

43 CUMBERLAND AVENUE APARTMENTS

41 CUMBERLAND AVENUE

PORTLAND, MAINE



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PROJECT DIRECTORY

OWNER	MARK SMITH & STEPHANIE DUNN 41 CUMBERLAND AVE PORTLAND, MAINE 04101	CIVIL ENGINEER	W.P. BROGAN & ASSOCIATES 367 US ROUTE 1 FALMOUTH, ME 04105 P: 207.221.5441 E-MAIL: bill@wpbrogan.com
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SYMBOLS

	ROOM NUMBER
	DOOR NUMBER
	WINDOW TYPE
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	CASEWORK ELEVATION
	INTERIOR ELEVATION
	VERTICAL ELEVATION
	PARTITION TYPE
	COLUMN CENTER LINE

MATERIALS

	CONCRETE
	CONCRETE MASONRY UNIT
	GRAVEL
	SOIL
	STEEL
	WOOD FRAMING
	WOOD BLOCKING
	PLYWOOD
	GYPSUM BOARD
	SAT
	BATT INSULATION
	RIGID INSULATION
	EXPANSION MATERIAL
	FINISH WOOD

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ABBREVIATIONS

AB	ANCHOR BOLT	FDKB	FIRE DEPARTMENT KEY BOX	MAX	MAXIMUM	S	SOUTH
AFF	ABOVE FINISH FLOOR	FDN	FOUNDATION	MECH	MECHANICAL	SAT	SUSPENDED ACOUSTICAL
ALUM OR AL	ALUMINUM	FX	FIRE EXTINGUISHER	MFR	MANUFACTURER	SC	TILE CEILING
BIT	BITUMINOUS	FFE	FINISH FLOOR ELEVATION	MIN	MINIMUM	SD	SHOWER CURTAIN
BM	BENCH MARK	FIN	FINISH	MISC	MISCELLANEOUS	SD	SOAP DISPENSER
BOT	BOTTOM	FIN FL OR FF	FINISH FLOOR	MRGB	MOISTURE RESISTANT GYPSUM BOARD	SCHED	SCHEDULE
BRG	BEARING	FIN GR	FINISH GRADE	MTL	METAL	SECT	SECTION
BRK	BRICK	FL	FLOOR	N	NORTH	SHT	SHEET
C	CARPET	FR	FIRE RATING	NA	NOT APPLICABLE	SIM	SIMILAR
CAB	CABINET	FRMG	FRAMING	NC	NOT IN CONTACT	SND	SANITARY NAPKIN DISPOSAL
CC	CENTER TO CENTER	FT	FEET (FOOT)	NO	NUMBER	SQ	SQUARE
CL	CENTER LINE	FV	FIELD VERIFY	NOM	NOMINAL	STD	STANDARD
CLG	CEILING	GA	GAUGE	NTS	NOT TO SCALE	STL	STEEL
CONC	CONCRETE	GALV	GALVANIZED	OA	OVERALL	STRUCT	STRUCTURAL
CONT	CONTINUOUS	GB	GRAB BARS	OC	ON CENTER	SV	SHEET VINYL
DBL	DOUBLE	OD	OUTSIDE DIAMETER	OPNG	OPENING	T	TEMPERED (GLASS)
DIA	DIAMETER	OPP	OPPOSITE	THK	THICKNESS	TO	TOP OF
DIM	DIMENSION	HC	HANDICAP	TOB	TOP OF BEAM	TOW	TOP OF MASONRY
DNA	DOES NOT APPLY	HM	HOLLOW METAL	TOW	TOP OF WALL	TP	TOILET PAPER DISPENSER
DTL	DETAIL	HORZ	HORIZONTAL	PTD	PAINTED	TUON	TYPICAL UNLESS OTHERWISE NOTED
DWG	DRAWING	HT	HEIGHT	PL	PLATE	TYP	TYPICAL
E	EAST	IF	INSIDE FACE	PLY WD	PLYWOOD	VB	VAPOR BARRIER
EA	EACH	IN	INCHES	PNL	PANEL	VCT	VINYL COMPOSITION TILE
EF	EACH FACE	INSUL	INSULATION	P.T.	PRESSURE TREATED	VERT	VERTICAL
EL	ELEVATION	INT	INTERIOR	PTN	PARTITION	W	WEST
ELEC	ELECTRICAL	JNT OR JT	JOINT	RE	REFER	W/	WITH
ELEV	ELEVATOR	LOC	LOCATION	REF	REFRIGERATOR	W/	WATER CLOSET
EHO	ELECTRO-MAGNETIC HOLD OPEN			REINF	REINFORCED	WC	WOOD
ETR	EXISTING TO REMAIN			REQD	REQUIRED	WD	
EQ	EQUAL			RM	ROOM		
EW	EACH WAY			RO	ROUGH OPENING		
EXT	EXTERIOR						

GENERAL NOTES

- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, IECC, NFPA 101, ANSI, UFAS, HUD/AG, ADA/AG, MPS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
- CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
- INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
- ALL GRAB BARS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS AT ANY POINT.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD IN BATHROOMS & HIGH HUMIDITY AREAS. MOISTURE RESISTANT FIRECODE G.W.B. @ ALL FIRE RATED BATH ROOMS. SHOWERS ALL SIDES TO HAVE DURAROCK BACKING.
- ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
- INSTALL U.L. SLEEVE FIRE-STOPPING SYSTEM & FIRE RATED SEALANTS EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
- FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING U.L. RATED PENETRATIONS. CAULK JOINTS. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
- CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR/CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, STAIRWELL WALLS, ETC.
- REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- PROJECT ASSUMES ALL EXISTING HAZARDOUS MATERIALS HAVE BEEN REMOVED PRIOR TO THE COMMENCEMENT OF WORK. ALL HAZARDOUS MATERIAL REMOVAL IS THE RESPONSIBILITY OF THE OWNER.
- DESIGNATED EGRESS WINDOWS IN SLEEPING ROOMS SHALL MEET THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS OF 22" WIDE, 24" HIGH & 5.7 SF CLEAR OPENING. ALL BEDROOMS SHALL CONTAIN A MINIMUM OF (1) EGRESS OPENING.
- WINDOW SAFETY GLAZING SHALL BE LOCATED AS FOLLOWS, BUT NOT LIMITED TO: (IBC 2009 SEC. 2406)
ALL WINDOWS WITHIN 60" HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
- BUILDING INSULATION SHALL BE PROVIDED AS INDICATED & NOTED IF NOT SHOWN IN ITS ENTIRETY THROUGHOUT THE DRAWING SET. INSULATE ALL BATHROOM, LAUNDRY, MECH. ROOM WALLS, AND ROOF DRAINS THRU BUILDING.
- BEAM, JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT &/OR ENGINEER PRIOR TO WORK.
- ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.

PROJECT NOTES

- SCOPE OF WORK:
MAIN BUILDING:
EXISTING 4 STORY BUILDING WITH 3 RESIDENTIAL UNITS.
THE PROPOSAL INCLUDES A 4TH FLOOR DORMER ROOF EXPANSION, 3RD AND 4TH FLOOR INTERIOR RENOVATIONS AND THE ADDITION OF A 4TH RESIDENTIAL LIVING UNIT. THE PROPOSAL ALSO INCLUDES THE INSTALLATION OF A FIRE SUPPRESSION SYSTEM PER NFPA. NO INCREASE IN STORIES & NO CHANGE OF USE IS PROPOSED.
- STUDIO:
CONSTRUCT A FREE STANDING LIVING UNIT PER PROPOSED DRAWINGS.
- THE PROJECT IS BEING SUBMITTED FOR A LEVEL 1 MINOR RESIDENTIAL DEVELOPMENT REVIEW & LEVEL 1 MINOR SITE PLAN DEVELOPMENT REVIEW
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE, EXTERIOR AND INTERIOR WORK.
WORK SHALL ALSO INCLUDE:
A. NFPA 13 SPRINKLER SYSTEMS PER THE FLOOR PLANS.
B. MECHANICAL SYSTEMS (HVAC)
C. ELECTRICAL SYSTEMS
D. PLUMBING SYSTEMS
MECHANICAL/ ELECTRICAL INSTALLATIONS ARE TO BE PERFORMED ON A DESIGN-BUILD BASIS.
ALL SYSTEMS SHALL BE APPROVED BY THE OWNER PRIOR TO WORK
- THE FIRE ALARM SYSTEM SHALL BE INSTALLED ACCORDINGLY TO MEET NFPA 72 AND CITY OF PORTLAND FIRE DEPARTMENT REQUIREMENTS. COORDINATE REQUIREMENTS WITH PORTLAND FIRE CHIEF.

