

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0347	Issue Date:	CBL: 013 L008001
-----------------------	-------------	---------------------

Location of Construction: 46 CUMBERLAND AVE	Owner Name: REED RICHARD K & GUNNEL L	Owner Address: 30 PLEASANT AVE	Phone:
Business Name:	Contractor Name: Avery Services, Inc.	Contractor Address: 7 Thomas Drive Westbrook	Phone: 2077728687
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	Zone: R-6

Past Use: 2 unit residential single family dwellings - (9-250)	Proposed Use: 2 unit residential - install a 48 VTA030 Carrier package unit	Permit Fee: \$190.00	Cost of Work: \$16,793.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>NA</i>	INSPECTION: Use Group: <i>U</i> Type: <i>HVAC</i> <i>Spdy Eric Pags</i>	

Proposed Project Description:  
install a 48 VTA030 Carrier package unit

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 04/07/2010	<b>Zoning Approval</b>	
-----------------------------	---------------------------------	------------------------	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/ conditions</i> Date: <i>4/8/10</i> <i>ABM</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date:</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date:</p>
	<p><b>PERMIT ISSUED</b></p> <p>APR 14 2010</p> <p>City of Portland</p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0347	Date Applied For: 04/07/2010	CBL: 013 L008001
-----------------------	---------------------------------	---------------------

Location of Construction: 46 CUMBERLAND AVE	Owner Name: REED RICHARD K & GUNNEL L	Owner Address: 30 PLEASANT AVE	Phone:
Business Name:	Contractor Name: Avery Services, Inc.	Contractor Address: 7 Thomas Drive Westbrook	Phone (207) 772-8687
Lessee/Buyer's Name	Phone:	Permit Type: HVAC	

Proposed Use: 2 single family dwellings - install a 48 VTA030 Carrier package unit in #46.	Proposed Project Description: install a 48 VTA030 Carrier package unit
---	---

Dept: Zoning      Status: Approved with Conditions      Reviewer: Ann Machado      Approval Date: 04/08/2010

Note: Ok to Issue: ✓

- 1) This property shall remain as two single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 04/14/2010

Note: Ok to Issue: ✓

PERMIT ISSUED

APR 14 2010

City of Portland

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

APR 14 2019

City of Portland



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

PERMIT ISSUED

APR 14 2010

City of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 13-L-8 Use of Building 2 Unit Res Date 4-7-10  
 Name and address of owner of appliance 46 Cumberland Ave Portland Dick Reed  
 Installer's name and address Avery Services Inc  
7 Thomas Dr Westbrook 04092 Telephone 772 8687

### Location of appliance:

- Basement  Floor  
 Attic  Roof

### Type of Fuel:

- Gas  Oil  Solid

Appliance Name: 48VTA030 CARRIER  
 U.L. Approved  Yes  No Package unit

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

### The Type of License of Installer:

- Master Plumber # \_\_\_\_\_  
 Solid Fuel # \_\_\_\_\_  
 Oil # \_\_\_\_\_  
 Gas # PWT1439  
 Other \_\_\_\_\_

### Type of Chimney:

- Masonry Lined  
 Factory built N/A  
 Metal  
 Factory Built U.L. Listing # N/A  
 Direct Vent  
 Type \_\_\_\_\_ UL# \_\_\_\_\_

### Type of Fuel Tank

- Oil  
 Gas

Size of Tank \_\_\_\_\_  
 Number of Tanks \_\_\_\_\_  
 Distance from Tank to Center of Flame \_\_\_\_\_ feet.

Cost of Work: \$ 16,793

Permit Fee: \$ 190

RECEIVED

APR - 7 2010

Dept. of Building Inspections  
City of Portland Maine

### Approved

### Approved with Conditions

Fire: \_\_\_\_\_  
 Ele.: \_\_\_\_\_  
 Bldg.: \_\_\_\_\_

- See attached letter or requirement

Signature of Installer [Signature] Inspector's Signature \_\_\_\_\_ Date Approved \_\_\_\_\_

# Structural Integrity

Consulting Engineers, Inc.

April 5, 2010

Mr. Dick Reed, AIA  
Reed & Co. Architecture  
Portland, ME 04101

Reference:  
Roof Top Unit  
46 Cumberland Ave.  
Portland, Maine 04101

Structural Integrity Job: #09-0001

Dear Dick,

I have reviewed the current low roof framing and the proposed location of the 350lb roof top unit per the attached reference sketch. I have determined that the current framing is adequate to support the unit along with all code prescribed loads.

