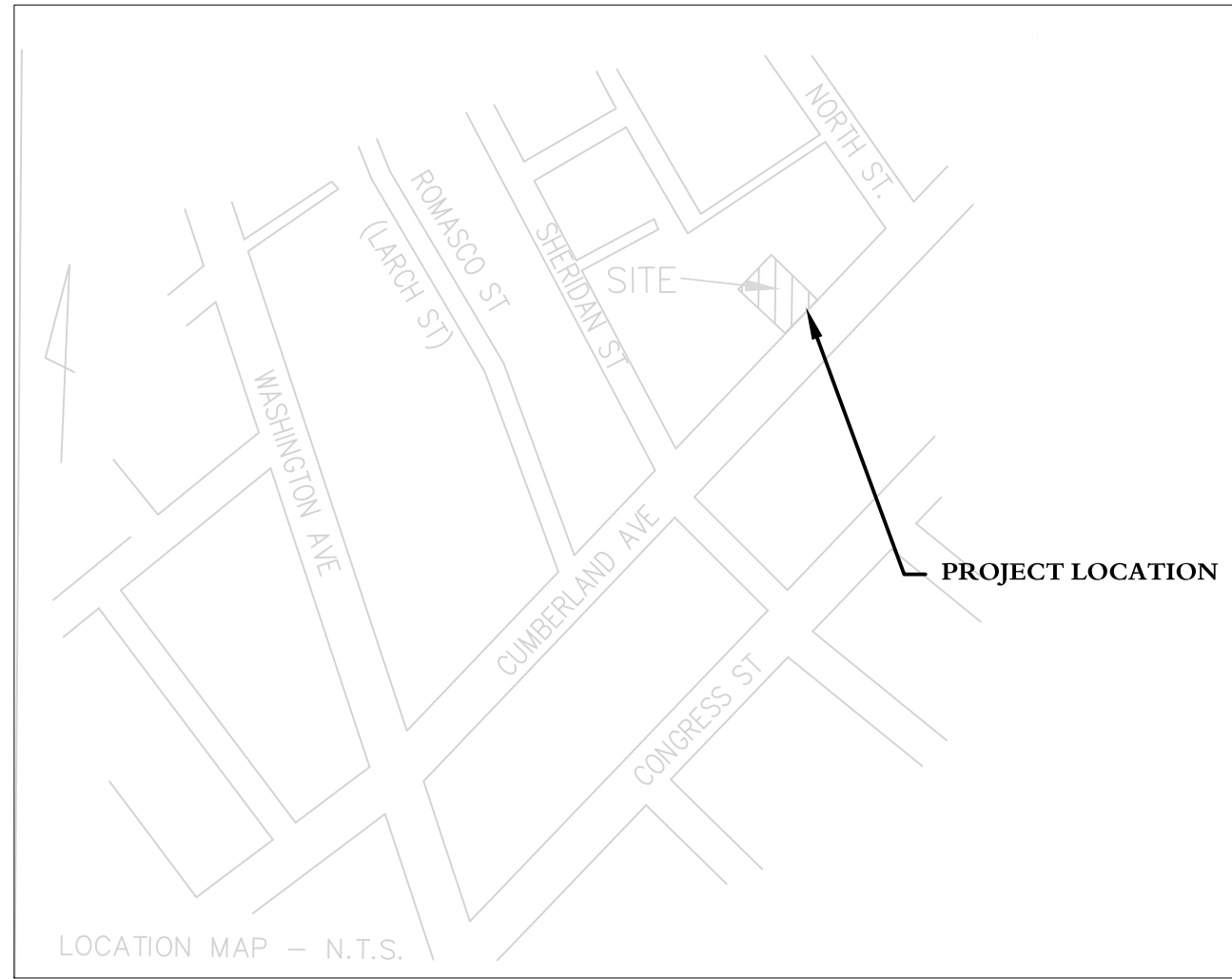


43 CUMBERLAND AVENUE APARTMENTS PROJECT

43 CUMBERLAND AVENUE, PORTLAND, MAINE 04104

APPLICANT:
MARK SMITH & STEPHANIE DUNN
 41 CUMBERLAND AVENUE
 PORTLAND, ME 04101



LOCATION MAP
NOT TO SCALE

PERMITS:

TYPE OF PERMIT	GOVERNING BODY	STATUS
LEVEL 1 SITE ALTERATION	CITY OF PORTLAND	ANTICIPATED APPROVAL: SEPTEMBER 2012
LEVEL 1 MINOR RESIDENTIAL	CITY OF PORTLAND	ANTICIPATED APPROVAL: SEPTEMBER 2012

INDEX :

- C0 COVER SHEET, GENERAL NOTES & LEGEND**
- BOUNDARY & TOPOGRAPHIC SURVEY***
- C1 SITE, UTILITY, GRADING, DRAINAGE PLAN**
- C2 DETAILS SHEET**

PROJECT TEAM:

ARCHITECT:

MARK MUELLER ARCHITECTS
 ATTN: MARK MUELLER, AIA
 100 COMMERCIAL ST.
 SUITE 205
 PORTLAND, ME 04101
 (207) 774-9057

CIVIL ENGINEER:

W. P. BROGAN & ASSOCIATES
 ATTN: WILLIAM BROGAN, P.E.
 367 US ROUTE 1
 FALMOUTH, ME 04105
 (207) 221-5441

SURVEYOR:

OWEN HASKELL, INC.
 390 U.S. ROUTE ONE
 FALMOUTH, ME 04105
 (207) 774-0424

UTILITIES:

SANITARY:

CITY OF PORTLAND
 DEPARTMENT OF PUBLIC SERVICES
 55 PORTLAND STREET
 PORTLAND, ME 04101
 (207) 874-8801

WATER:

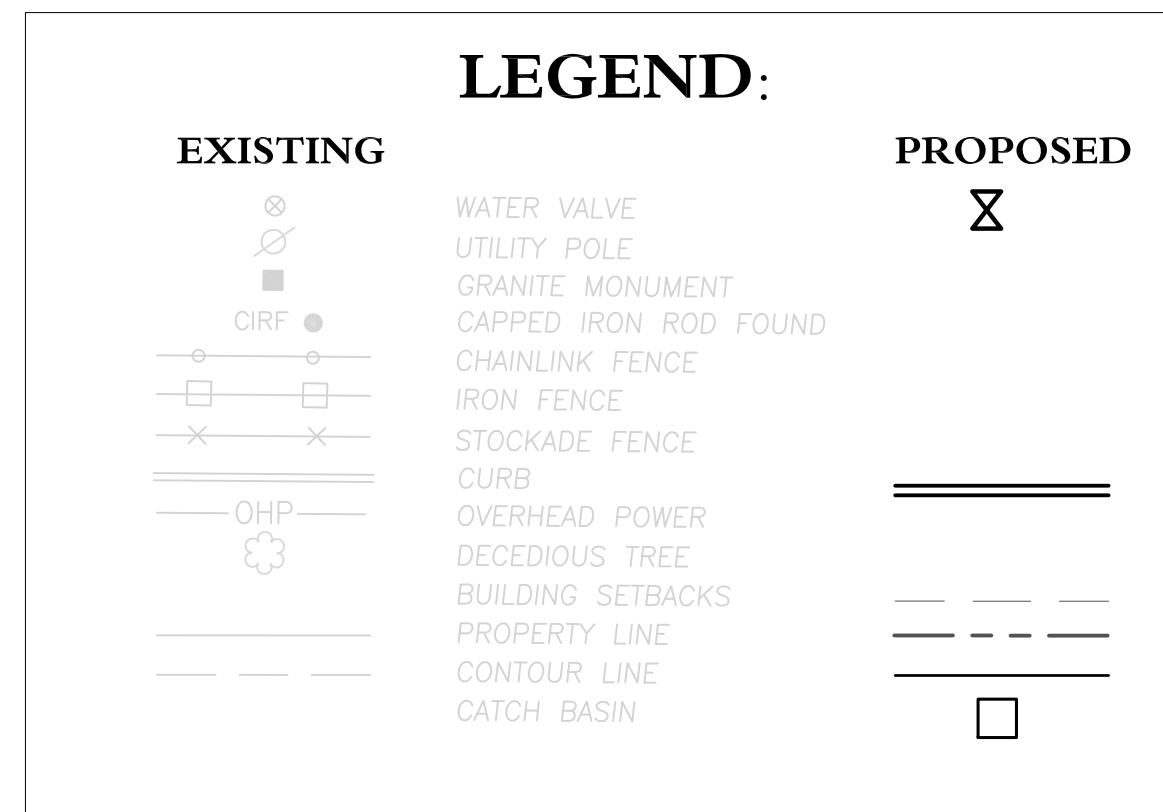
PORTLAND WATER DISTRICT
 225 DOUGLASS STREET
 P.O. BOX 3553
 PORTLAND, ME 04104-3553
 (207) 774-5961

ELECTRIC:

CENTRAL MAINE POWER
 83 EDISON DRIVE
 AUGUSTA, ME 04336
 1-800-750-4000

GAS:

NORTHERN UTILITIES
 1075 FOREST AVENUE
 PORTLAND, ME 04103-3321
 (207) 797-8002



GENERAL NOTES:

- BOUNDARY INFORMATION IS BASED ON A BOUNDARY SURVEY CONDUCTED BY OWEN HASKELL, INC., FALMOUTH, MAINE.
 - TOPOGRAPHIC DATA IS BASED ON THE BOUNDARY SURVEY CONDUCTED BY OWEN HASKELL, INC., FALMOUTH, MAINE.
 - THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS FOR THE VARIOUS UTILITY COMPANIES AND/OR WHERE POSSIBLE MEASUREMENTS WERE TAKEN IN THE FIELD. THE CONTRACTOR IS CAUTIONED THAT THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST FIELD LOCATION FOR UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN. IF DEEMED NECESSARY BY THE OWNER OR OWNER'S REPRESENTATIVE, ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULE BASED ON THE PLANS AND FIELD VERIFICATION BY THE CONTRACTOR. ALL MATERIAL SCHEDULES SHOWN WITHIN THE PLAN SET ARE FOR GENERAL INFORMATION ONLY.
 - ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATION AND NOTED SPECIFICATIONS WITHIN THE PLAN SET AND/OR IN ATTACHED DOCUMENTS
 - FOR THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TRAFFIC CONTROL DEVICES INCLUDING BUT NOT LIMITED TO ALL BARRICADES, LIGHTS, WARNING SIGNS, AND OTHER TRAFFIC RELATED DEVICES.
 - PROFESSIONAL ENGINEER'S STAMP DOES NOT APPLY TO LIGHTING, PLANTINGS, AND LANDSCAPING.
- LAYOUT NOTES:**
- ALL DIMENSIONING UNLESS OTHERWISE NOTED, IS TO THE FACE OF CURB OR BUILDING.
 - ALL SIGNS SHALL CONFORM TO THE REQUIREMENTS AND STANDARDS OF THE MAINE DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - OFFSETS TO MANHOLES, CATCH BASINS, AND OTHER SIMILAR STRUCTURES SHALL BE TO THE CENTER OF FRAME.
 - PIPE LENGTHS BETWEEN STRUCTURES ARE EQUAL TO THE CENTER TO CENTER LENGTH BETWEEN STRUCTURES MINUS HALF THE DIAMETER OF EACH STRUCTURE. IN THE CASE OF A SQUARE STRUCTURE, THE PIPE LENGTH SHALL EQUAL THE CENTER TO CENTER LENGTH BETWEEN STRUCTURES MINUS HALF THE WIDTH OF EACH STRUCTURE.
 - MONUMENTS DELINEATING PROPERTY LINES OR RIGHTS OF WAYS SHALL NOT BE DISTURBED DURING CONSTRUCTION OPERATIONS. IN THE CASE A MONUMENT IS DISTURBED, AT THE CONTRACTOR'S EXPENSE, THE MONUMENT SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A REGISTERED LAND SURVEYOR.
 - ALL MONUMENTS FOR PROPERTY LINE OR RIGHT OF WAY DELINEATION SHALL BE INSTALLED UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR.
 - THE MINIMUM CURB RADIUS SHALL BE 3 FEET UNLESS OTHERWISE NOTED ON THE PLAN.