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MAIN BUILDING

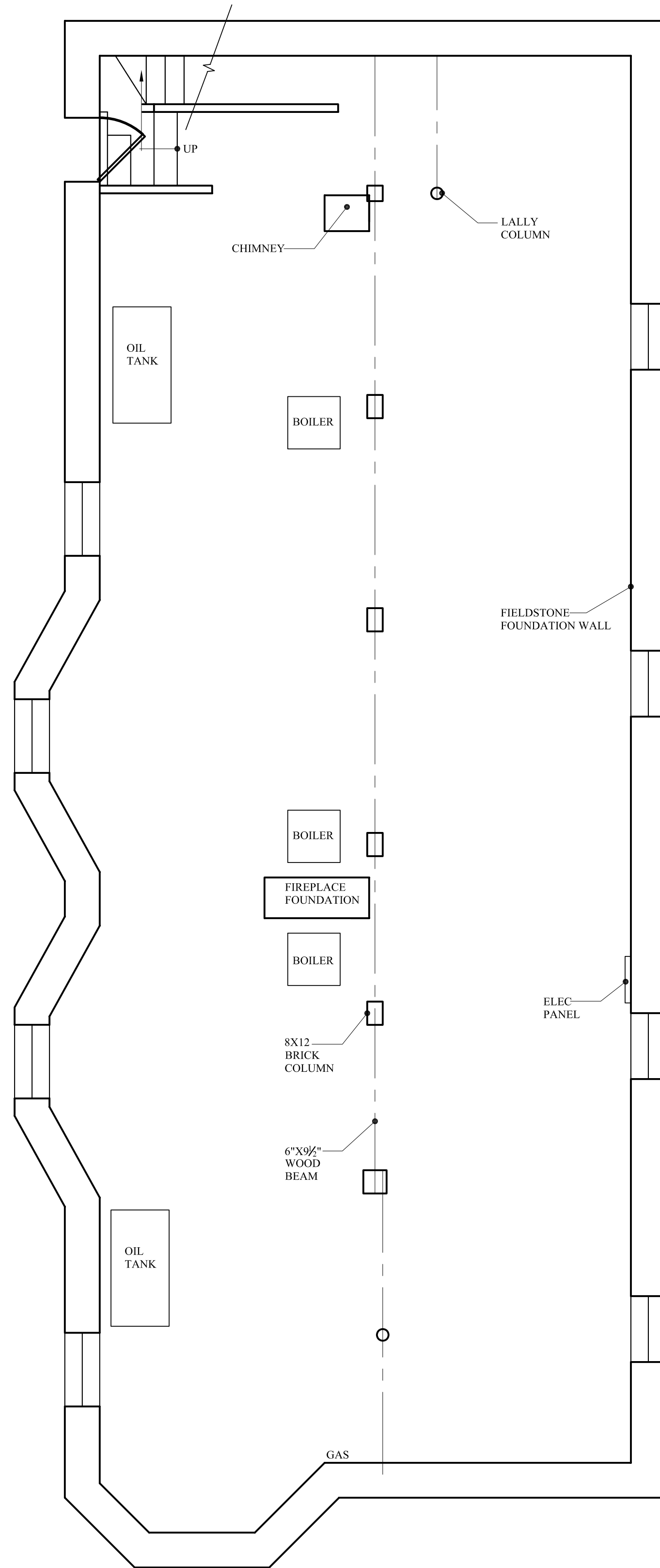
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41 CUMBERLAND AVENUE PORTLAND, MAINE

TITLE SHEET & GENERAL NOTES

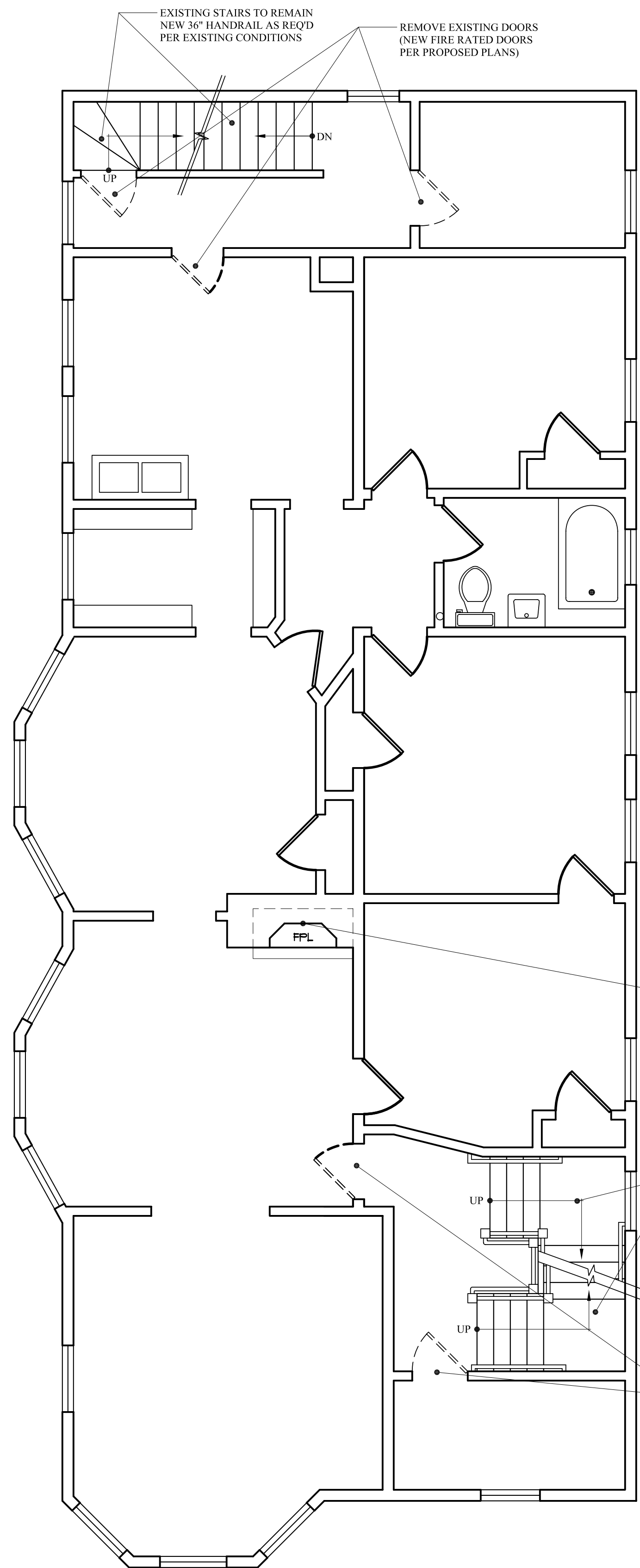
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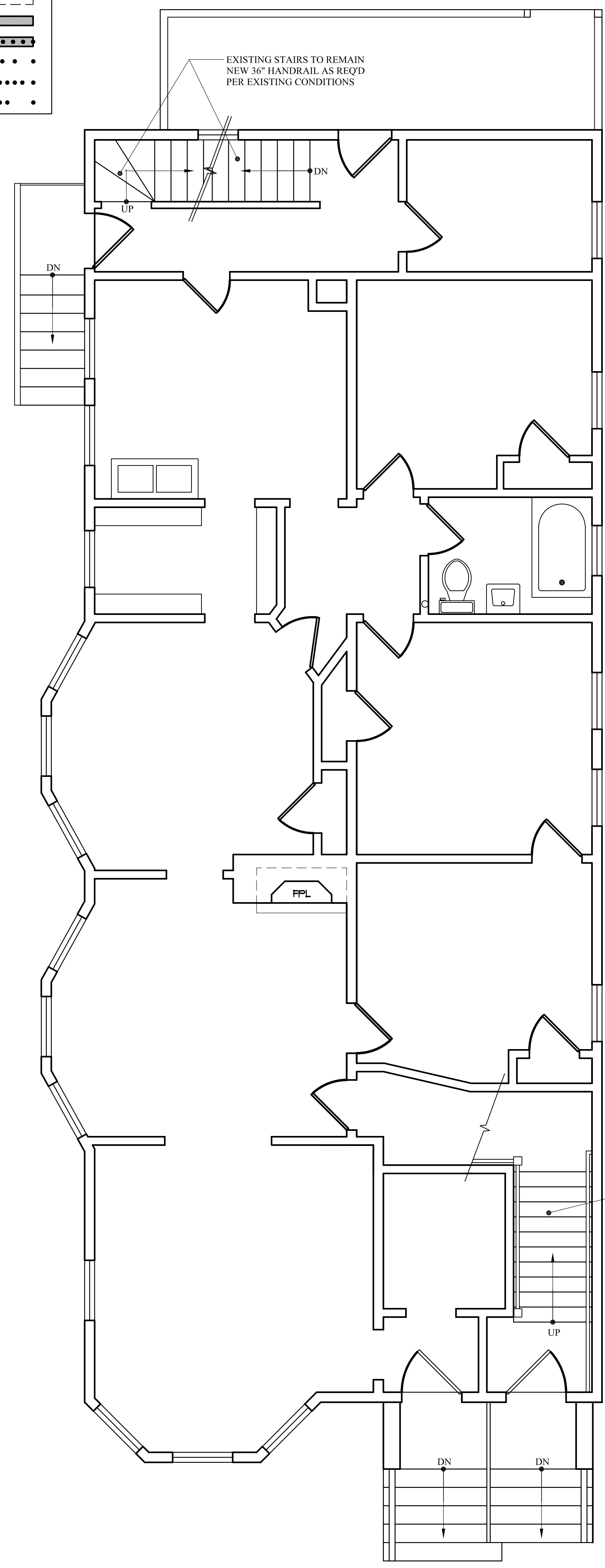