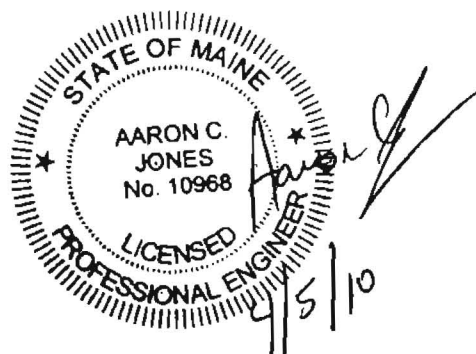
Please do not hesitate to call with any questions.

Sincerely,

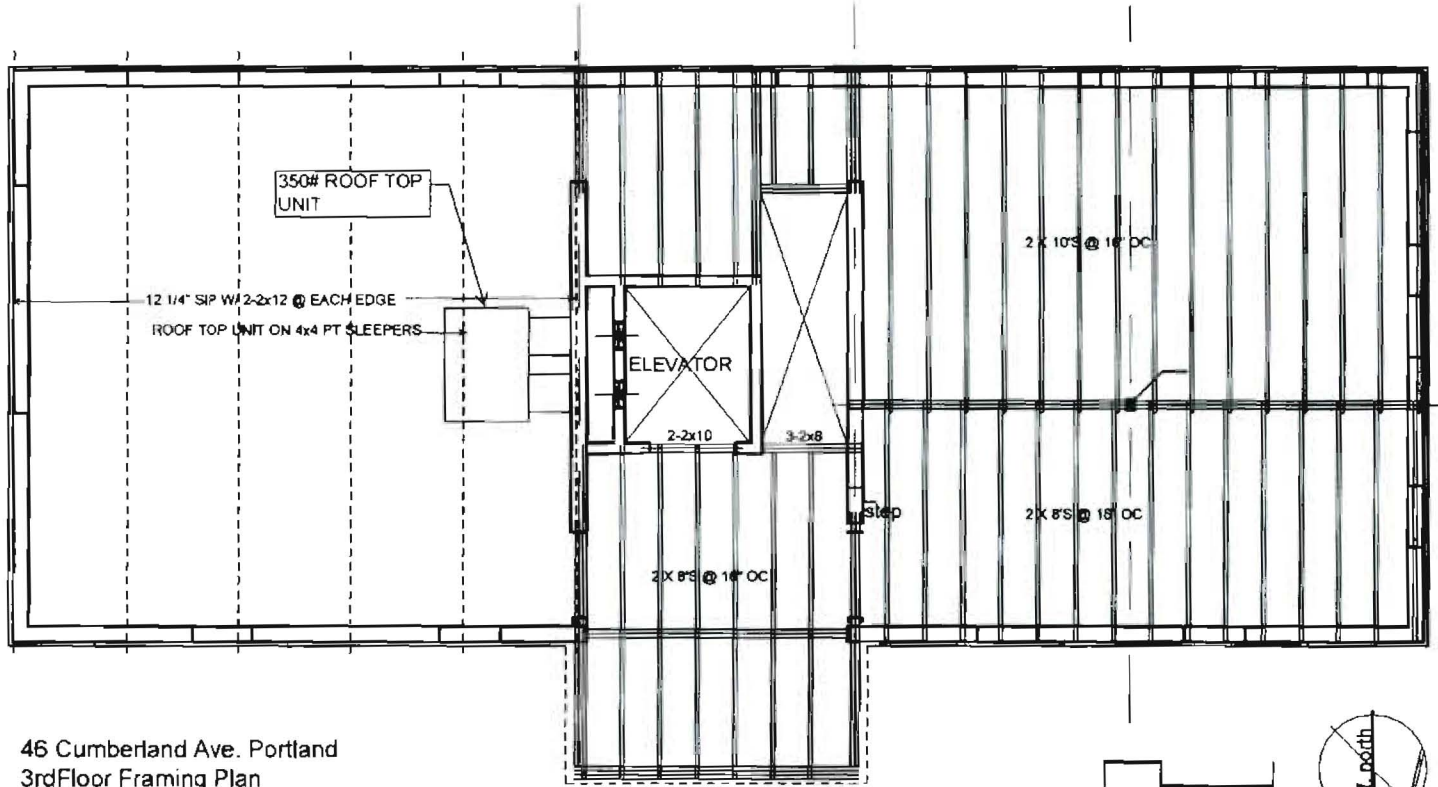


---

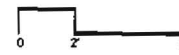
Aaron C. Jones, P.E., SECB, LEED AP BD+C  
President