UTILITY NOTES:

- TEST PITS SHALL BE COMPLETED AT ALL UTILITY CROSSINGS TWO WEEKS PRIOR TO CONSTRUCTION OR ORDERING OF MATERIALS. TEST PIT INFORMATION SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW UPON COMPLETION OF TEST PIT.
- THE LOCATION OF OVERHEAD AND UNDERGROUND ELECTRICAL SERVICES ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH CENTRAL MAINE POWER FOR THE EXACT UTILITY LOCATION
- THE LOCATION OF UNDERGROUND SANITARY SERVICES IS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTLAND FOR THE EXACT UTILITY LOCATION
- THE LOCATION OF UNDERGROUND DOMESTIC WATER SERVICE IS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE PORTLAND WATER DISTRICT FOR THE EXACT UTILITY LOCATION
- THE LOCATION OF OVERHEAD AND UNDERGROUND TELEPHONE, AND CABLE SERVICES ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH APPROPRIATE SERVICE COMPANIES FOR THE EXACT LOCATION OF UTILITIES.

PERMITTING NOTES:

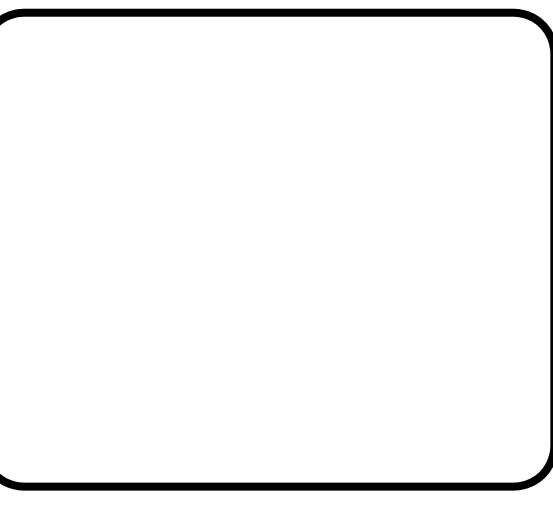
- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A MINOR SITE PLAN APPROVAL PERMIT FROM THE CITY OF PORTLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE PERMIT AND APPLICATION PRIOR TO THE START OF CONSTRUCTION.
 - CONSTRUCTION SHALL CONFORM TO THE APPLICABLE ORDINANCES GOVERNED BY THE CITY OF PORTLAND.
 - CONSTRUCTION SHALL CONFORM TO THE APPLICABLE STANDARDS IN THE CITY OF PORTLAND TECHNICAL DESIGN MANUAL.
 - THE CONTRACTOR SHALL REVIEW THE ABOVE STATED PERMITS AND ORDINANCES PRIOR TO SUBMISSION OF BID. THE BID SHALL INCLUDE ALL NECESSARY COSTS TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.
- GRADING AND DRAINAGE NOTES:**
- UNLESS OTHERWISE NOTED, ALL STORMDRAIN PIPE SHALL BE IN ACCORDANCE WITH THE MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS SECTION 603 - PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
 REINFORCED CONCRETE PIPE
 POLYVINYLCHLORIDE (PVC) PIPE
 SMOOTH BORE POLYETHYLENE PIPE
 - TOPSOIL STRIPPED FROM THE SITE THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
- EROSION CONTROL NOTES:**
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN SUCH A WAY TO LIMIT THE AMOUNT OF DISTURBED AREA AT ONE TIME TO THE EXTENT PRACTICABLE.
 - PRIOR TO THE START OF ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL APPLICABLE EROSION CONTROL DEVICES SUCH AS PERIMETER SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, AND OTHER APPLICABLE MEASURES. IN THE EVENT THE CONTRACTOR IS NOT SURE AN EROSION CONTROL MEASURE SHOULD BE IMPLEMENTED, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD TO CONFIRM IMPLEMENTATION OF ANY EROSION CONTROL DEVICES.
 - ALL GROUND AREAS GRADED FOR CONSTRUCTION SHALL BE GRADED, LOAMED AND SEEDED AS SOON AS POSSIBLE.
 - ALL STORMDRAIN INLETS AND OUTLETS SHALL RECEIVE RIPRAP APRONS DURING CONSTRUCTION.
 - ALL CATCH BASINS WITH OUTLETS LESS THAN 18" DIAMETER SHALL BE PROVIDED WITH THE "SNOUT" SEDIMENTATION HOOD PER DETAIL.
 - MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL BE PERFORMED AS NOTED IN THE EROSION AND SEDIMENTATION CONTROL REPORT.
 - ANY COLLECTED SILT FROM CONSTRUCTION ACTIVITIES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING ACTIVITIES.
 - THE CONTRACTOR SHALL BE CAUTIONED THAT THE FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS, MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OF PERMIT.
 - ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEEDED, UNLESS OTHERWISE DIRECTED BY THE OWNER.

General Notes		
No.	Revision/Issue	Date
1	LEVEL 1 SITE ALT. APP.	8/14/12

**SHEET NAME:
COVER SHEET, NOTES & LEDGEND**

W. P. BROGAN & ASSOCIATES
 ENGINEERING AND DESIGN CONSULTANTS
 PHONE: (207) 221-5441 | 367 US ROUTE 1, FALMOUTH, MAINE 04105 | wpbrogan.com

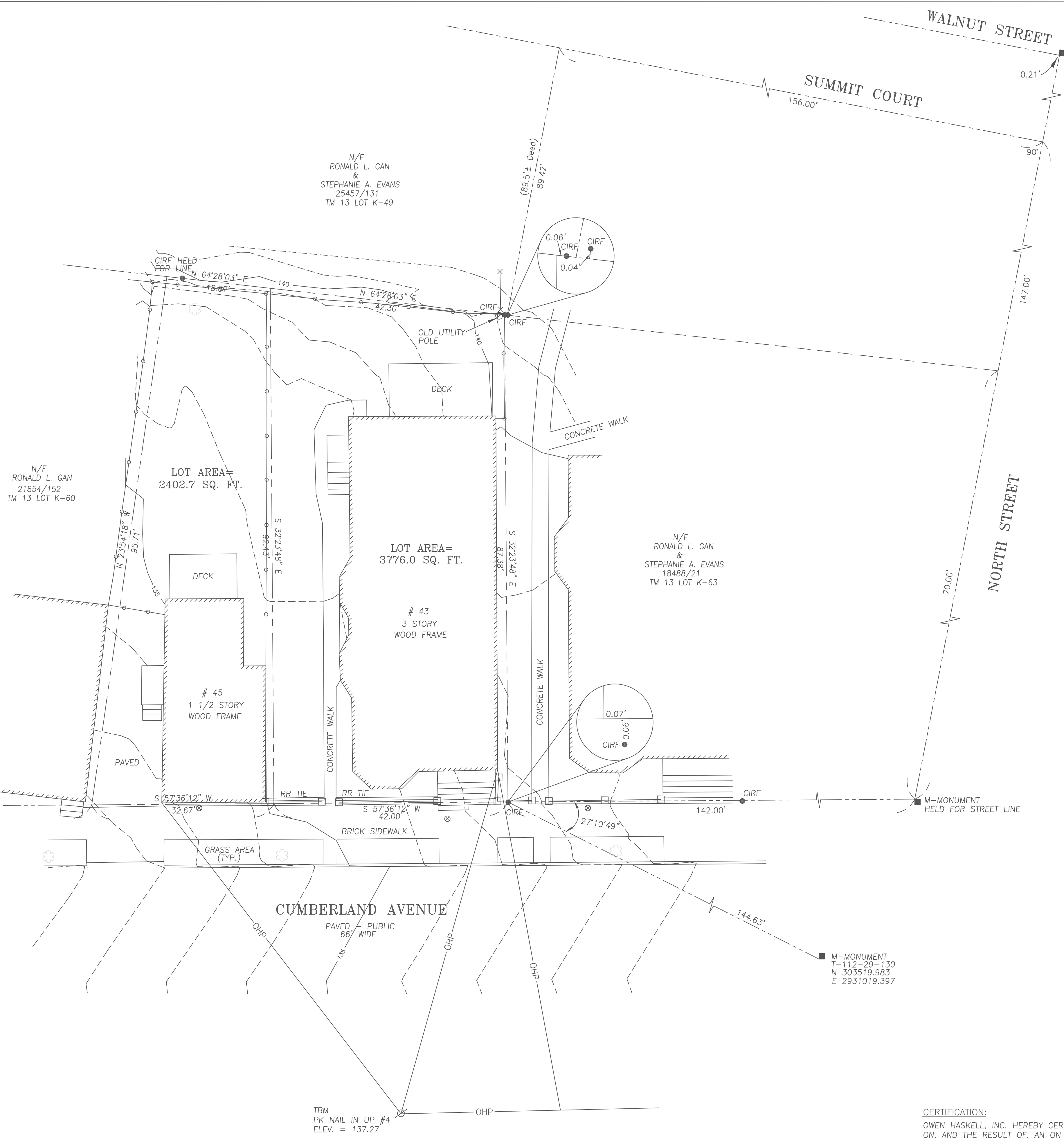
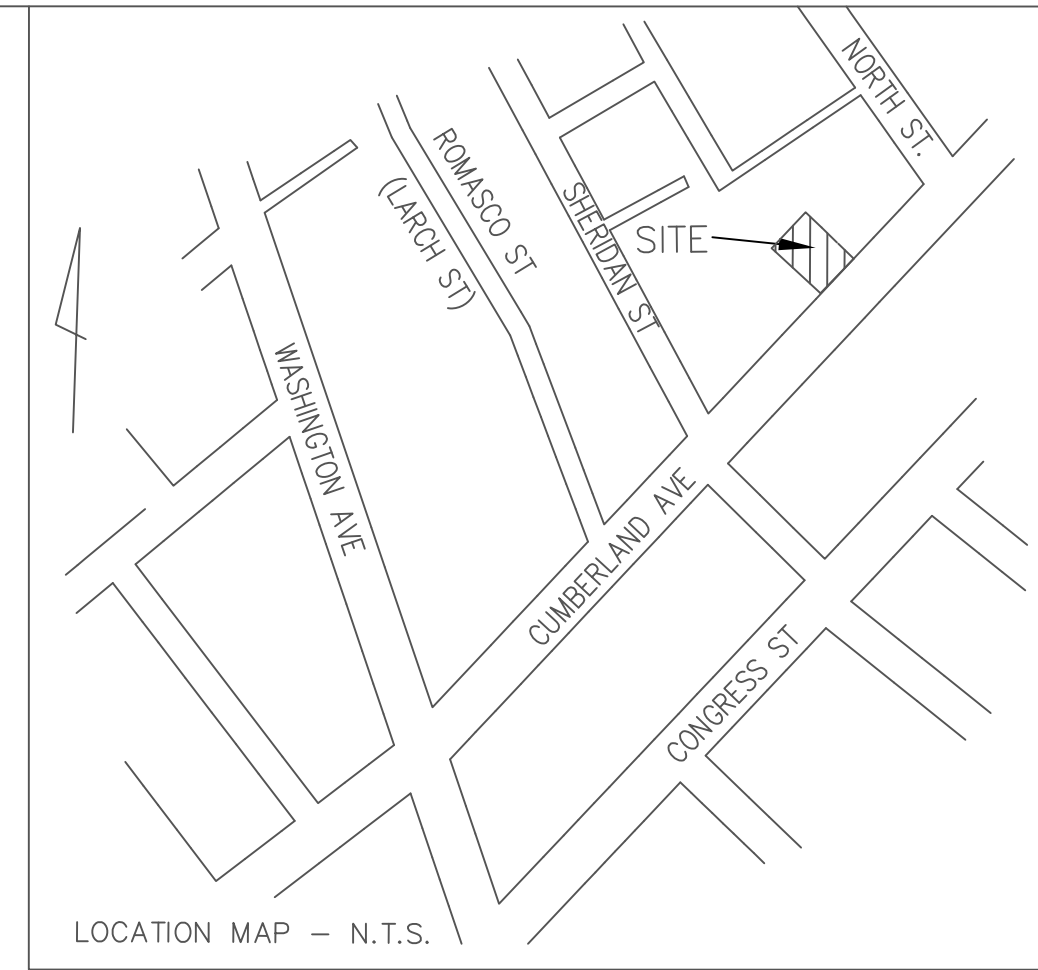
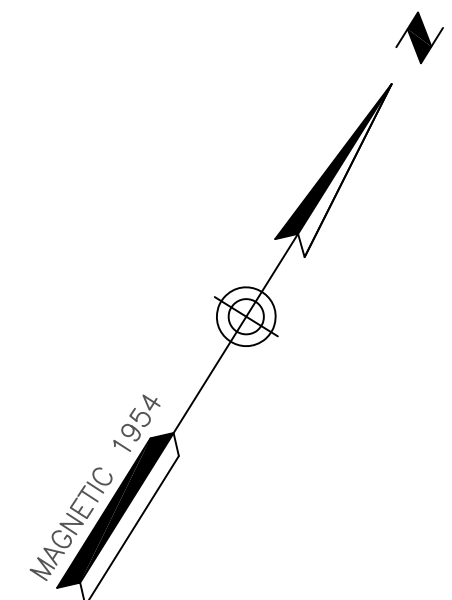
Project Name and Address
43 CUMBERLAND AVE APARTMENTS
 MARK SMITH & STEPHANIE DUNN
 41 CUMBERLAND AVENUE
 PORTLAND, ME 04104



THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION

CALL 1-800-DIG-SAFE PRIOR TO ANY CONSTRUCTION ACTIVITY

Project	JN 1003	Sheet	C0
Date	3/28/2011		
Scale	As Noted		



- NOTES:
- OWNER OF RECORD: TAX MAP 13 BLOCK K LOT 61
MARK L. SMITH, P.O. BOX 608, NEW PORTLAND, ME 04954
TAX MAP 13 BLOCK K LOT 62
MARK L. SMITH AND STEPHANIE L. DUNN, P.O. BOX 608, NEW PORTLAND, ME 04954
 - BEARINGS ARE MAGNETIC 1954 AS BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE ONE.
 - THE OPINION OF A REAL ESTATE ATTORNEY MAY BE SOUGHT AS TO POSSIBLE RIGHTS OF THE SUBJECT PARCELS OWNERS AND OF ABUTTING OWNERS UP TO THE FENCES WHICH ARE NOT ON THE DEED LINES.
 - ELEVATIONS ARE BASED ON CITY DATUM AND BENCH MARK ON SOUTH SIDE OF CUMBERLAND AVENUE AS SHOWN ON PLAN REFERENCE 2.
 - TIE TO CITY HORIZONTAL GRID SYSTEM IS SHOWN.
 - THE REAR LINE OF THESE LOTS IS BASED ON THE DISTANCE OF 70 FEET FROM CUMBERLAND AVENUE ALONG NORTH STREET (SEE PLAN REFERENCE 3) AND THE BACK BAY BOUNDARY IRON RODS FOUND. THIS LINE MATCHES WELL WITH THE DIMENSIONS ON THE LOT OF GAN. THE DIMENSIONS ON PLAN REFERENCES 3 & 5 DO NOT MATCH, NEITHER ARE PRECISE AND NEITHER HAVE VERIFYING ANGLES. ANOTHER SURVEYOR MAY CREATE A SLIGHTLY DIFFERENT REAR LINE. A BOUNDARY AGREEMENT WOULD ELIMINATE ANY CONFUSION.

- PLAN REFERENCES:
- "PLAN OF LAND ON NORTH STREET PORTLAND, MAINE FOR ANTHONY MANCINI APRIL 5, 1988 OWEN HASKELL, INC. JOB NO. 8822P" REVISED 10-17-88
 - "BOUNDARY AND TOPOGRAPHIC SURVEY ON CUMBERLAND AVE., PORTLAND, MAINE MADE FOR CHRIS ROBERTS & RICHARD REED NOV. 13, 2008 OWEN HASKELL, INC. JOB NO. 2008-113P" REVISED 03-03-09
 - "PLAN AND DIVISION OF PROPERTY BELONGING TO THE ESTATE OF THE LATE LEMUEL DYER" RECORDED IN PLAN BOOK 4 PAGE 9 1/2
 - "PLAN SHOWING DIVISION BETWEEN THE FORT SUMNER LOT AND LOT OWNED BY MESSRS. JOSE, GOULD & CLARK AS ESTABLISHED BY C.R. GOODELL - JAN'Y 1865" RECORDED IN PLAN BOOK 2 PAGE 45
 - "PLAN OF FORT SUMNER TERRACE PORTLAND ME. PLOTTED BY DALTON CO, SEPT. 1907" RECORDED IN PLAN BOOK 11 PAGE 63
 - "DIVISION OF PROPERTY SUMNER COURT PORTLAND, ME. MADE FOR DENNIS BISSON 2/26/85 ROBERT P. TITCOMB INC." RECORDED IN PLAN BOOK 146 PAGE 45

CERTIFICATION:
OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

BOUNDARY & TOPOGRAPHIC SURVEY
ON
43 & 45 CUMBERLAND AVENUE, PORTLAND, MAINE
MADE FOR RECORD OWNER
STEPHANIE DUNN
P.O. BOX 608 NEW PORTLAND, MAINE 04954

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drwn By	ECB	Date	Job No.
Trace By	ECB	JULY 7, 2009	2009-083 P
Check By	JWS	Scale	Drwg. No.
Book No.	1075	1" = 10'	1

DATE _____ JOHN C. SCHWANDA, PLS #1252

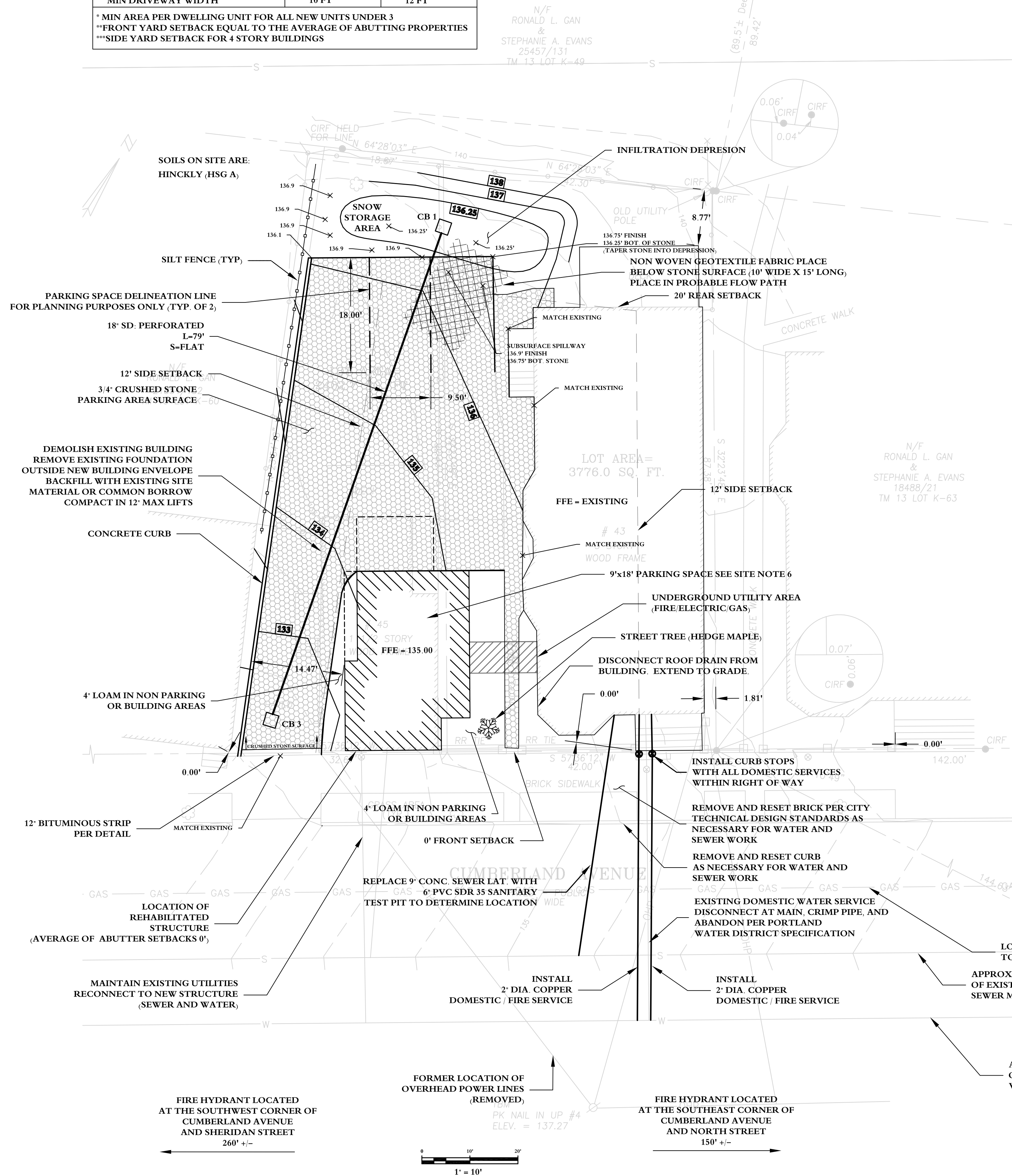
BULK AND SPACE STANDARDS

	REQUIRED	PROVIDED
PARCEL ACREAGE: 0.14 AC (6,179 SF)		
ZONE: R6		
MIN LOT SIZE	4,500 SF	6,179 SF
MIN AREA PER DWELLING UNIT	1,000 SF	>1,000 SF
	1,000 SF*	>1,000 SF
MIN STREET FRONTAGE	40 FT	75 FT +/-
SET BACKS		
FRONT YARD	10 FT OR AVE**	0.00 FT
SIDE YARD	12 FT***	8.77 FT
REAR YARD	20 FT	1.81 FT
MAX LOT COVERAGE	50%	40%
MIN LOT WIDTH	40 FT	61 FT +/-
MAX HEIGHT	45 FT	44.5 FT
PARKING		
MIN SPACE	1 / NEW UNIT	4
MIN DRIVEWAY WIDTH	10 FT	12 FT