NO DEMO WORK THIS FLOOR
UNLESS NOTED OTHERWISE



WALL LEGEND

EXISTING WALL	
DEMO WALL	
PROPOSED WALL	
FIRE RATED WALL	
1/2 HOUR	
1 HOUR	
2 HOUR	



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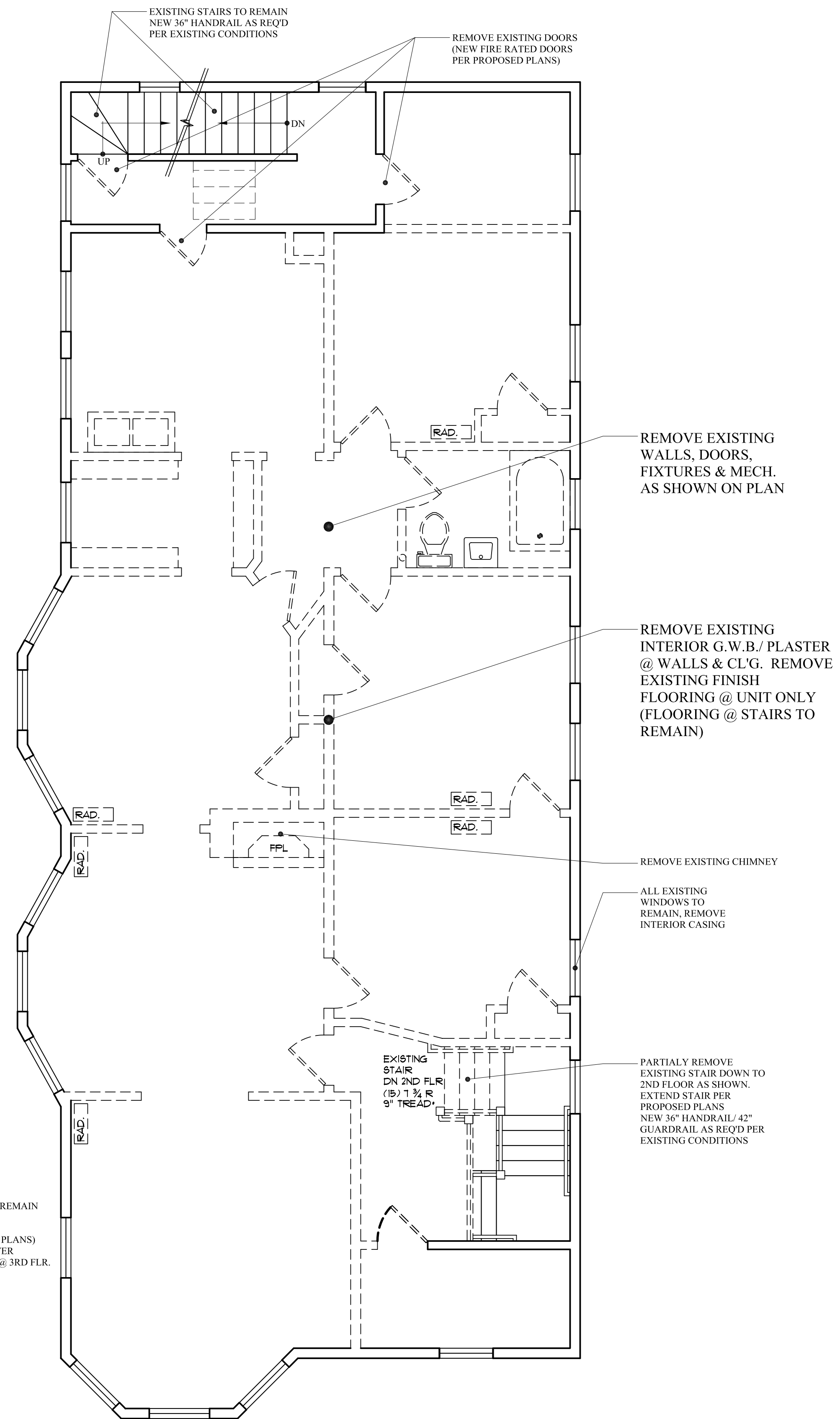
EXISTING PLANS
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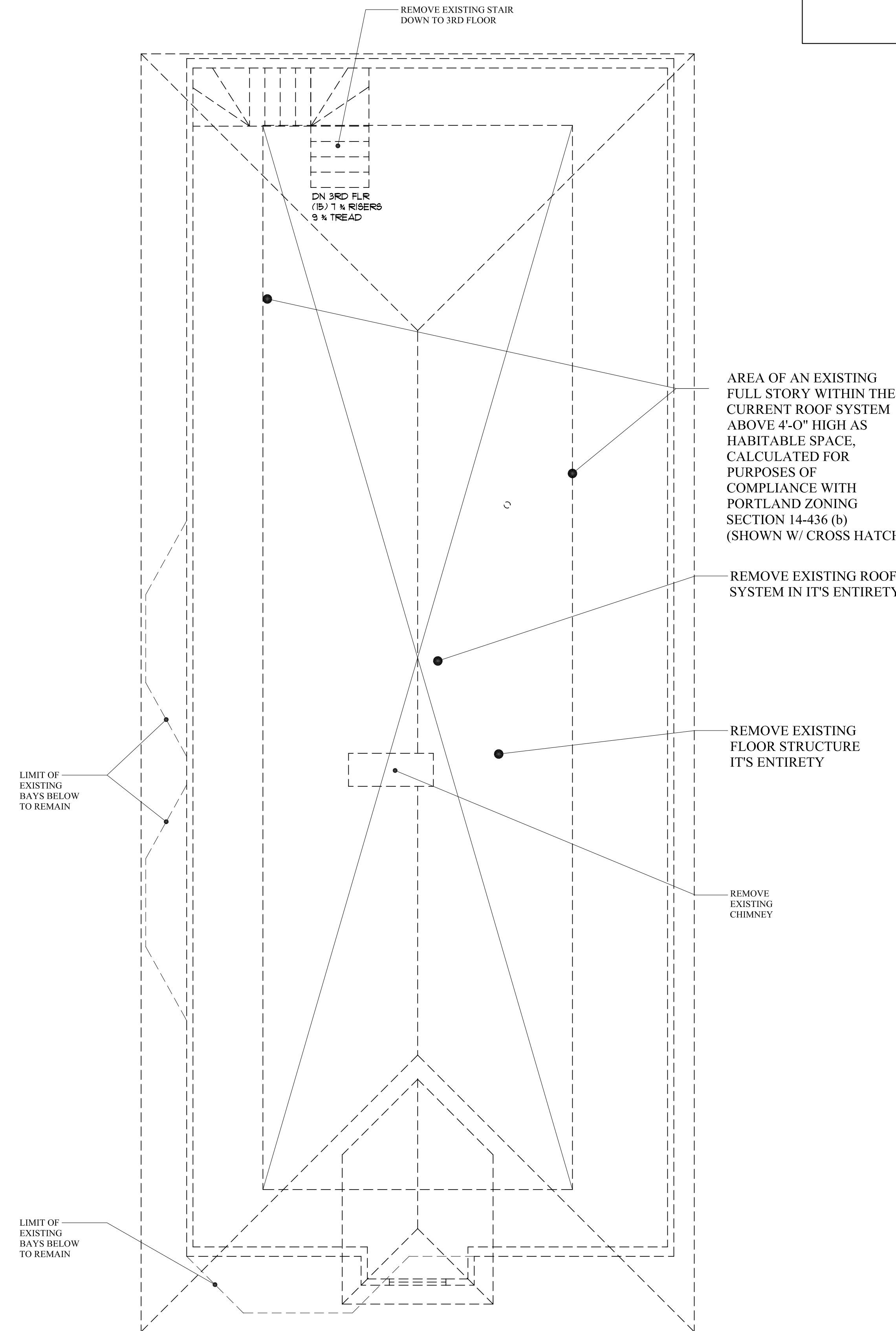
EC-1.0

WALL LEGEND

EXISTING WALL	
DEMO WALL	
PROPOSED WALL	
FIRE RATED WALL	
1/2 HOUR	
1 HOUR	
2 HOUR	



EXISTING 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING 4TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