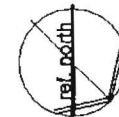
LOW ROOF REFERENCE PLAN



46 Cumberland Ave. Portland  
3rd Floor Framing Plan



12-06-08



# PROPOSAL

781

**SERVICES, INC.**  
7 Thomas Drive  
BROOK, MAINE 04092  
(207) 772-8687

FX (207) 874-0933

1st Street  
ME 04101

PHONE 871-5678	DATE 2/24/2010
JOB NAME / LOCATION Cumberland Avenue, Portland	
JOB NUMBER MSD #003380	JOB PHONE:

unavailable and estimates for:

Services, Inc. is pleased to submit a quote to perform the following work:

30 (2 1/2 ton unit) MSD RR

1) install a Carrier 48VTA (36) (14 SEER) single packaged hybrid heat dual fuel rooftop unit.

2) install a Carrier economizer.

3) install a Carrier programmable thermostat.

4) install gas piping from gas meter location to unit on roof, piping to gas run through duct chase. Leave MSD RR future taps (tap includes tee, shutoff, nipple and cap) provide tap for gas fireplace

5) install a galvanized ductwork system comprised of four (4) sidewall return grilles. There will be a total (1) supplies (type of diffusers: sidewall, ceiling, and floor grilles).

6) unit will sit on a 4x4 PT sleeper. Duct insulated outside will have 2" board insulation covered with "Peel & Stick" membrane. Duct and trunk will be wrapped with Reflectix. Chase duct will not be wrapped due to space constraints. Crane for unit lift.

Due to constraints of duct layout, and inability to install volume dampers, temperature variance from unit is unpredictable, and we can not guarantee +/- 2 degree industry standard.

7) Provide and install Rinnit Continuum "On-demand" water heater. ADD \$2,000.00 RR initials. On 12/15/09, down payment would be \$6,264.00.

NOTES: Power wiring, wrap for ease ductwork, and domestic plumbing.

BASE: hereby to furnish material and labor - complete in accordance with the above specifications for the sum of: 16,793.00 dollars (\$)

Terms as follows:  
0 upon acceptance - Progress billing/net 10 days - All balances due upon substantial completion.  
If not made as outlined above, a service charge of 2% per month on the overdue balance plus all reasonable costs of collection, employer's fees will be paid.

Contracted to be as specified. All units to be completed in a professional and safe manner. Any alteration of details from above specifications will be executed only upon written orders, and will become an order only above the contract. All payments contingent upon dates, conditions or fair central. Owner to carry fire, liability, and other necessary insurance. On 12/15/09, down payment would be \$6,264.00.