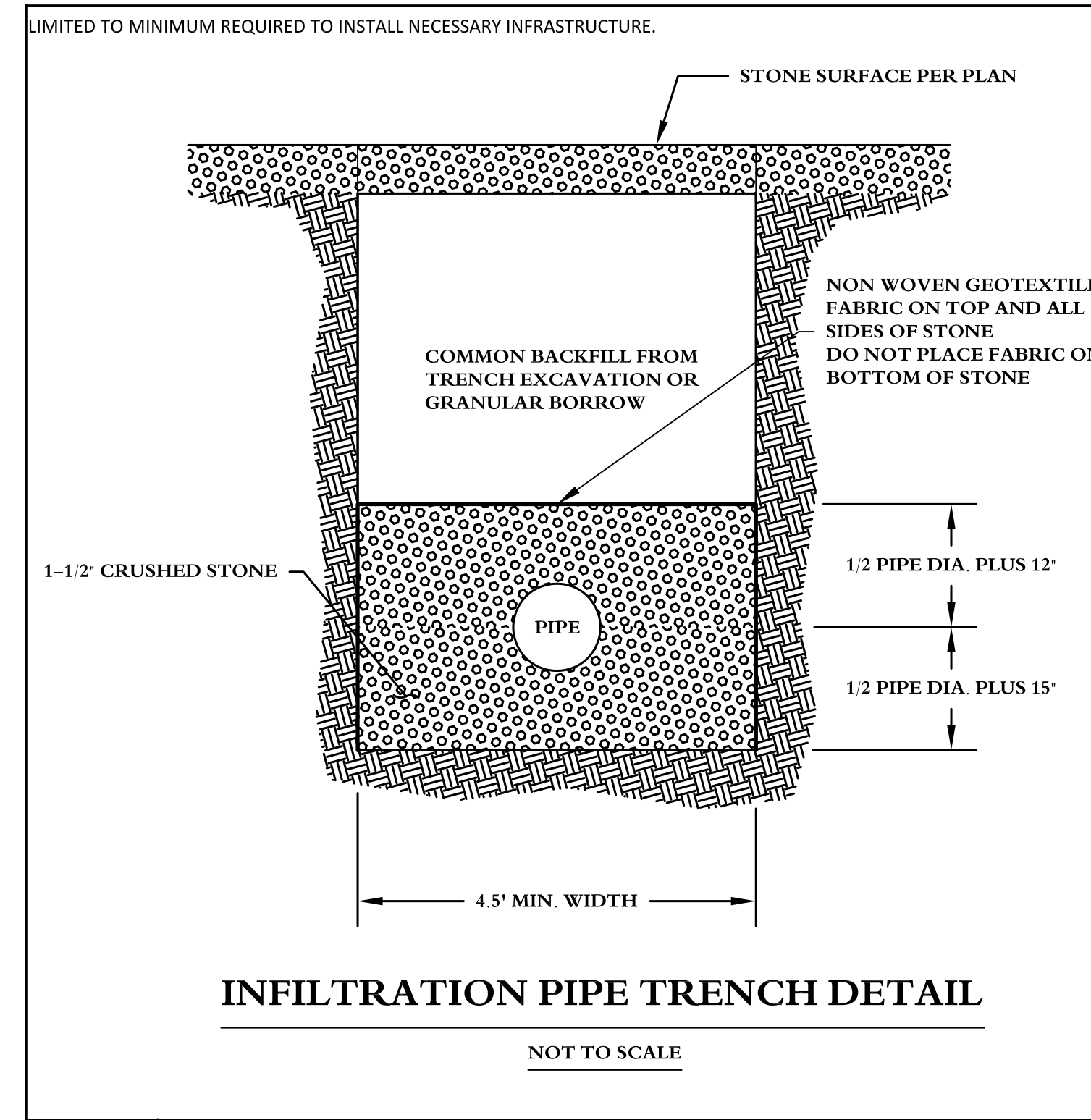
*MIN AREA PER DWELLING UNIT FOR ALL NEW UNITS UNDER 3
 **FRONT YARD SETBACK EQUAL TO THE AVERAGE OF ABUTTING PROPERTIES
 ***SIDE YARD SETBACK FOR 4 STORY BUILDINGS

STRUCTURE AND PIPE SCHEDULE

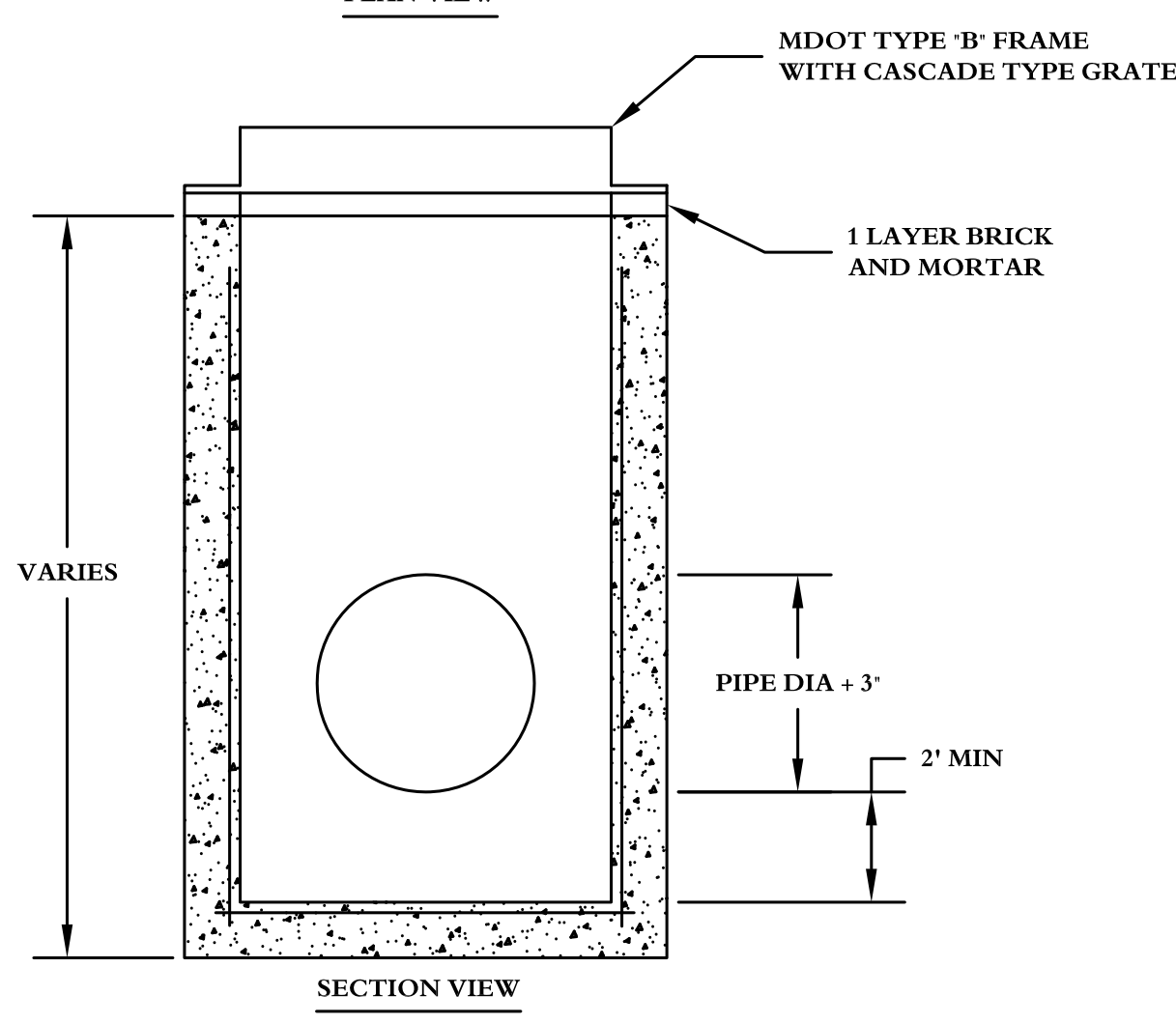
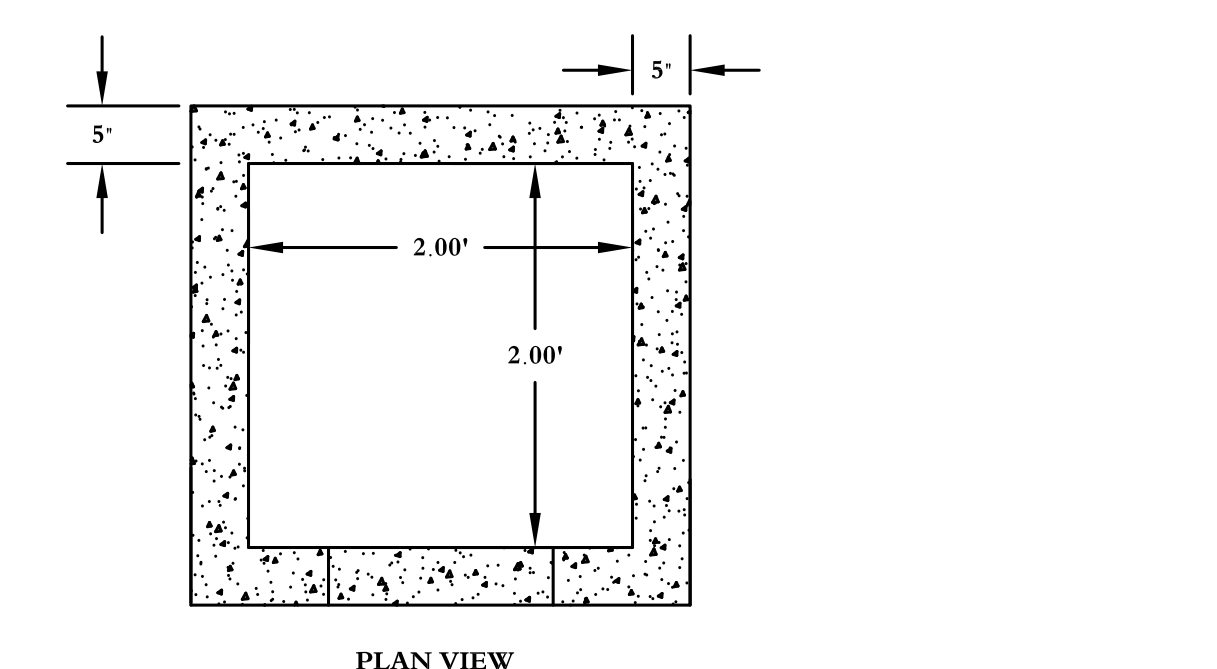
STRUCTURE	SIZE	RIM ELEV.	INVERT IN	INVERT OUT
CB 1	2'x2'	136.86	-	127.00'15"SD
CB 2	2'x2'	132.50	127.00'15"SD	-