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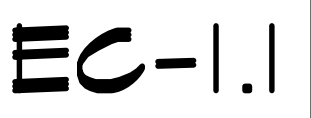
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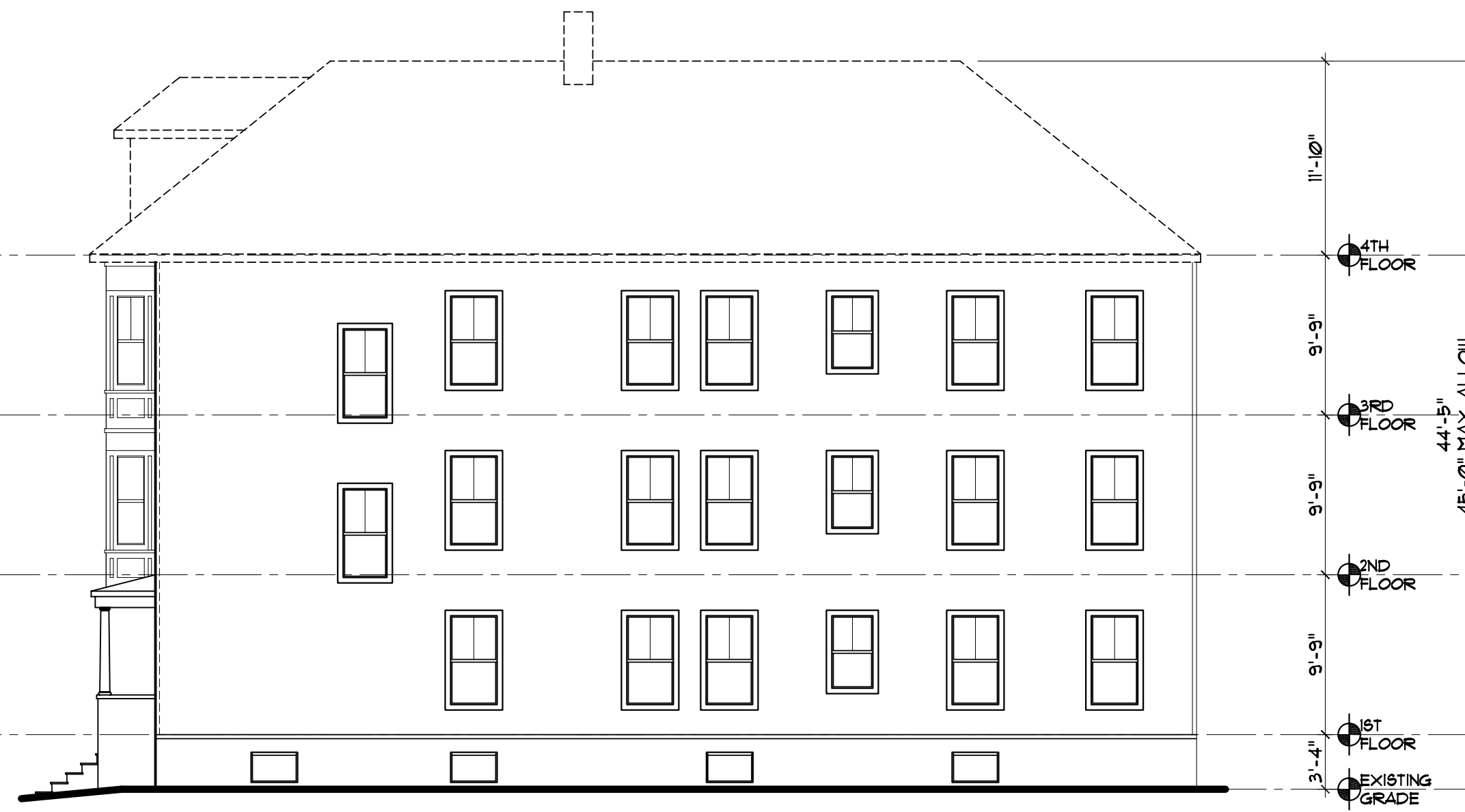
EXISTING PLANS

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EXISTING FRONT ELEVATION
SCALE: 1/8" = 1'-0"



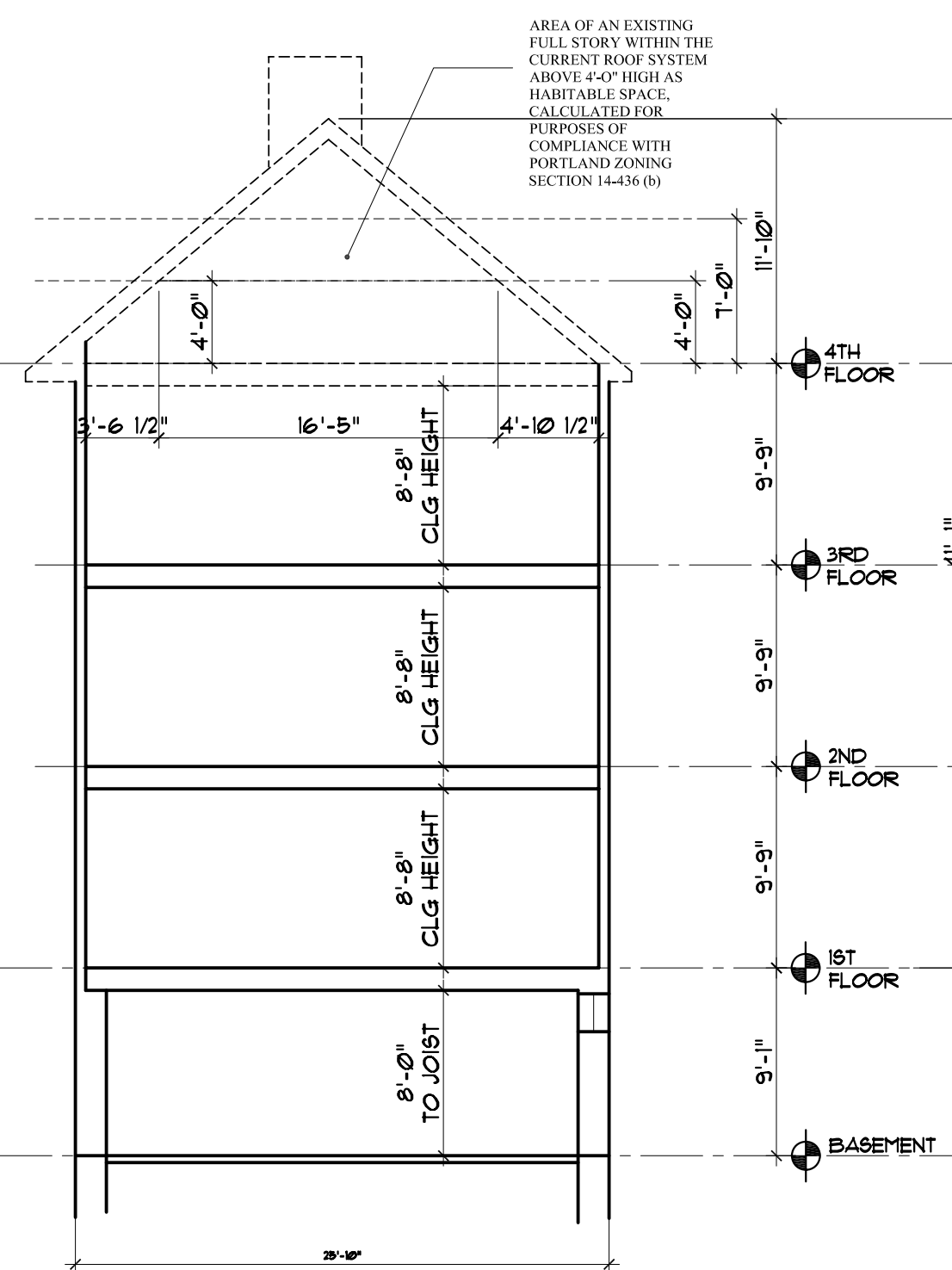
EXISTING RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