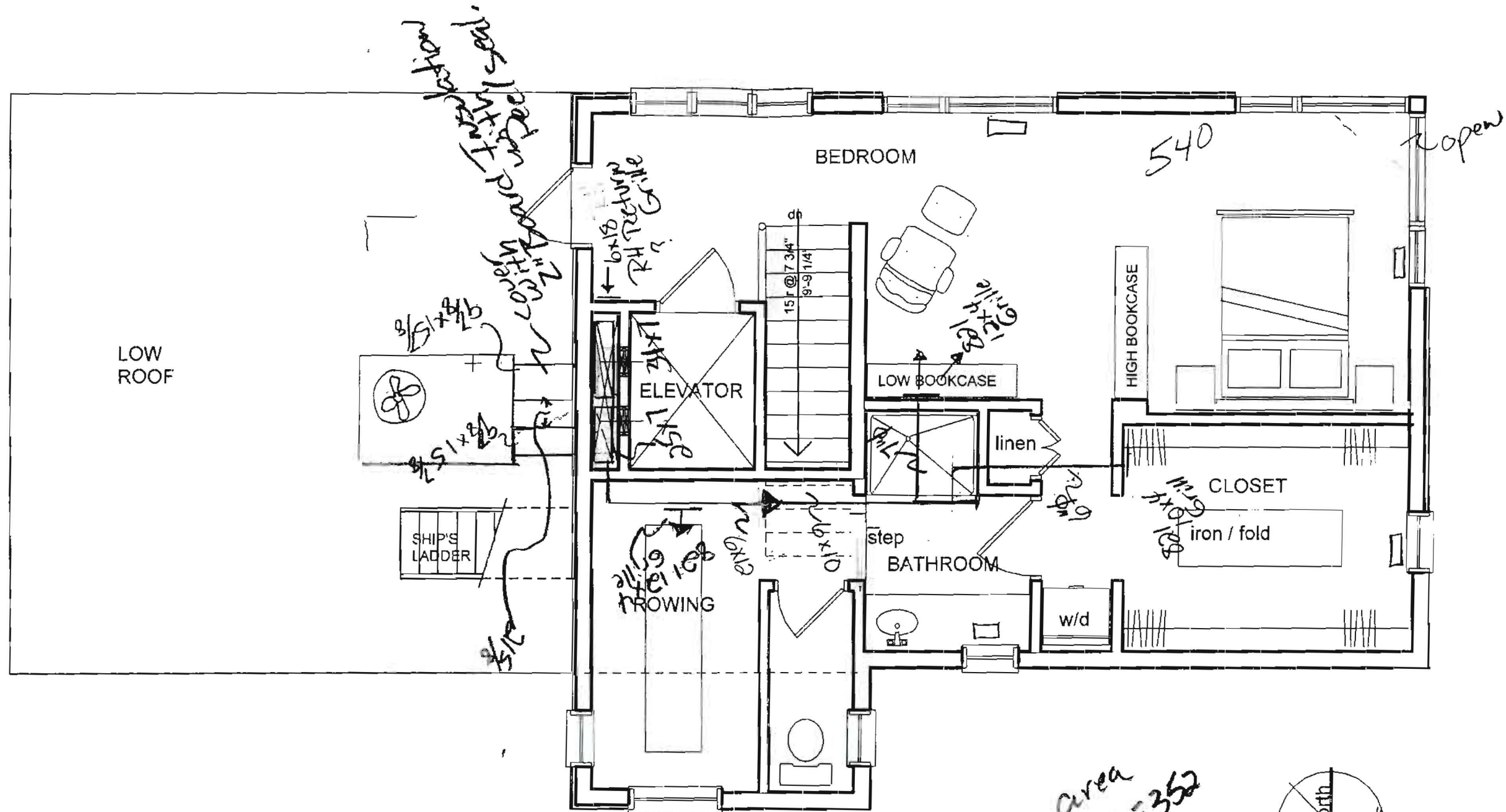
Authorized Signature: Michael Darling RR

Note: This proposal may be withdrawn by us if not accepted within 30 days.

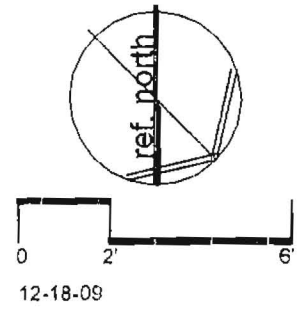
Acceptance of Proposal - The above prices, specifications and conditions are hereby accepted. You are authorized to do the work specified and to make no other changes.