- GENERAL:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTIVITIES WITHIN THE WORK AREA.
 - WORK SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS WHEN APPLICABLE.
 - SITE WORK MAYBE SUBJECT TO THE INSPECTION OF THE CITY OF PORTLAND.
 - WORK SHALL CONFORM TO THE CITY OF PORTLAND ORDINANCES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE WORK AREA.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SAFE PUBLIC VEHICULAR AND PEDESTRIAN TRAVEL WAYS DURING CONSTRUCTION.
 - PARKING SPACE LOCATED INSIDE STRUCTURE, REFERENCE ARCHITECTURAL DRAWINGS FOR MORE DETAIL.
 - CURBING SHALL BE REINFORCED PRECAST CONCRETE (6' LENGTH, 18" HEIGHT, AND 7" WIDTH). ANY CUT SURFACES SHALL RECEIVE CONCRETE SEALANT. PRECAST CONCRETE SHALL MEET 6,000 PSI AT 28 DAYS.
 - SNOW SHALL NOT BE STORED ON ANY CATCH BASIN. SNOW STORAGE SHALL BE TO THE EASTERLY SIDE OF THE PROPOSED CATCH BASIN TO THE EXTENT PRACTICABLE.
- SITE NOTES:
- CONTRACTOR SHALL REVIEW THE PROJECT APPLICATION PRIOR TO COMPLETING ANY DEMOLITION WORK.
 - THE CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO DEMOLITION WORK, PER LAW
 - ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ANY DEBRIS AT THE CONCLUSION OF ANY DEMOLITION WORK.
 - THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT BLOWN DEBRIS DURING DEMOLITION WORK.
- DEMOLITION NOTES:
- CONTRACTOR SHALL REVIEW THE PROJECT APPLICATION PRIOR TO COMPLETING ANY DEMOLITION WORK.
 - THE CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO DEMOLITION WORK, PER LAW
 - ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP ANY DEBRIS AT THE CONCLUSION OF ANY DEMOLITION WORK.
 - THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT BLOWN DEBRIS DURING DEMOLITION WORK.
- STORM DRAIN NOTES:
- ALL STORMWATER PIPE SHALL BE CORRUGATED HDPE PIPE.
 - ALL STORMDRAIN SHALL BE PERFORATED WITH PERFORATIONS FACING DOWN.
 - CB 1 RIM ELEVATION CRITICAL TO THE DESIGN OF THE STORMWATER SYSTEM. THE CONTRACTOR SHALL EXERCISE PRECISION WHEN SETTING THE FRAME AND GRATE.
 - 15" STORM DRAIN PIPE SHALL BE INSTALLED PER INFILTRATION PIPE TRENCH DETAIL.
 - CATCH BASINS SHALL BE MDOT TYPE "F"
- WATER UTILITY NOTES:
- ALL MATERIAL SHALL CONFORM TO THE PORTLAND WATER DISTRICT SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REBUILDING ANY DISTURBED SIDEWALK, STREET, OR OTHER OBJECT AS A RESULT OF WATER UTILITY WORK IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS AS WELL AS THE PORTLAND WATER DISTRICT STANDARDS.
- SANITARY UTILITY WORK:
- THE CONTRACTOR SHALL CONFIRM INVERT ELEVATIONS PRIOR TO ANY INSTALLATION. ANY DEVIATION SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
 - THE EXACT LOCATION OF THE EXISTING SEWER LATERAL TO #43 CUMBERLAND AVENUE IS UNKNOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROVIDING ALL NECESSARY MATERIAL AND LABOR TO REMOVE THE EXISTING LATERAL AND INSTALL THE NEW LATERAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR REBUILDING ANY DISTURBED SIDEWALK, STREET, OR OTHER OBJECT AS A RESULT OF SANITARY UTILITY WORK IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS.
- ELECTRICAL UTILITY WORK:
- ANY ELECTRICAL WORK SHALL CONFORM TO CENTRAL MAIN POWER SPECIFICATION AND BE PERFORMED UNDER THEIR SUPERVISION.
- GAS UTILITY WORK:
- COORDINATE NEW SERVICE TO STUDIO WITH UNITEL.
- EROSION CONTROL:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL DEVICES DURING CONSTRUCTION AND UP TO PERMANENT STABILIZATION.
 - THE CONTRACTOR SHALL REVIEW THE PROJECT'S LEVEL 1 SITE ALTERATION APPLICATION AND LEVEL 1 MINOR RESIDENTIAL APPLICATION PRIOR TO CONSTRUCTION ACTIVITY.
 - THE CONTRACTOR SHALL SWEEP THE STREET OF ANY CONSTRUCTION DEBRIS ON A WEEKLY BASIS OR PRIOR TO ANY RAIN EVENT.
- LIMITS OF CONSTRUCTION:
- SITE DISTURBANCE SHALL BE LIMITED TO THE PROPERTY LINE WITH ONE EXCEPTION:
 - DISTURBANCE FOR THE INSTALLATION OF CURB ALONG THE WESTERLY PROPERTY LINE. THIS DISTURBANCE SHALL BE LIMITED TO THE MINIMUM REQUIRED TO INSTALL THE CURB AND NOT TO EXCEED 5 FEET FROM THE PROPERTY LINE.
 - R.O.W. DISTURBANCE SHALL BE LIMITED TO THE STREET FRONTAGE AND



INFILTRATION PIPE TRENCH DETAIL
NOT TO SCALE



CATCH BASIN TYPE "F"
NOT TO SCALE

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General Notes		
1	LEVEL 1 SITE PLAN APP.	8/14/12
No.	Revision/Issue	Date

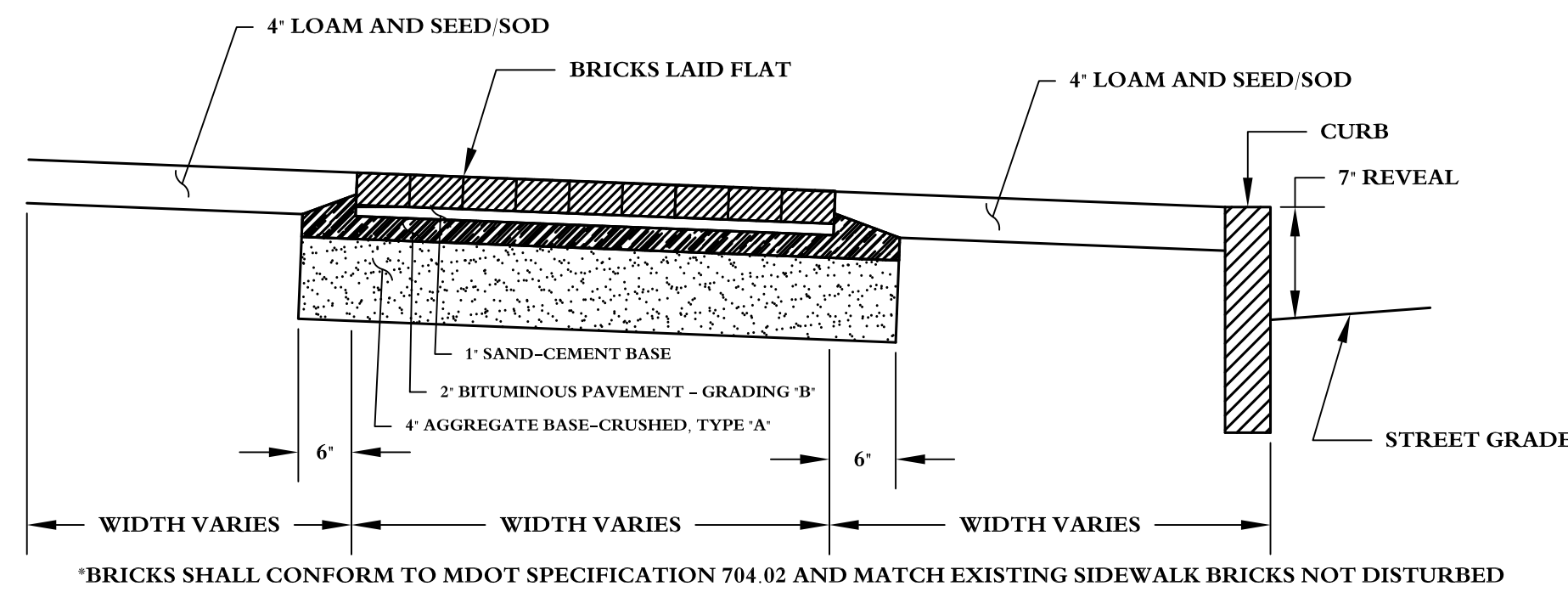
SHEET NAME:
SITE, GRADING & UTILITY PLAN

W. P. BROGAN & ASSOCIATES
 ENGINEERING AND DESIGN CONSULTANTS

PHONE: (207) 221-5441 | 367 US ROUTE 1, FALMOUTH, MAINE 04105 | wpbrogan.com

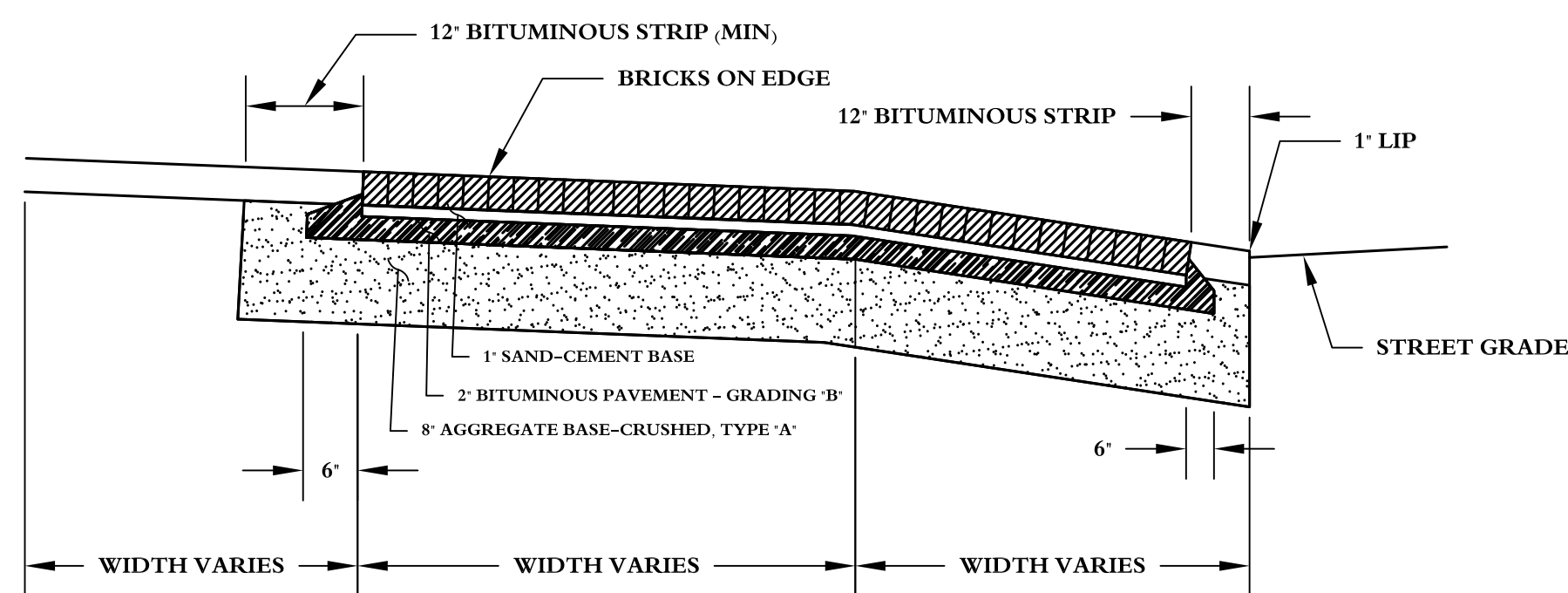
Project Name and Address
 43 CUMBERLAND AVE APARTMENTS
 MARK SMITH & STEPHANIE DUNN
 41 CUMBERLAND AVENUE
 PORTLAND, ME 04104

