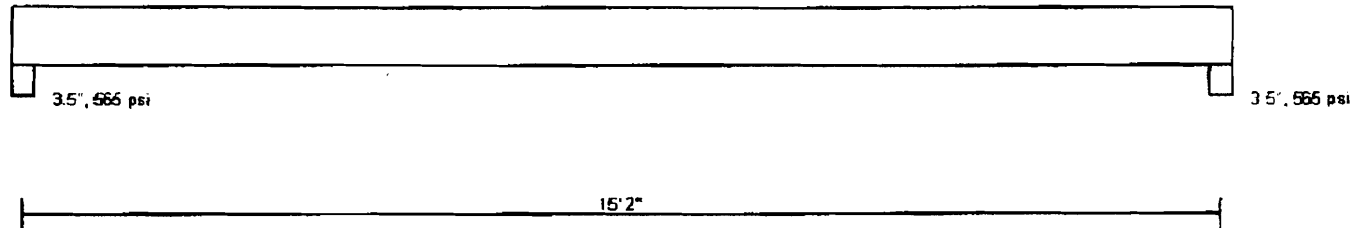
pollard

Usage : Beam (Floor)

Spacing (in.) : 0.0

Max Defl : LL = L/360 TL = L/240

Composite Action : No



LOADS

Project Design Loads : Floor: Live=40 psf, Dead=10 psf;

Shape	Live+Dead	Ld(T)	Live Ld(L)	LDF	Location*	Additional Info		
	@Start	@End	@Start	@End	Span#	Starts	Ends	
Span Carried(psf)	50		40		100% 0	0' 0"	15' 2"	24' 0" s.c. -
Uniform(plf)	16		0		0	0	15' 2"	Self Weight

*Dimensions measured from left end when span# is 0, otherwise, from left end of the specified span.

SUPPORTS(lbs)

	1	2	
Max R'n	4673	4673	
Max 100%	3640	3640	
Min R'n	1033	1033	
Min 100%	3640	3640	
DL R'n	1033	1033	
Min Brg(In.)	1.58	1.58	[Based on bearing stress below]
Brg Str(psi)	565	565	

DESIGN

	Value	Span	X	Group	Allow	LDF	Ratio	
R(lbs)	3973	1	15' 0"	21	11844	100%	0.34	
R(ft-lbs)	17719	1	7' 7"	21	29853	100%	0.59	
tRn(lbs)	4673	0	0' 0"	21	10382	100%	0.45	See Note #4
RtRn(lbs)	4673	0	15' 2"	21	10382	100%	0.45	See Note #4
LLDefl(in.)	0.42	1	7' 7"	21	0.51		L/438	
LLDefl(in.)	0.53	1	7' 7"	21	0.76		L/341	

USE:

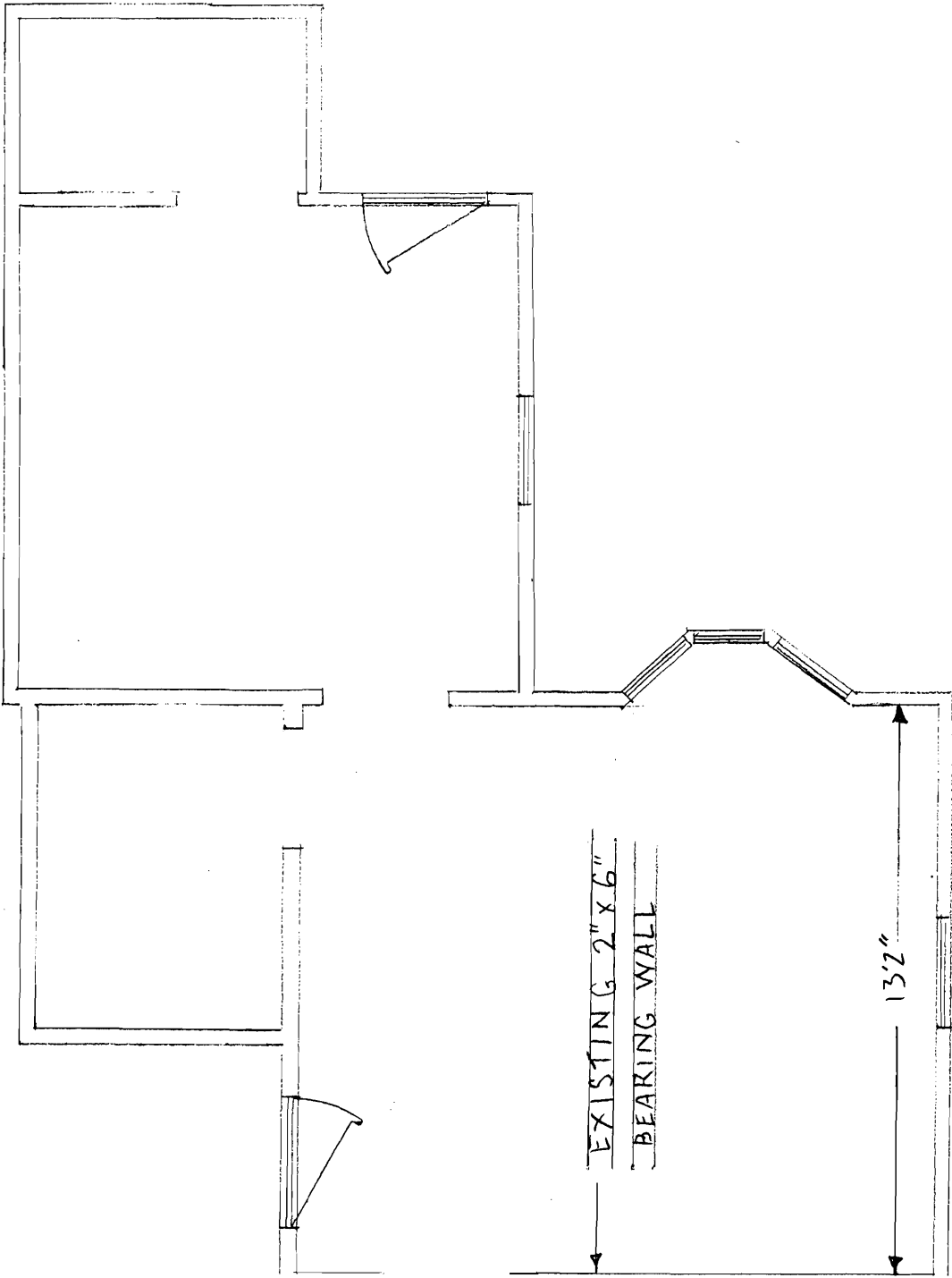
GPLAM 2.0E 1.75x11.88" 3 Piles

Grade, Depth selected by User

G-P LAM tm Georgia-Pacific Wood Products, LLC

NOTES :

- Designed in accordance with National Design Specifications for Wood Construction and applicable Approvals or Research Reports.
- Provide full depth lateral support at all bearing locations. Allowable positive moment is calculated based on top edge with continuous lateral support.
- Loads have been input by the user and have not been verified by Georgia-Pacific Wood Products LLC.
- This reaction is based on the combination of loads & duration factors that produces the highest stress ratio and may be less than maximum reaction. Therefore, when reaction values are required, use Max R'n from 'Supports' section above.
- Bearing length based on design material; support material capacity shall be verified (by others).
- When required by the building code, a registered design professional or building official should verify the input loads and product application.
- This engineered lumber product has been sized for residential use. A concentrated load check, per the building code, must be performed for commercial uses.
- For beams with loads applied equally to the top of all plies, nail plies together with 2 rows of 16d nails @ 12" o/c (one row 2" from top, one row 2" from bottom). Specified attachment is from each side.
- For beams with loads not applied equally to all plies, refer to Fastening Recommendations for Side-Loaded, Multiple-Piece Members in the GP Engineered Lumber Residential Floor & Roof Systems Product Guide.
- Design valid for dry-use only (less than 16% moisture content).
- Company, product or brand names referenced are trademarks or registered trademarks of their respective owners.
- Load Combinations: 10 = D, 20 = D + 100%, 30 = D + 115%, 40 = D + 125%, 50 = D + 133%, 60 = D + 100% + 115%, 70 = D + 100% + 125%, 80 = D + 100% + 133%, 90 = D + 100% + 115% + 133%/2, 100 = D + 100% + 115%/2 + 133%, 110 = D + Commercial Ld (100%)
- Group = Load Combination Number + Load Pattern number. (For simple span, Load pattern = 1 for LL, 0 for DL).