Signature: Michael Reed

Signature: \_\_\_\_\_



Bed Rm + sitting area  
 Closet  
 Bath  
 = 540  $\times$  .7 = 352

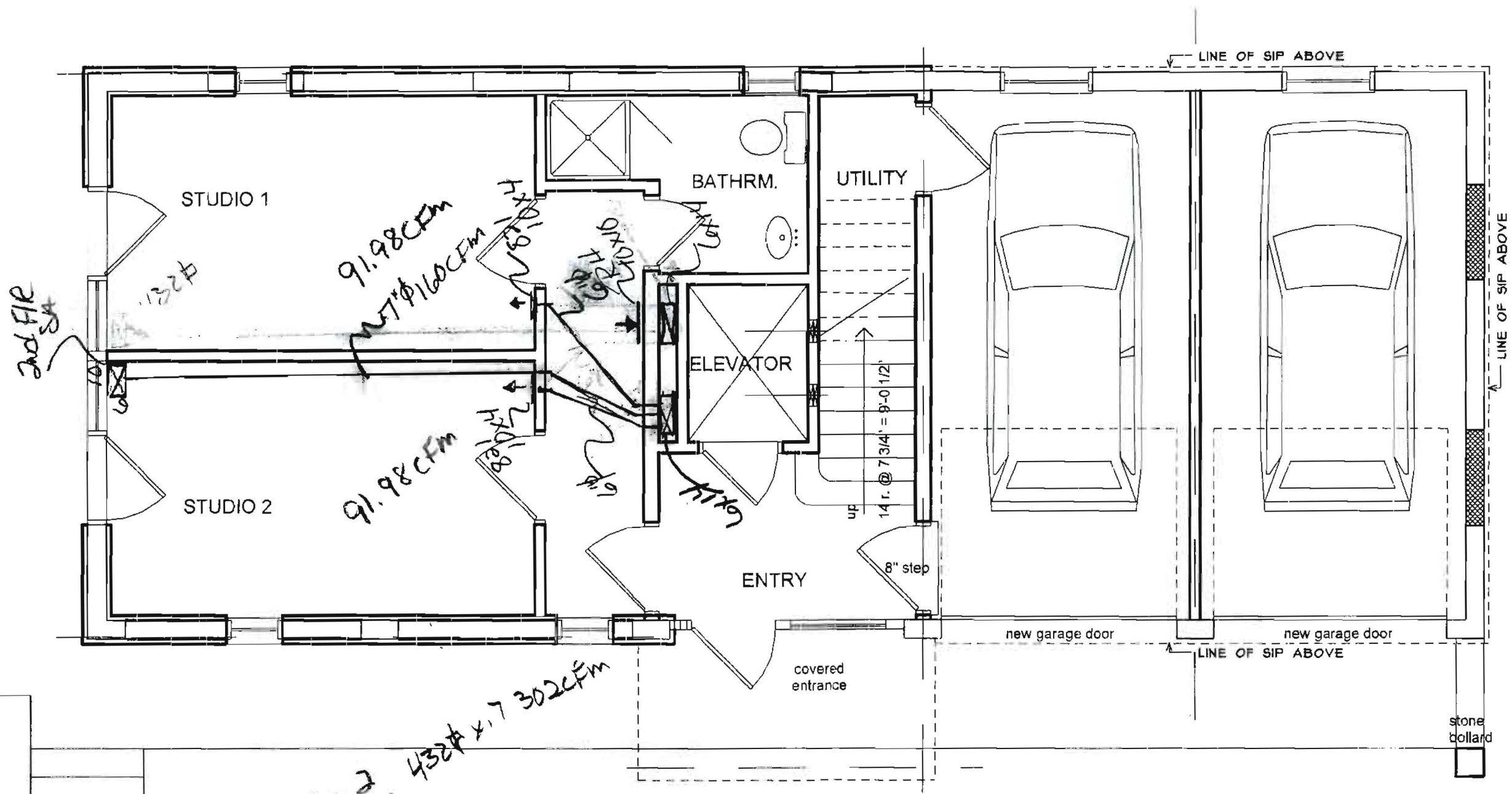


46  
 3rd Floor Plan  
**A1.3**

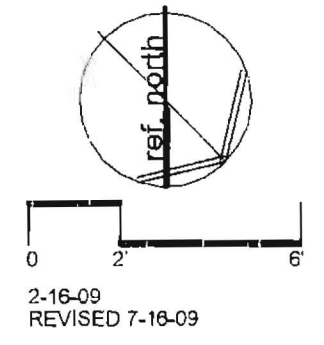




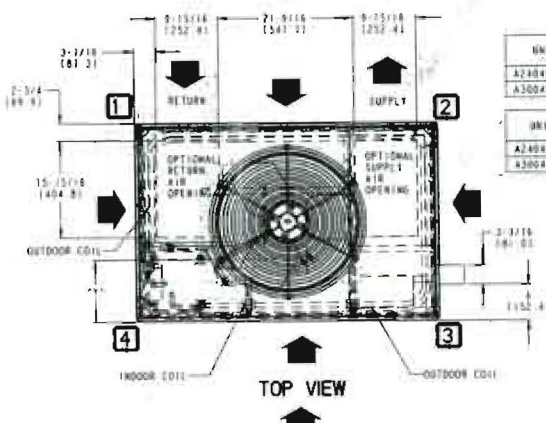
Total  
1818 #



Studio 1 + 2  
Bath + Entry  
432 # x 7 302 CFM



46  
1st Floor Plan  
A1.1



UNIT	ELECTRICAL CHARACTERISTICS	UNIT WT. LB.	UNIT HEIGHT IN/MM	CENTER OF GRAVITY IN/MM
		LB.	IN.	X Y Z
A2400V090	208/230-1-60	368.75	41.118	22-13/16 578.4 18 457.2 17-1/8 435.8
A3000V090	208/230-1-60	378.75	41.118	22-13/16 578.4 18 457.2 17-1/8 435.8