Project	JN 1003	Sheet	C1
Date	6/1/2012		
Scale	As Noted		



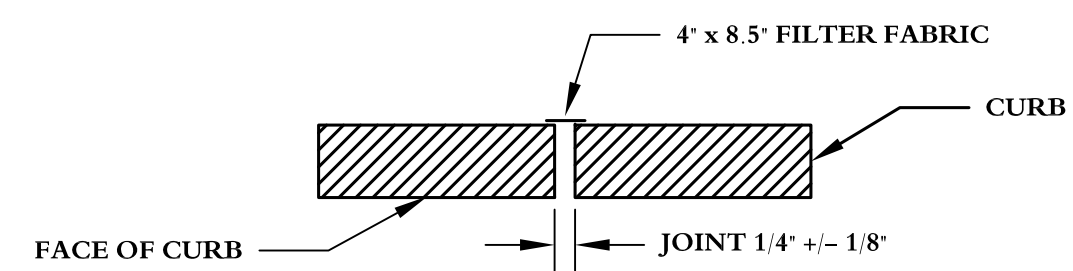
TYPICAL SIDEWALK CROSS SECTION DETAIL

NOT TO SCALE



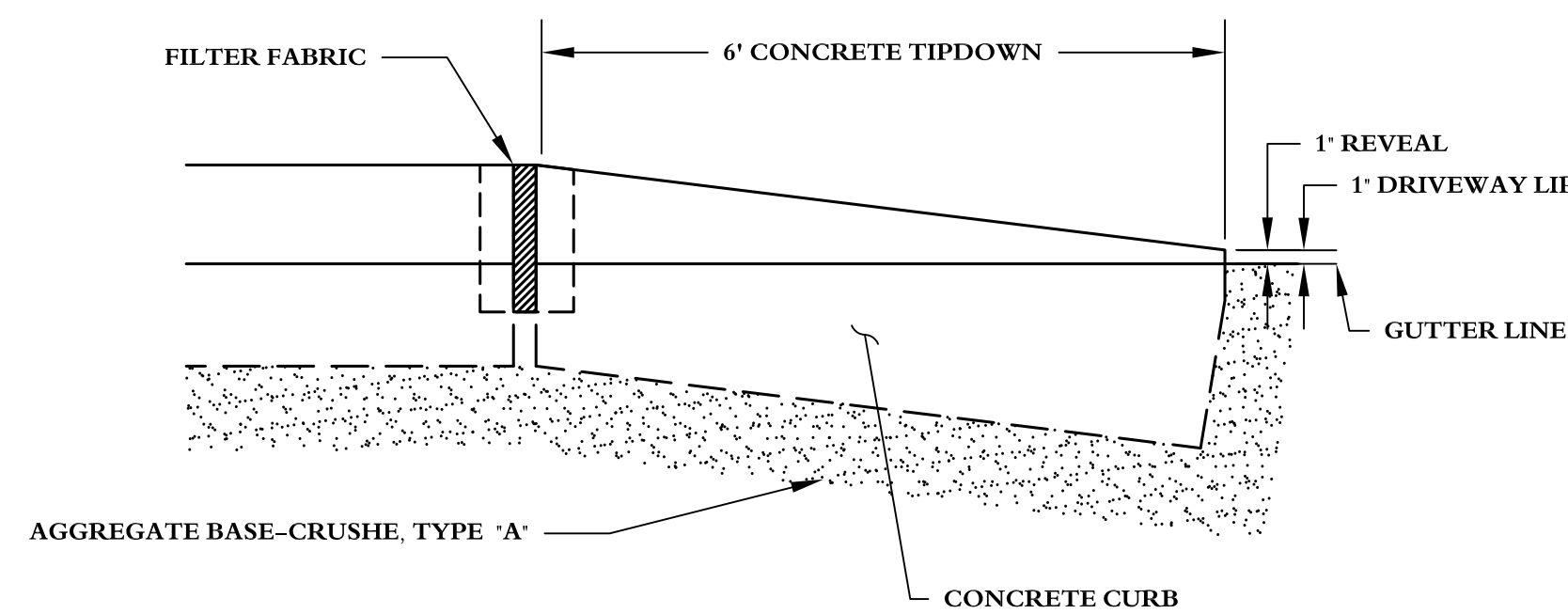
TYPICAL BRICK DRIVEWAY CROSS SECTION DETAIL

NOT TO SCALE



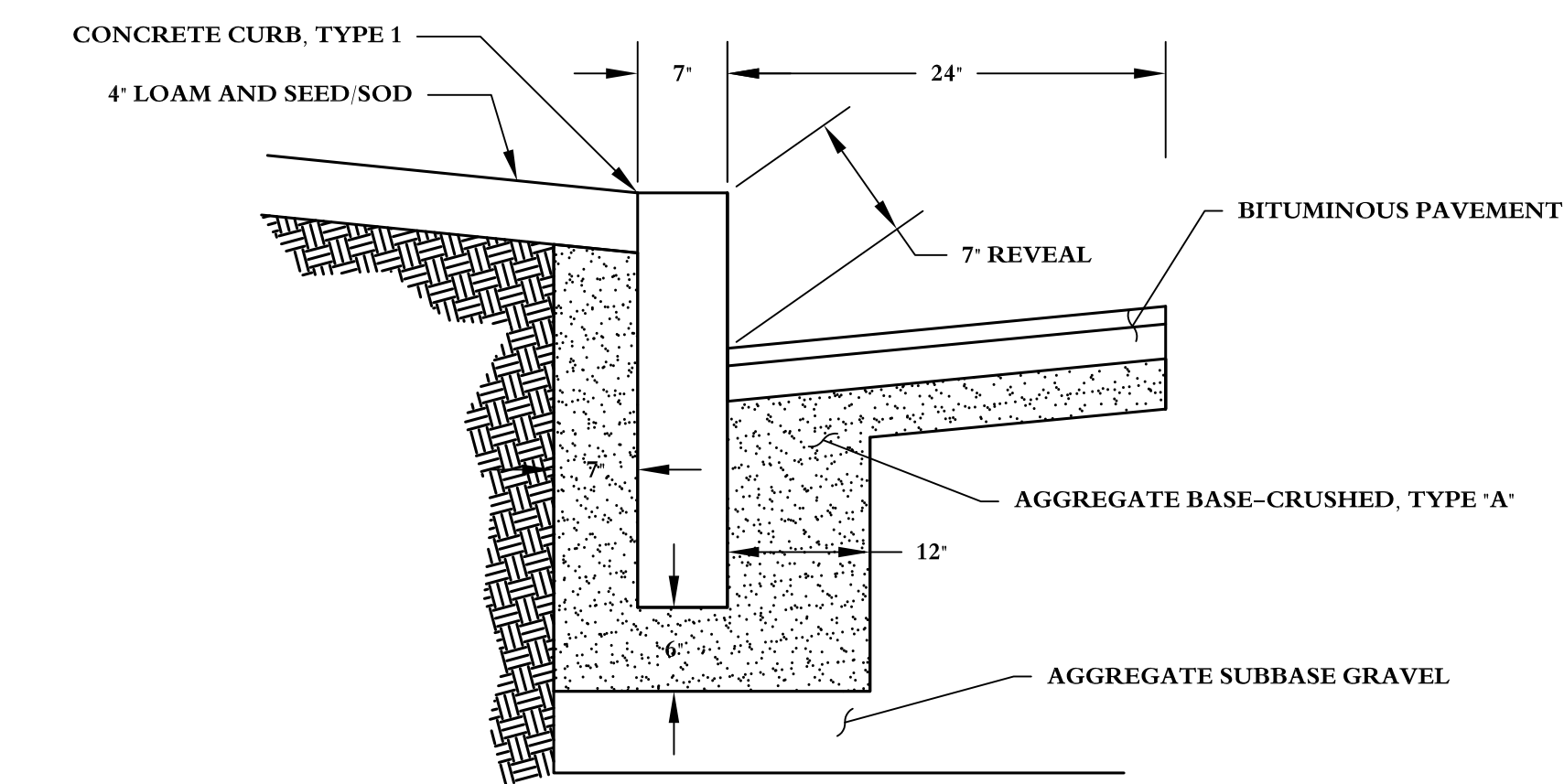
TYPICAL CURB PLAN VIEW DETAIL

NOT TO SCALE



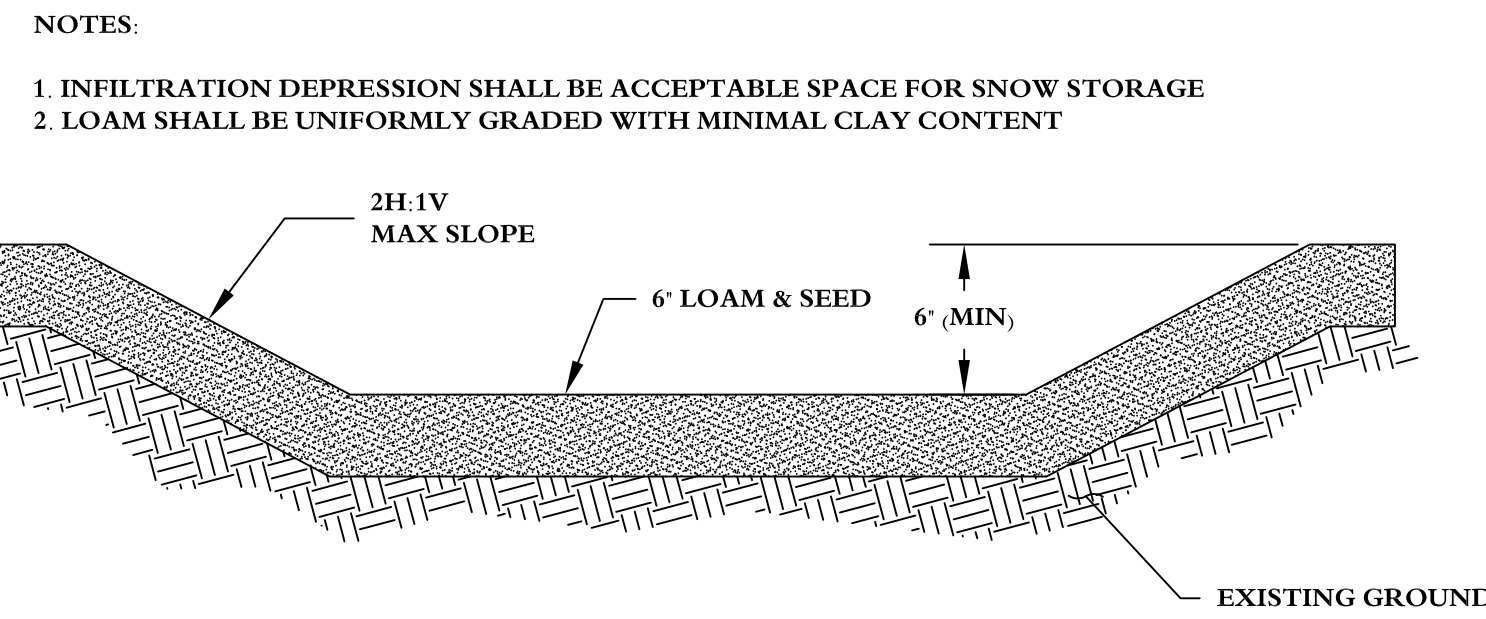
TYPICAL TIPDOWN CURB INSTALLATION DETAIL