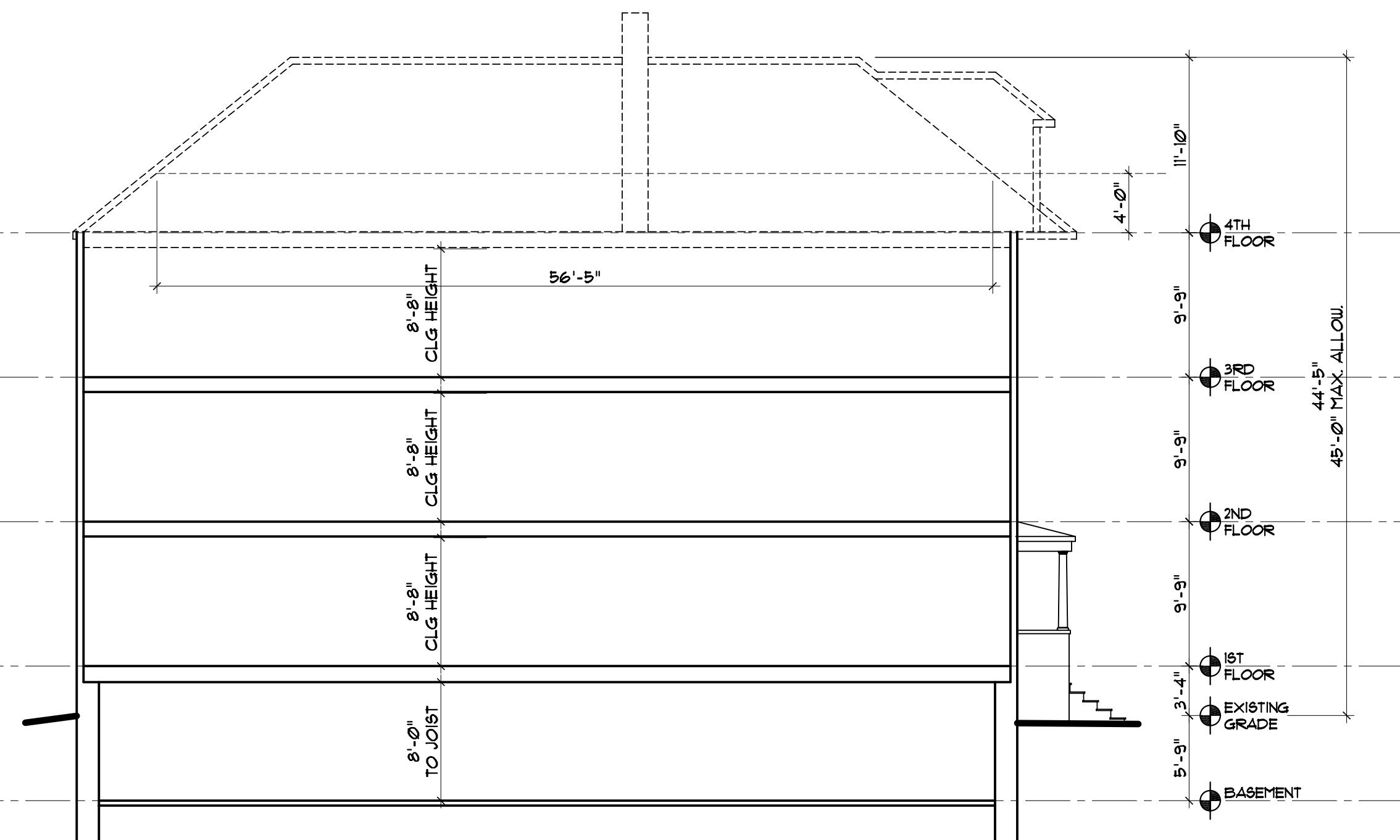
EXISTING REAR ELEVATION
SCALE: 1/8" = 1'-0"



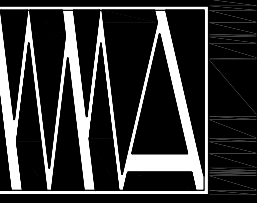
EXISTING LEFT ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING BUILDING SECTION A
SCALE: 1/8" = 1'-0"



EXISTING BUILDING SECTION B
SCALE: 1/8" = 1'-0"



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MAIN BUILDING

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EXISTING ELEVATIONS &
BUILDING SECTIONS

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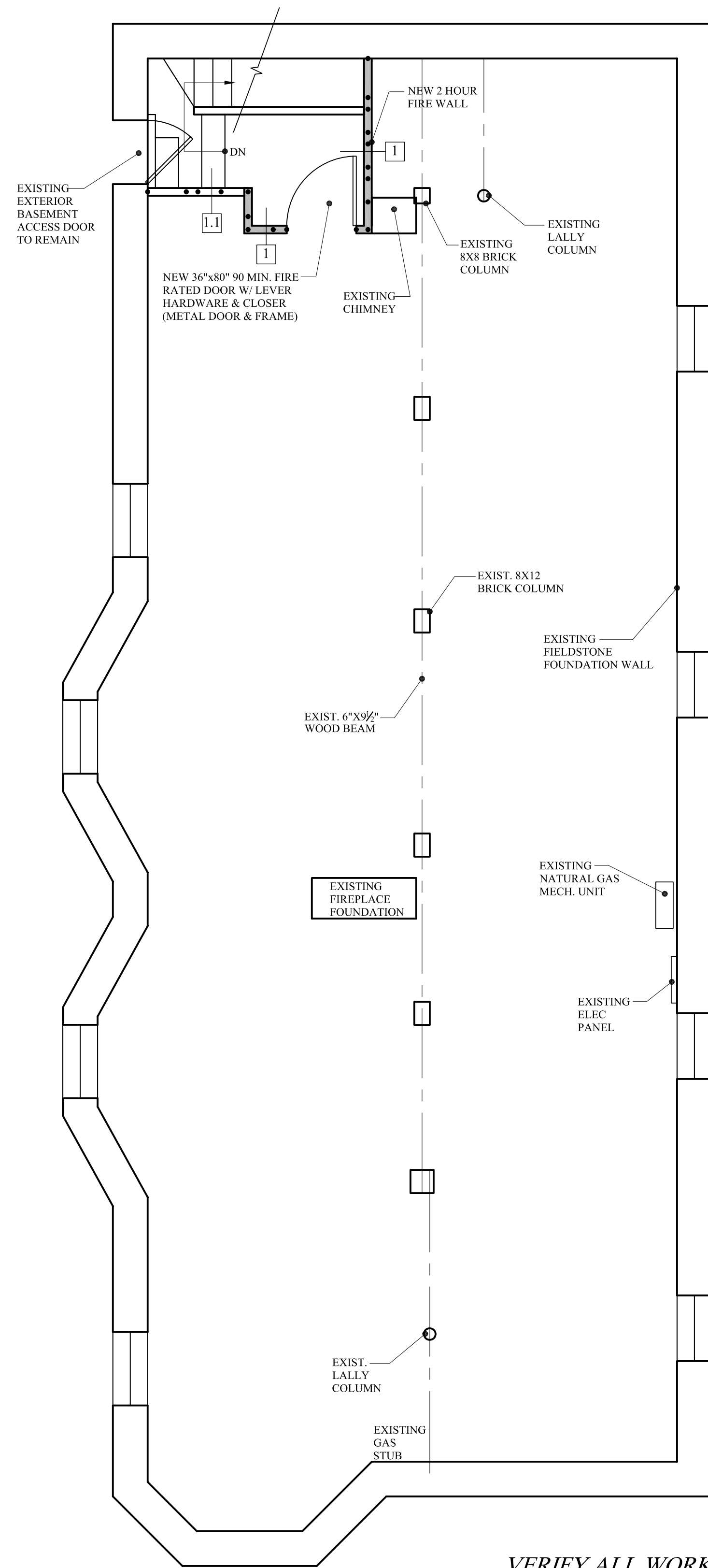
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EC-1.2

WALL LEGEND

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PROPOSED WALL	
FIRE RATED WALL	
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1 HOUR	
2 HOUR	