UNIT	VOLTAGE	CORNER WEIGHT LB/IN			REQUIRED CLEARANCES TO COMBUSTIBLE MATL.		INCHES (MM)
		"A"	"B"	"C"	TOP OF UNIT	DUCT SIDE OF UNIT	
A2400V090	208/230	34.1	24.5	77.7	12.8	108.2	14 (355.8)
A3000V090	208/230	35.4	25.7	74.2	13.1	111.7	2 (50.8)

**REQUIRED CLEARANCES TO COMBUSTIBLE MATL.**

TOP OF UNIT: 14 (355.8)  
 DUCT SIDE OF UNIT: 2 (50.8)  
 SIDE OPPOSITE DUCTS: 14 (355.8)  
 BOTTOM OF UNIT: 12 (304.8)  
 FLUE PANEL: 16 (406.4)

**REC. REQUIRED CLEARANCES**

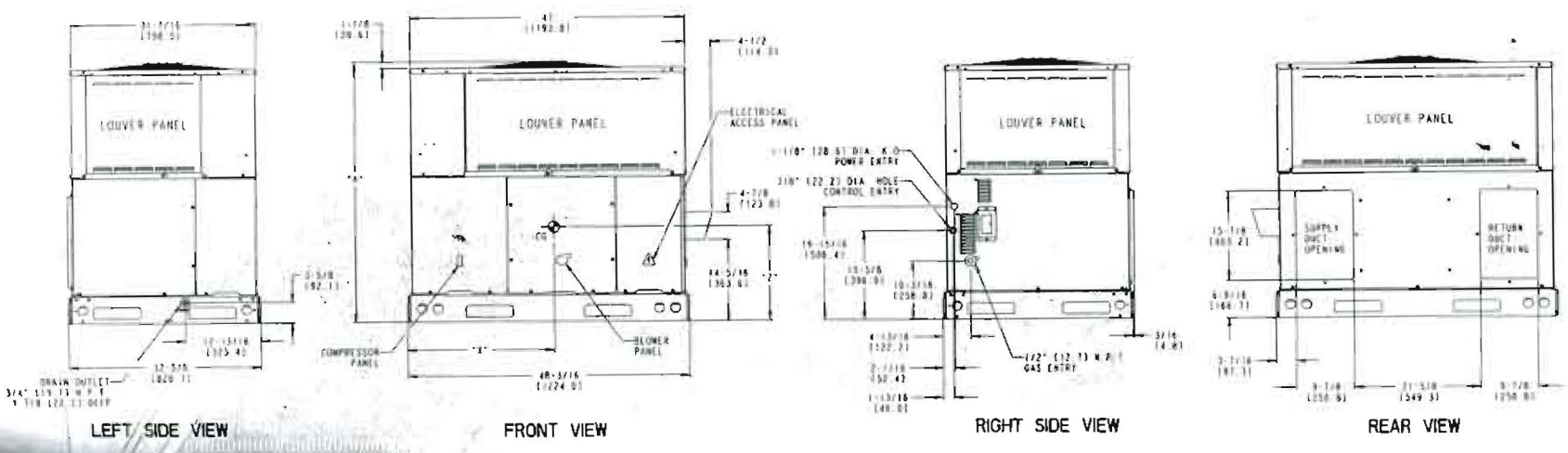
BETWEEN UNITS - POWER ENTRY SIDE: 42 (1066.8)  
 UNIT AND UNBOUND SURFACES, POWER ENTRY SIDE: 36 (914.4)  
 UNIT AND BLOCK OR CONCRETE WALLS AND OTHER BOUND SURFACES, POWER ENTRY SIDE: 42 (1066.8)

**REQUIRED CLEARANCE FOR OPERATION AND SERVICE**

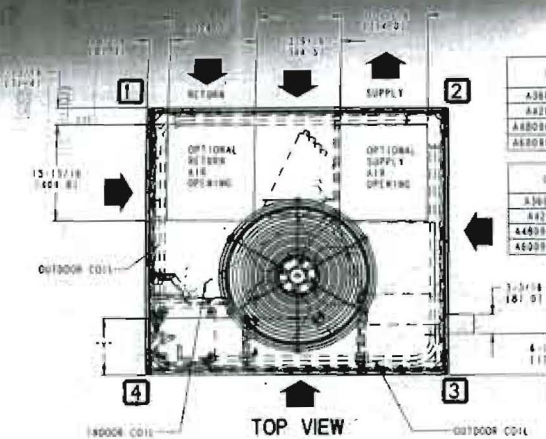
SWAP COIL ACCESS SIDE: 36 (914.4)  
 POWER ENTRY SIDE: 42 (1066.8)  
 (SEE ALSO REC. REQUIREMENTS)  
 UNIT TOP: 48 (1219.2)  
 SIDE OPPOSITE DUCTS: 36 (914.4)  
 DUCT PANEL: 12 (304.8)