NOT TO SCALE



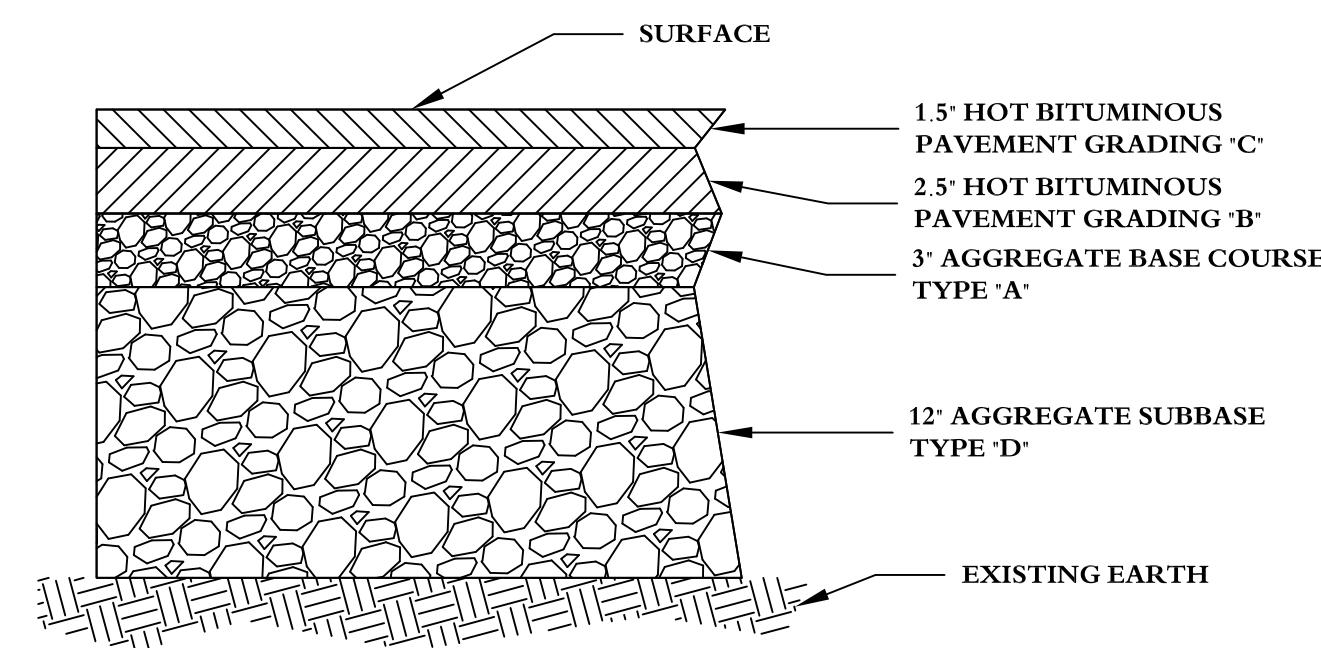
TYPICAL CURB CROSS SECTION NEXT TO PAVEMENT DETAIL

NOT TO SCALE



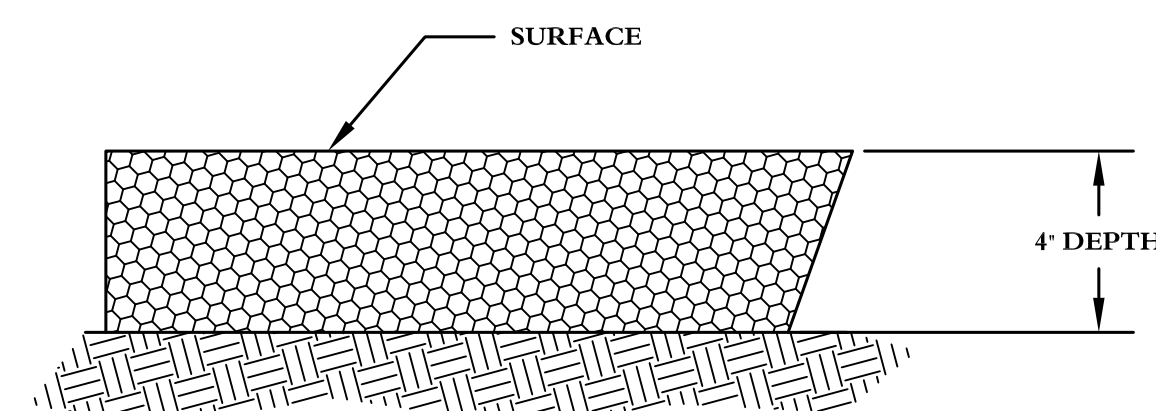
INFILTRATION DEPRESSION TYPICAL CROSS SECTION DETAIL

NOT TO SCALE



TYPICAL PAVEMENT CROSS SECTION

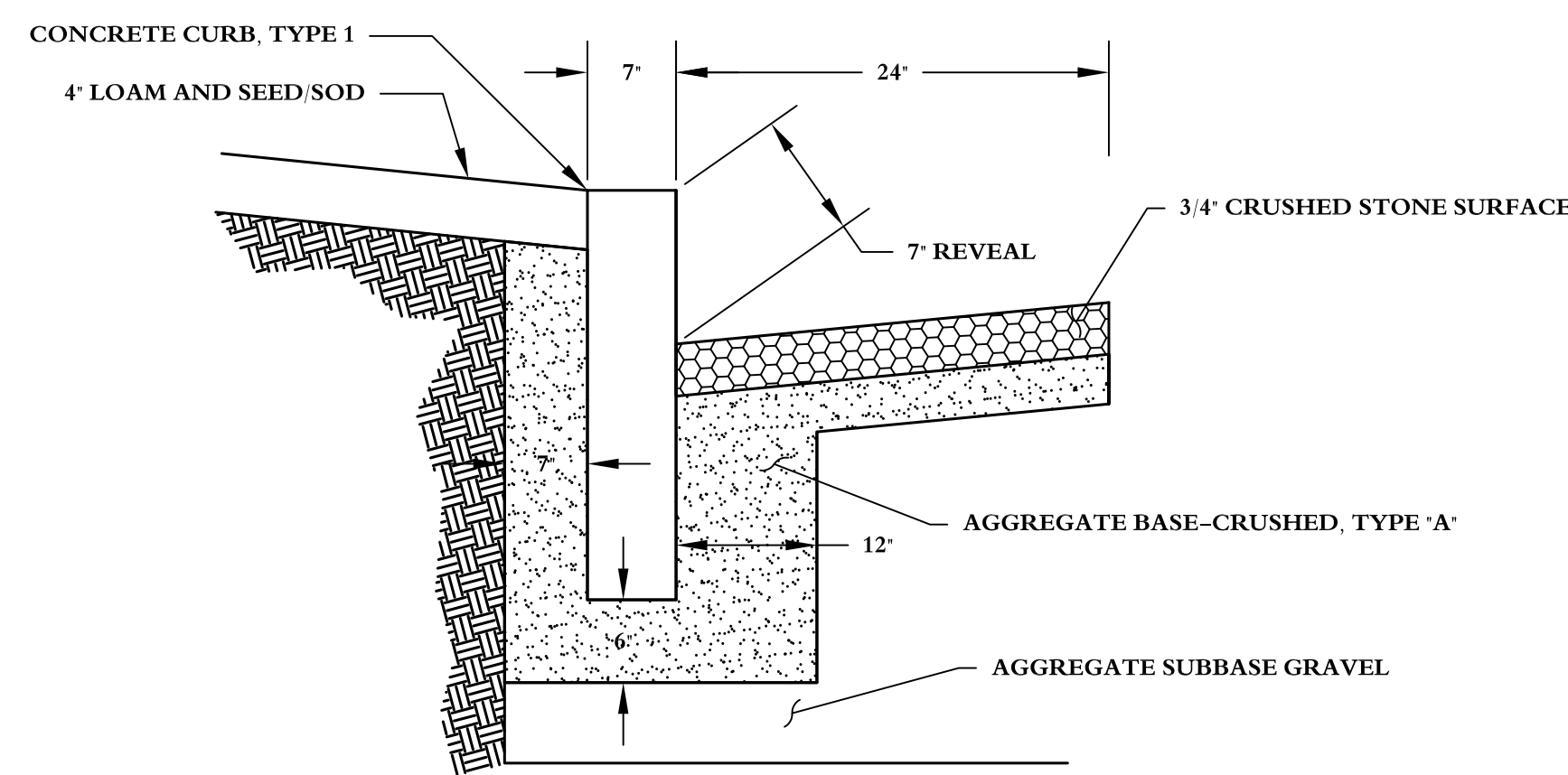
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TYPICAL 3/4" CRUSHED STONE PARKING AREA

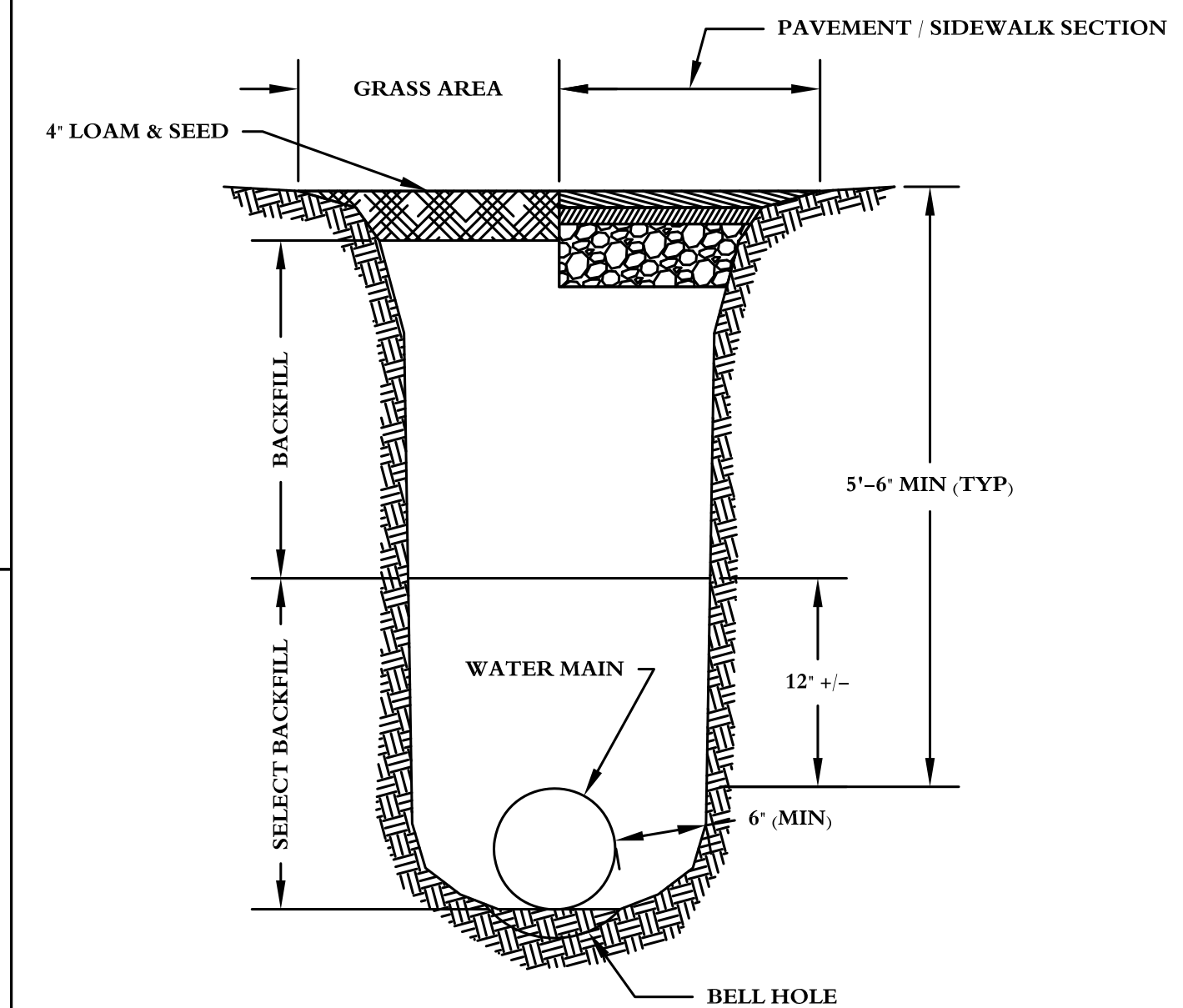
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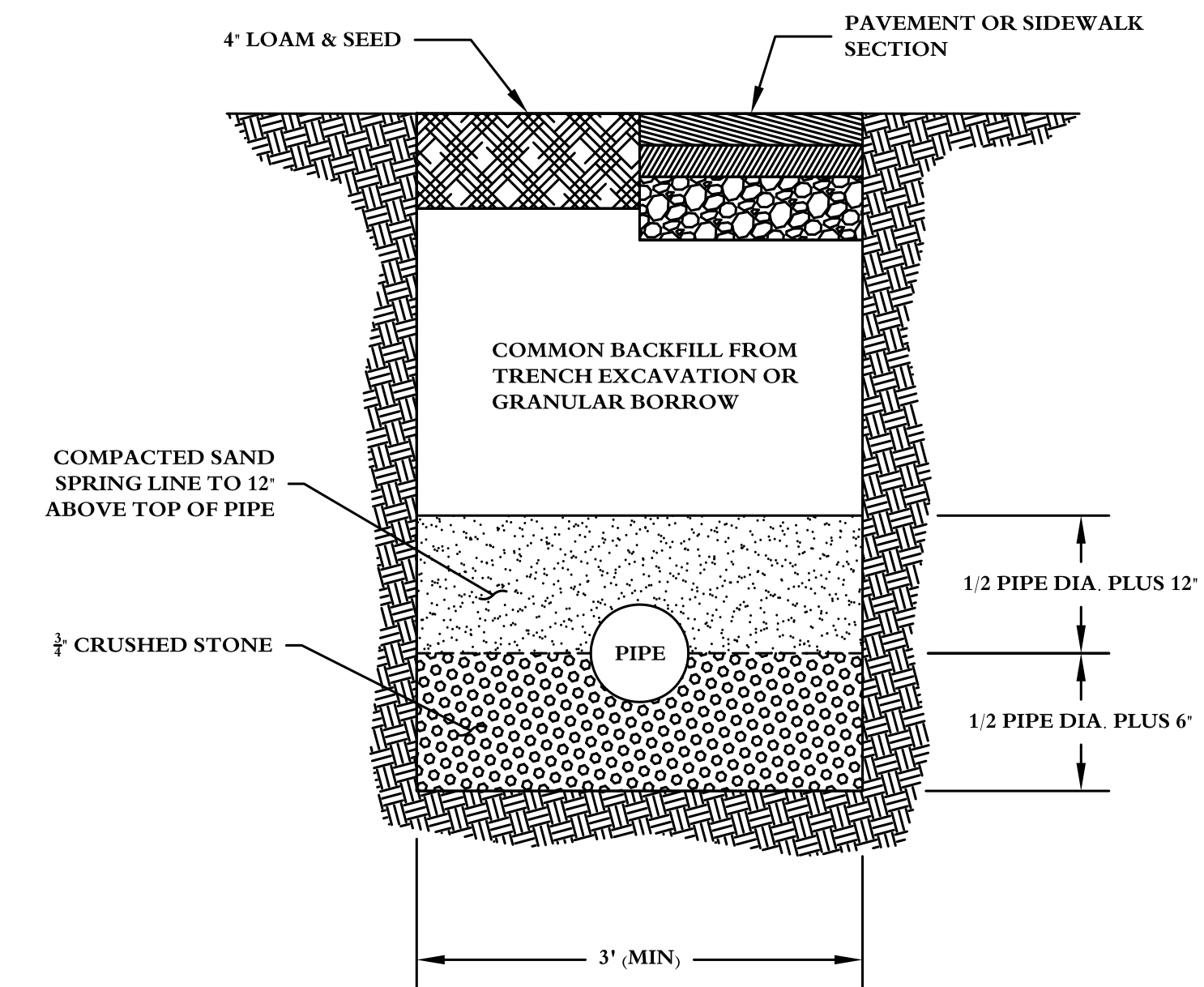
TYPICAL CURB CROSS SECTION NEXT TO STONE DETAIL