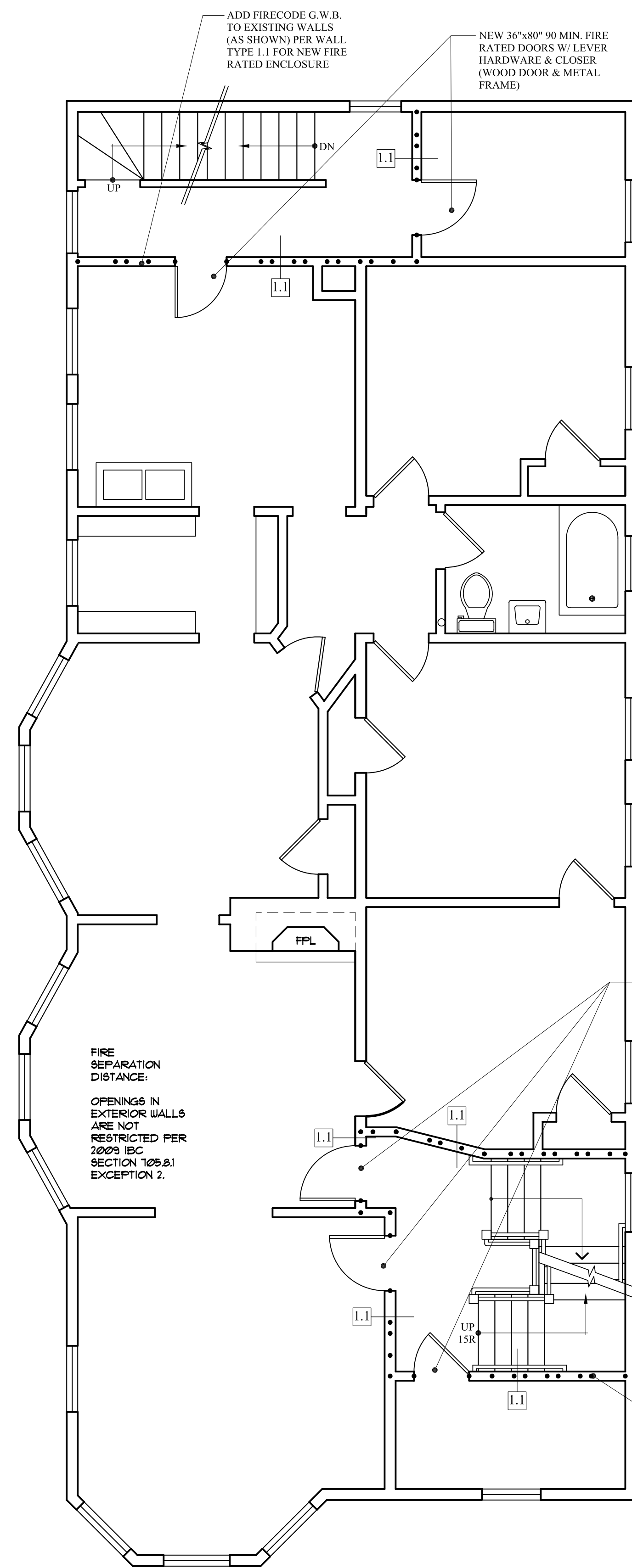
INSTALL SPRINKLER SYSTEM PER NFPA THROUGHOUT THE BUILDING



VERIFY ALL WORK @
BASEMENT WITH
OWNER

EXISTING BASEMENT PLAN

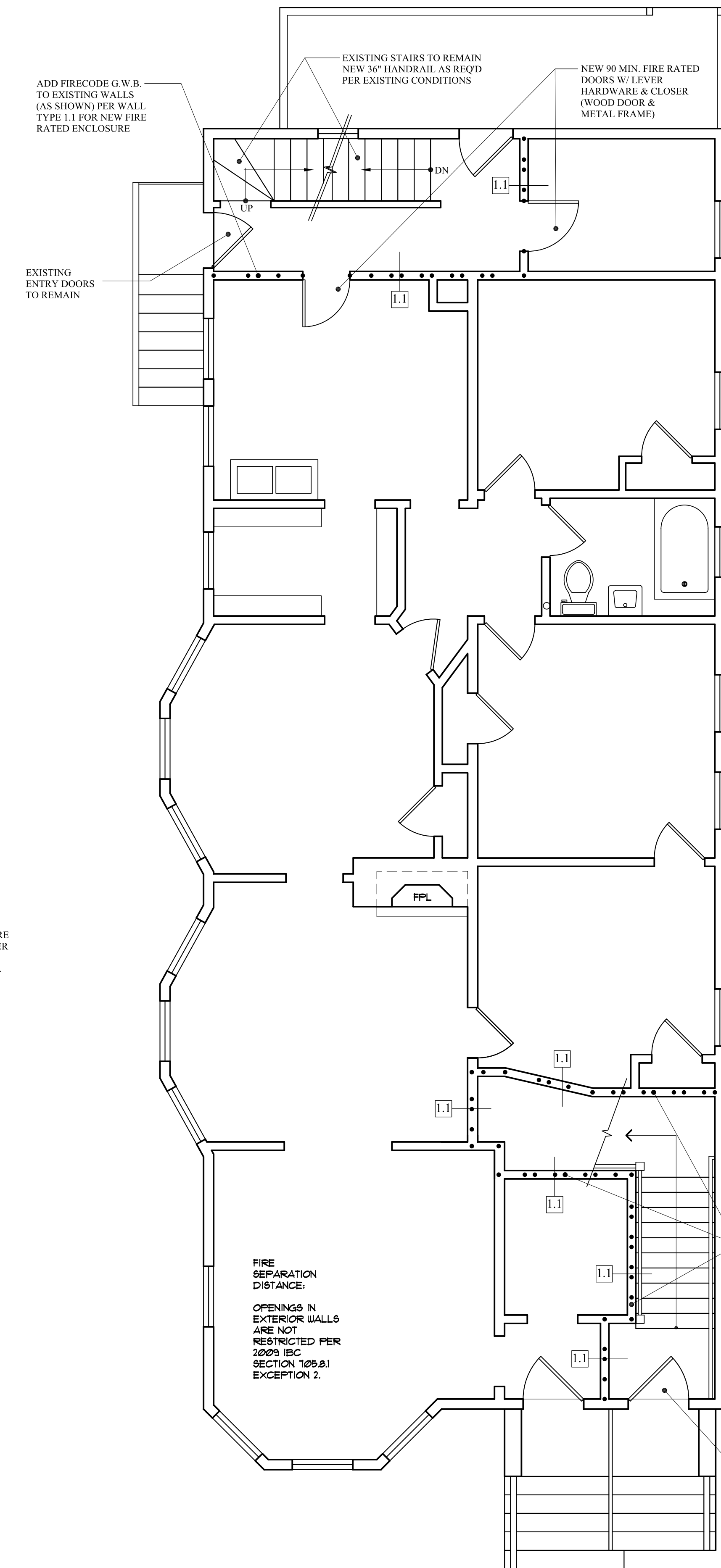
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EXISTING 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA: 1,704 SF

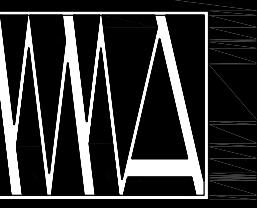


EXISTING 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA: 1,704 SF

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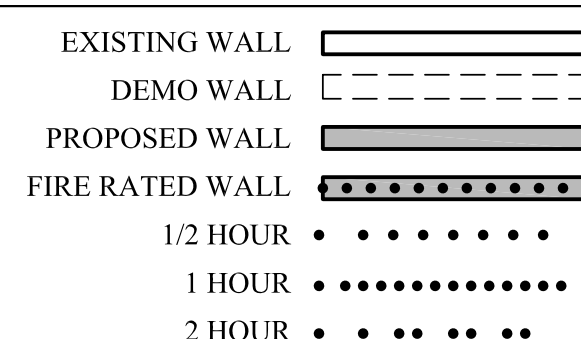
PROPOSED PLANS

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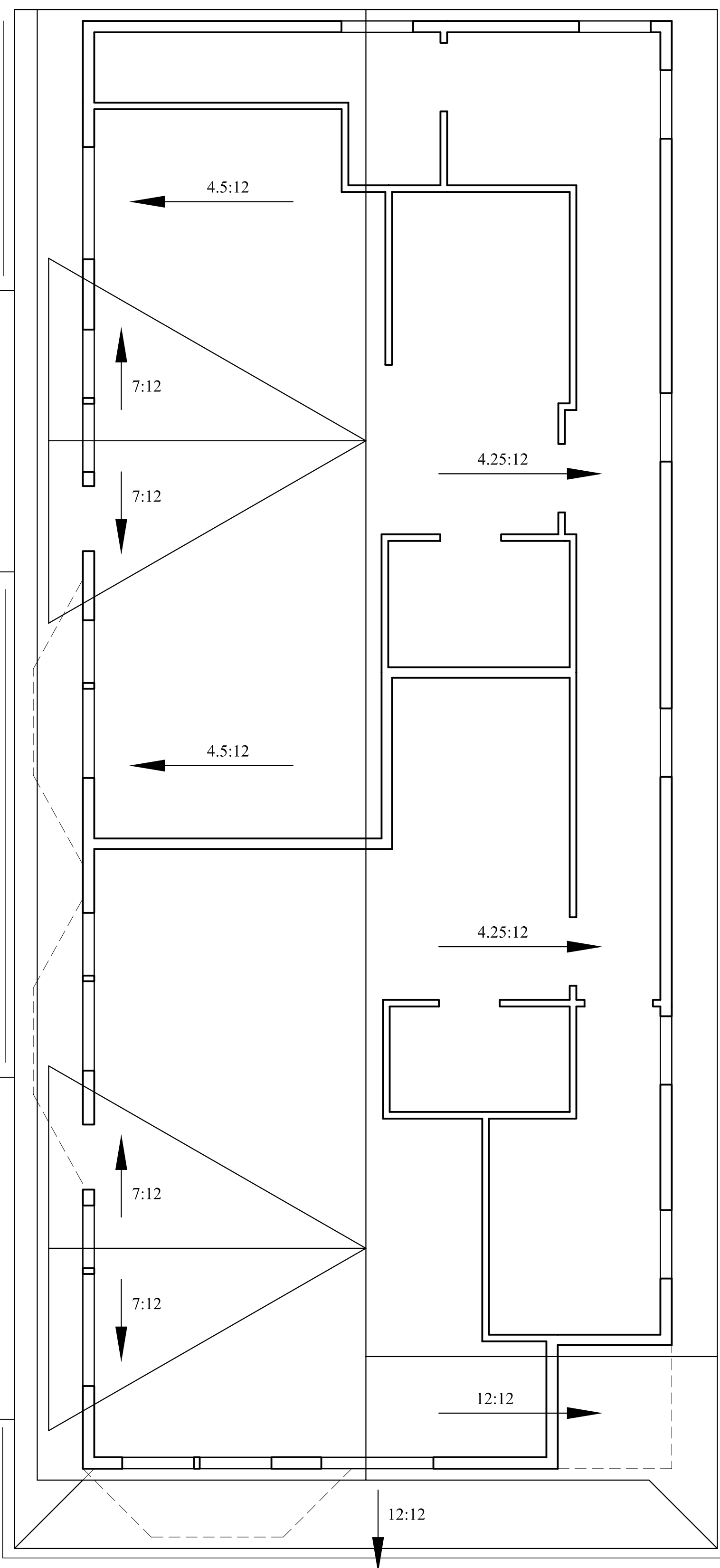
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INSTALL SPRINKLER SYSTEM PER NFPA THROUGHOUT THE BUILDING