\*MINIMUM DISTANCES IF UNIT IS PLACED LESS THAN 12 (304.8) FROM WALL SYSTEM, THEN SYSTEM PERFORMANCE MAY BE COMPROMISED.

DIMENSIONS IN IT ARE IN MM



48VT500026	REV	2.0
------------	-----	-----



UNIT	ELECTRICAL CHARACTERISTICS	UNIT WT. LB.	UNIT HEIGHT IN/MM	CENTER OF GRAVITY IN/MM
		LB.	IN.	X Y Z
A3600V090	208/230-1-60	441.25	50.1	22-13/16 578.4 18 457.2 17-1/8 435.8
A4200V090	208/230-1-60	487.75	50.1	22-13/16 578.4 18 457.2 17-1/8 435.8

UNIT	VOLTAGE	CORNER WEIGHT LB/IN			REQUIRED CLEARANCES TO COMBUSTIBLE MATL.		INCHES (MM)
		"A"	"B"	"C"	TOP OF UNIT	DUCT SIDE OF UNIT	
A3600V090	208/230	46.7	36.8	88.2	13.2	114.2	14 (355.8)
A4200V090	208/230	52.3	37.8	84.4	13.5	117.8	2 (50.8)

**REQUIRED CLEARANCES TO COMBUSTIBLE MATL.**

TOP OF UNIT: 14 (355.8)  
 DUCT SIDE OF UNIT: 2 (50.8)  
 SIDE OPPOSITE DUCTS: 14 (355.8)  
 BOTTOM OF UNIT: 12 (304.8)  
 FLUE PANEL: 16 (406.4)

**REC. REQUIRED CLEARANCES**

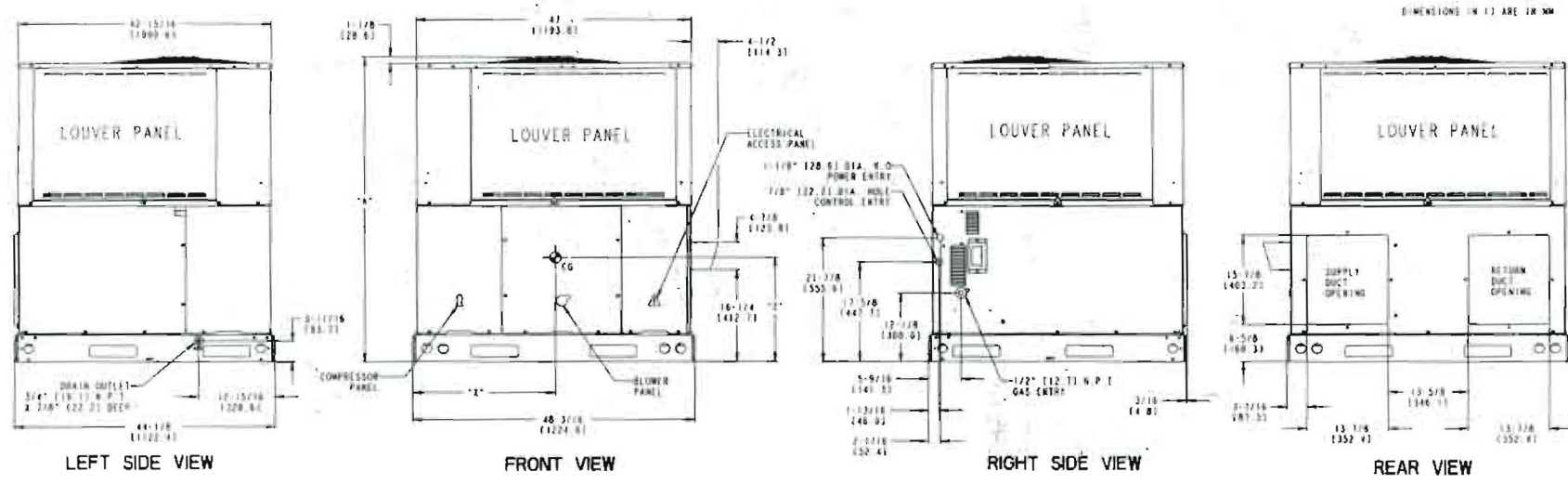
BETWEEN UNITS - POWER ENTRY SIDE: 42 (1066.8)  
 UNIT AND UNBOUND SURFACES, POWER ENTRY SIDE: 36 (914.4)  
 UNIT AND BLOCK OR CONCRETE WALLS AND OTHER BOUND SURFACES, POWER ENTRY SIDE: 42 (1066.8)