NOT TO SCALE



WATER MAIN TRENCH SECTION

NOT TO SCALE



SANITARY LATERAL TRENCH DETAIL

NOT TO SCALE

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION

CALL 1-800-DIG-SAFE PRIOR TO ANY CONSTRUCTION ACTIVITY

General Notes		
1	LEVEL 1 SITE ALT. APP.	8/14/12
No.	Revision/Issue	Date

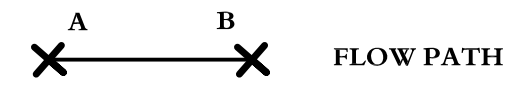
DETAILS SHEET

W. P. BROGAN & ASSOCIATES
ENGINEERING AND DESIGN CONSULTANTS

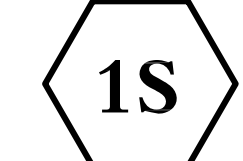
PHONE: (207) 221-5441 | 367 US ROUTE 1, FALMOUTH, MAINE 04105 | wpbrogan.com

Project Name and Address
43 CUMBERLAND AVE APARTMENTS
MARK SMITH & STEPHANIE DUNN
41 CUMBERLAND AVENUE
PORTLAND, ME 04104

Project	JN 1003	Sheet	C2
Date	3/28/2010		
Scale	As Noted		



FLOW PATH



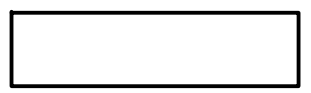
SUBCATCHMENT NUMBER



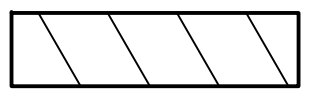
POND NUMBER



REACH NUMBER



PERVIOUS AREA



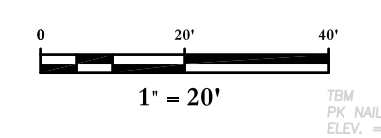
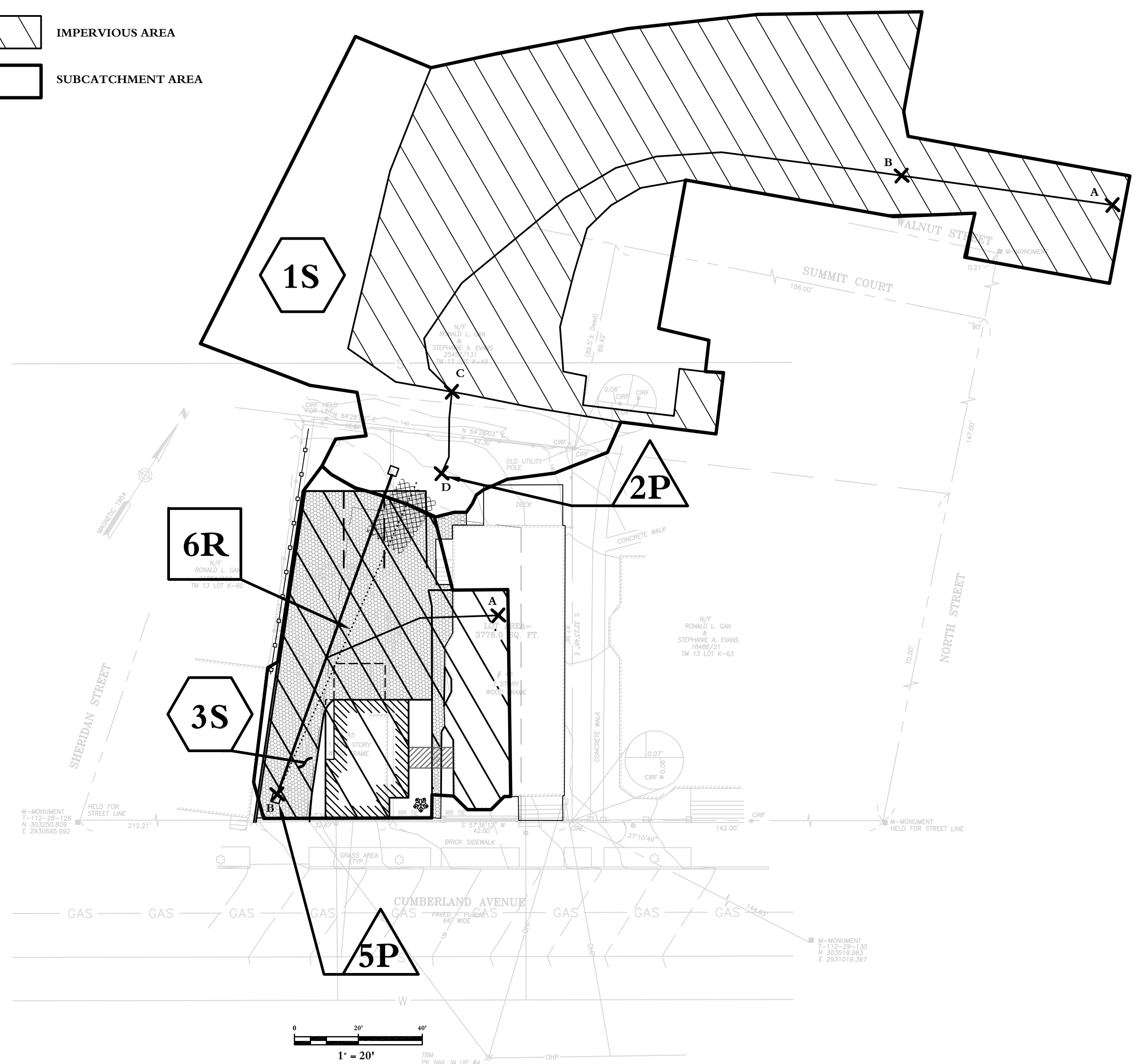
IMPERVIOUS AREA



SUBCATCHMENT AREA

NOTES:
 1. OFF SITE AREA BASED ON AERIAL PHOTOGRAPHY AND FIELD VERIFICATION
 2. SUBCATCHMENT 3S ASSUMES ROOF DRAIN DISCONNECT FROM SANITARY SYSTEM

TIME OF CONCENTRATION TABLE						
SUBCATCHMENT	LINE	LENGTH	SLOPE	SURFACE DESCRIPTION	FLOW TYPE	TIME OF CONCENTRATION
1S	A-B	50'	0.03	SMOOTH	SHEET FLOW	0.6 MIN
	B-C	143'	0.03	UNPAVED	SHALLOW CONCENTRATED	0.9 MIN
	C-D	40'	0.14	SHORT GRASS PASTURE	SHALLOW CONCENTRATED	0.3 MIN
					TOTAL:	1.8 MIN
3S	A-B	76'	0.06	SMOOTH	SHEET FLOW	0.6 MIN
					TOTAL:	0.6 MIN



POST DEVELOPMENT WATERSHED MAP

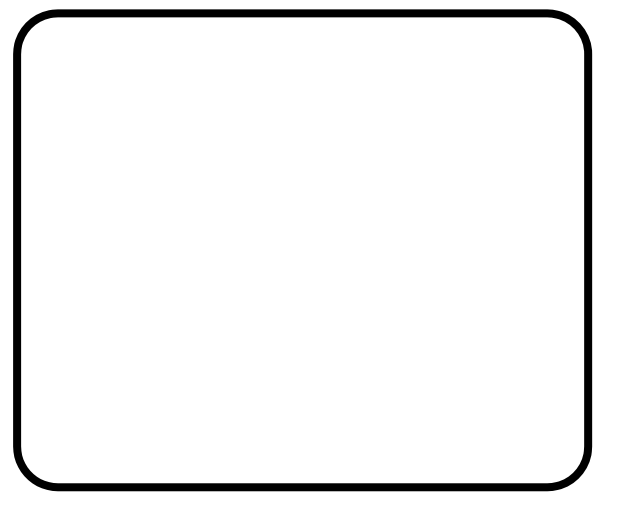
1" = 20'

General Notes		
1	LEVEL 1 SITE PLAN APP.	8/12/12
No.	Revision/Issue	Date

SHEET NAME:
POST DEV. SUBCATCHMENT MAP

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Product	JN 1003	Sheet	C3
Date	3/28/2010		
Scale	As Noted		