WALL LEGEND

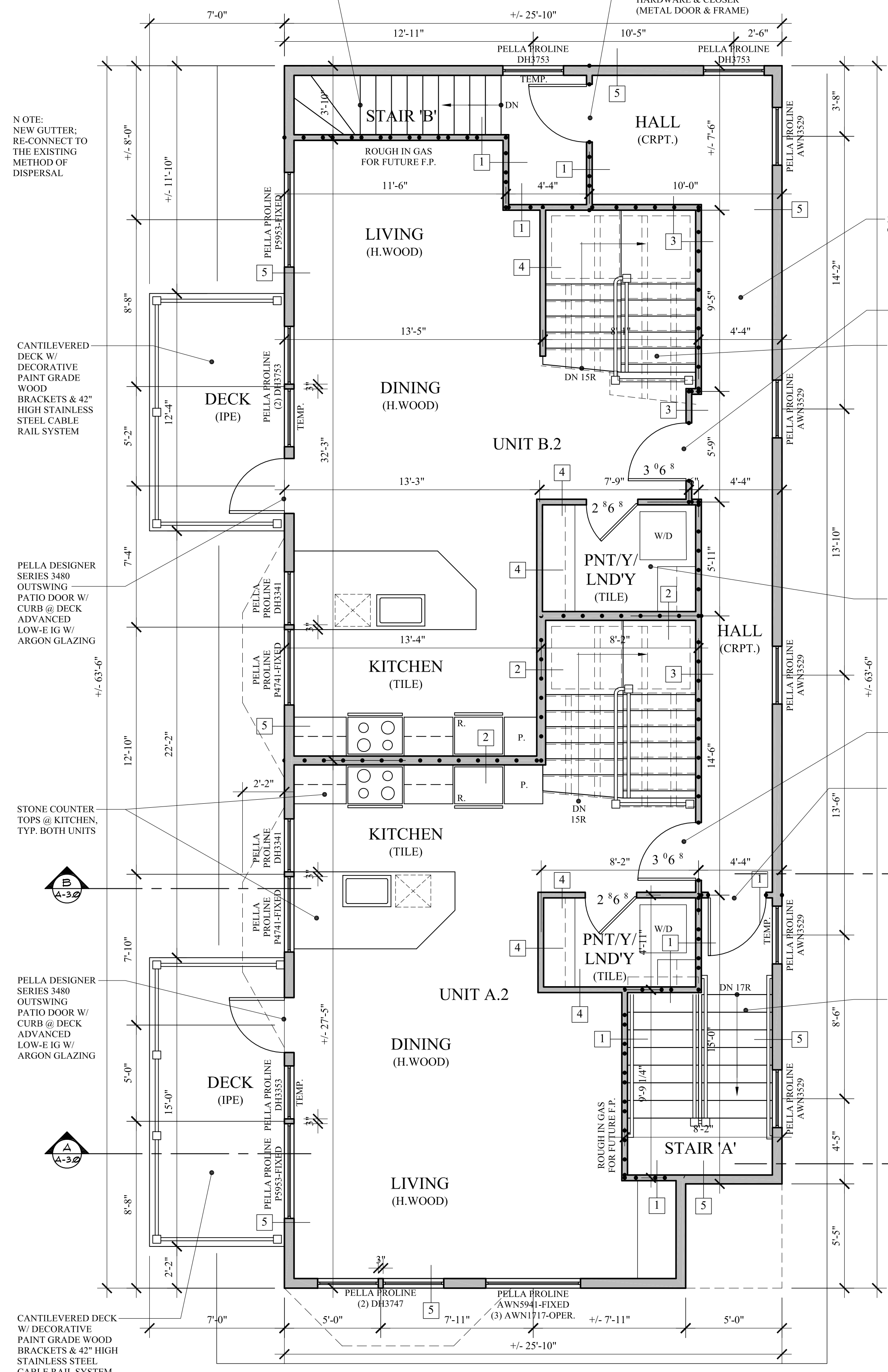


- ROOF:
 - COVER ENTIRE ROOF W/ ICE & WATER SHIELD
 - FLASH ALL ROOF/WALL JUNCTURES & VALLEYS W/ ICE & WATER SHIELD
 - SEPARATE ALL EPDM FROM ICE & WATER SHIELD W/ ALUM. SHEET BOND BREAKER
 - TURN ALL EPDM UP WALLS 24"
 - ALL ROOF DRIP EDGES SHALL BE WHITE ALUM.
 - ROOF GUTTER & DOWN SPOUT
 - 30 YR ASPHALT 3-TAB SHINGLES, TYP.



PROPOSED ROOF PLAN

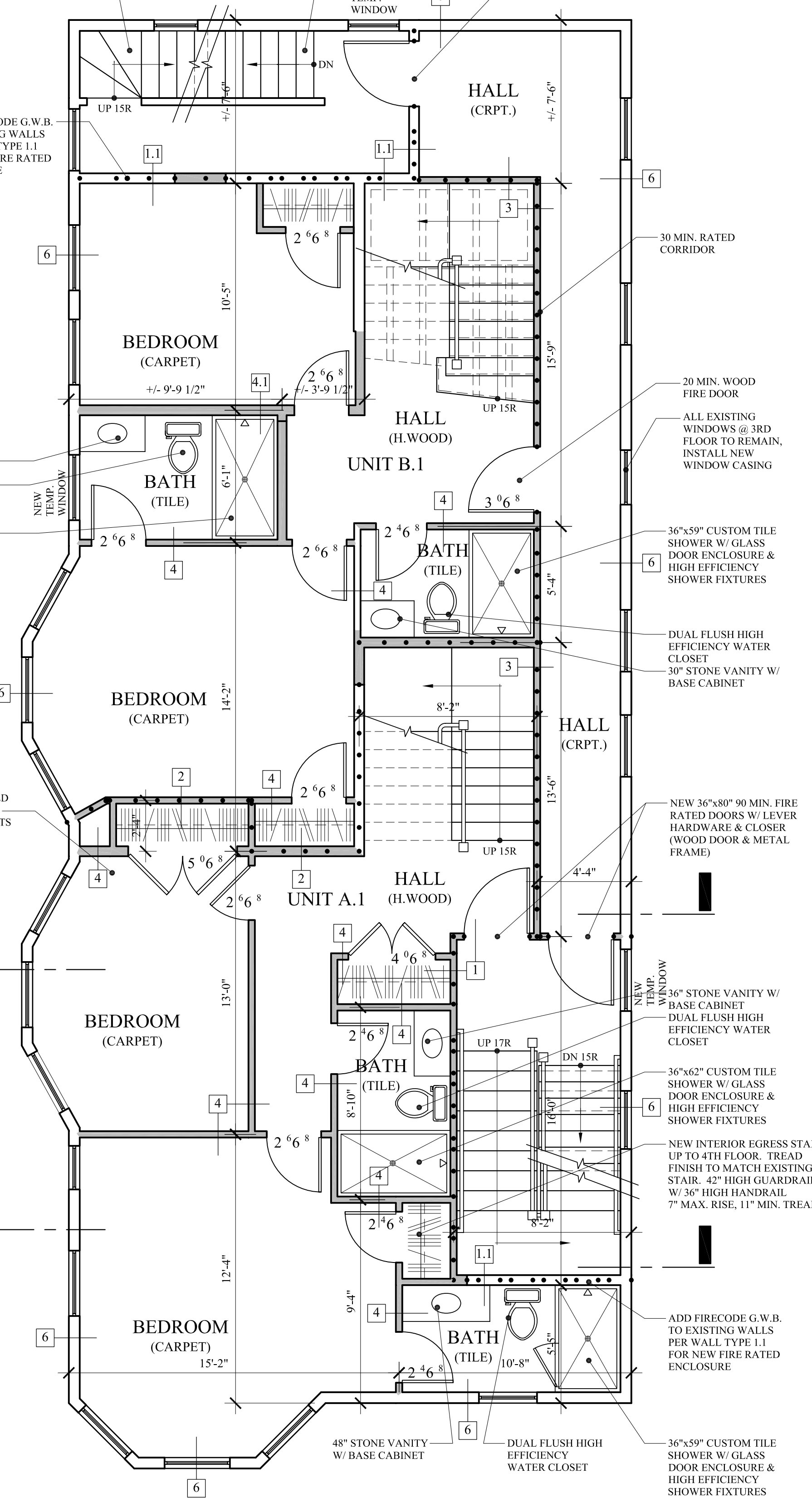
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PROPOSED 4TH FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA: 1,475 SF