**REQUIRED CLEARANCE FOR OPERATION AND SERVICE**

SWAP COIL ACCESS SIDE: 36 (914.4)  
 POWER ENTRY SIDE: 42 (1066.8)  
 (SEE ALSO REC. REQUIREMENTS)  
 UNIT TOP: 48 (1219.2)  
 SIDE OPPOSITE DUCTS: 36 (914.4)  
 DUCT PANEL: 12 (304.8)

\*MINIMUM DISTANCES IF UNIT IS PLACED LESS THAN 12 (304.8) FROM WALL SYSTEM, THEN SYSTEM PERFORMANCE MAY BE COMPROMISED.

DIMENSIONS IN IT ARE IN MM



48VT500027	REV	2.0
------------	-----	-----

# PROPOSAL

781

**AVERY SERVICES, INC.**  
7 Thomas Drive  
WESTBROOK, MAINE 04092  
(207) 772-8687

FAX (207) 874-0933

to: Dick Reed  
30 Pleasant Street  
Portland ME 04101

PHONE 871-5678 and lower floors Cumberland Avenue, Portland	DATE 07/17/2010
JOB NUMBER MSD #003380	JOB PHONE

We hereby certify that the above information is true and correct.

Avery Services, Inc. is pleased to submit a quote to perform the following work:

Provide and install a Carrier 48VT (14 SEER) single packaged indoor heat dual fuel rooftop unit. **20 (2 1/2 ton unit) MSD RR**

Provide and install a Carrier economizer.

Provide and install a Carrier programmable thermostat.  
Provide and install gas piping from gas meter location to unit on roof, piping to gas run through duct chase. Leave **MSD**  
two (2) future taps (tap includes tee, nipple and cap). **Provide tap for gas line to base**  
Provide and install a gas vented ductwork system comprised of four (4) sidewall return gables. There will be a total **RR**  
of ten (10) supplies (type of diffusers: sidewall, ceiling, and floor gables).  
Rooftop unit will sit on a 4x4 PT sleeper. Duct insulated outside with 2" board insulation covered with "Fiberglas  
Seal".

Duct hangers and trunk will be wrapped with Reflectix. Chase duct will not be wrapped due to space constraints.  
Provide crane for unit lift.

NOTE: Due to constraints of duct layout and inability to install volume dampers, temperature variances from  
thermostat is unpredictable and we can not guarantee +/- 2 degree industry standard.

OPTION: Provide and install Rinnai Continuum "On-demand" water heater. ADD \$2,000.00. **RR** initials.

**EXCLUSIONS:** Power wiring, wrap for case, ductwork, and domestic plumbing.

We propose hereby to furnish material and labor - completed in accordance with the above specifications for the sum of

Sixteen Thousand Seven Hundred Ninety Three and 00/100 Dollars \$16,793.00.

Payment to be made as follows:

\$5,597.00 upon acceptance - Progress Billing not 10 days - All balances due upon substantial completion.  
if payment is not made as outlined above, a service charge of 2.5% per month on the overdue balance plus all reasonable costs of collection,  
including attorney's fees, will be paid.

All materials provided to be as specified. All units to be furnished in a complete  
factory warranty to the extent of the manufacturer's warranty. Any materials or units not  
furnished in accordance with the above specifications shall be replaced at the  
contractor's expense. All materials and units shall be furnished in  
accordance with the manufacturer's specifications. The contractor shall be  
responsible for obtaining all necessary permits and for the cost of the same.

Acceptance of Proposal - The above prices, specifications and  
conditions are satisfactory and no hereby accepted. This can be evidenced by the work  
on site. Payment will be made as outlined above.

Date of Acceptance: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_