18 CUMBERLAND AVENUE

FLOOR PLAN

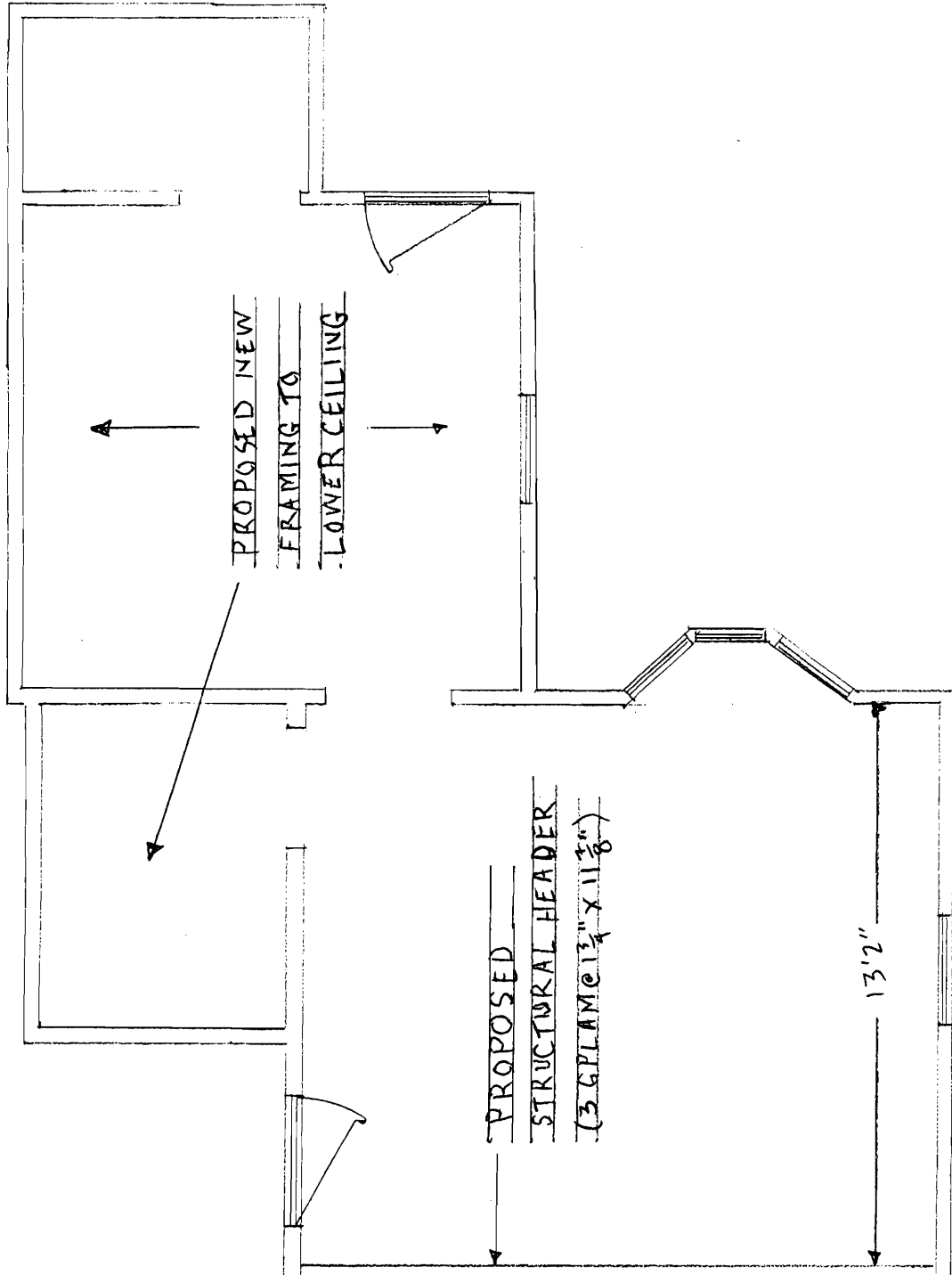
EXISTING

POLIARD BUILDERS

PORTLAND, MAINE

DATE: 2008.10.14

SCALE: $\frac{1}{4}'' = 1'$



18 CUMBERLAND AVENUE

FLOOR PLAN

PROPOSED

POLLARD BUILDERS

PORTLAND, MAINE

DATE: 2008.10.14

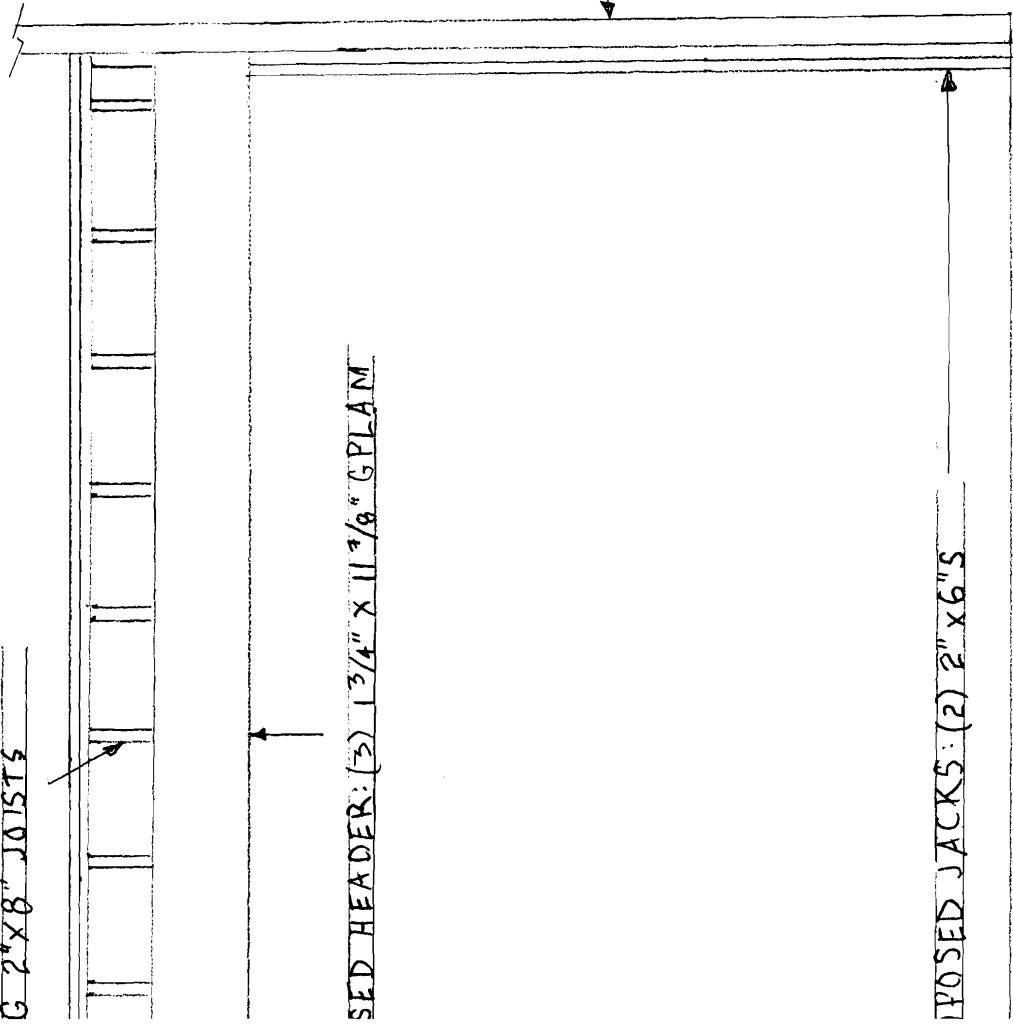
SCALE: 1/4" = 1'

PROPOSED
STRUCTURAL HEADER
(3 GFLAMC 1 3/4" x 11 3/8")

PROPOSED NEW
FRAMING TO
LOWER CEILING

13'2"

G 2"x8" JOISTS



SEED HEADER: (2) 1 3/4" X 11 3/8" GPLAM

EXISTING 2" X 4" WALL

PROPOSED JACKS: (2) 2" X 6"S

18 CUMBERLAND AVENUE

PROPOSED CROSS SECTION

POLLARD BUILDERS

PORTLAND, ME

DATE: 2008.11.25

SCALE: 1/2" = 1'