PROPOSED 3RD FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA: 1,704 SF
 TOTAL BUILDING AREA: 6,597 SF

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PROPOSED PLANS

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A-1.1



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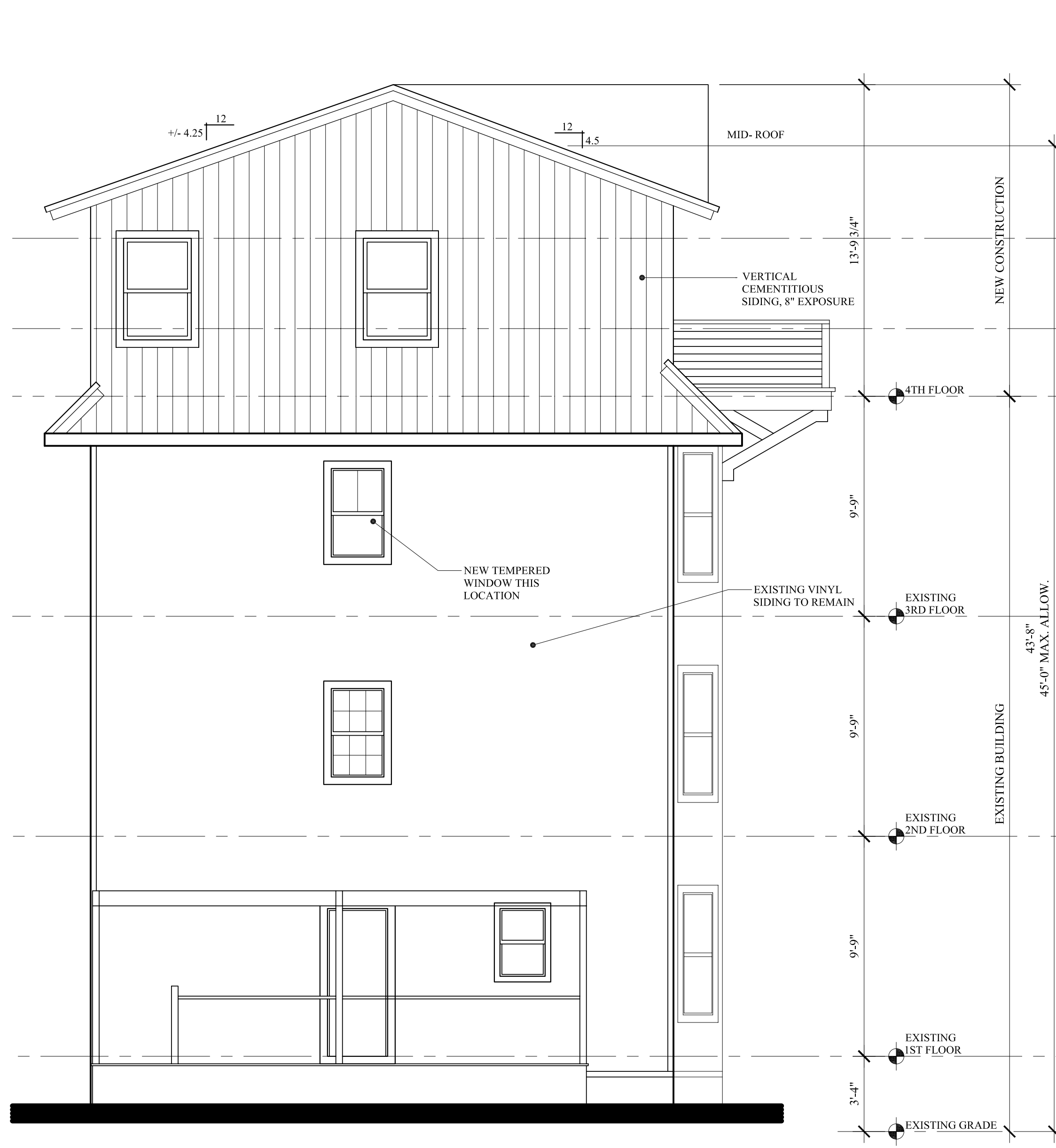
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PROPOSED ELEVATIONS

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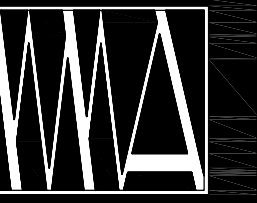
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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A-2.1



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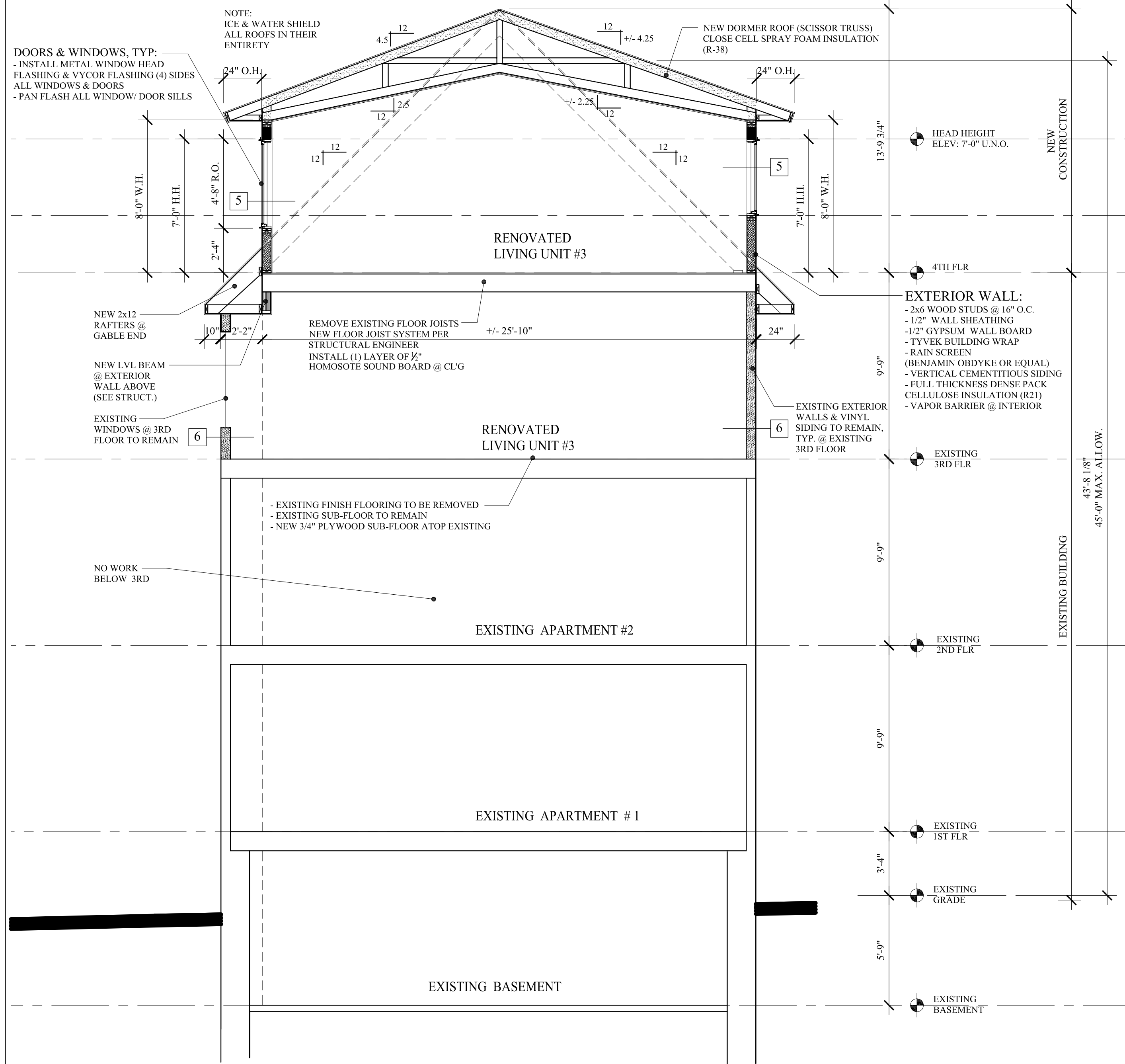
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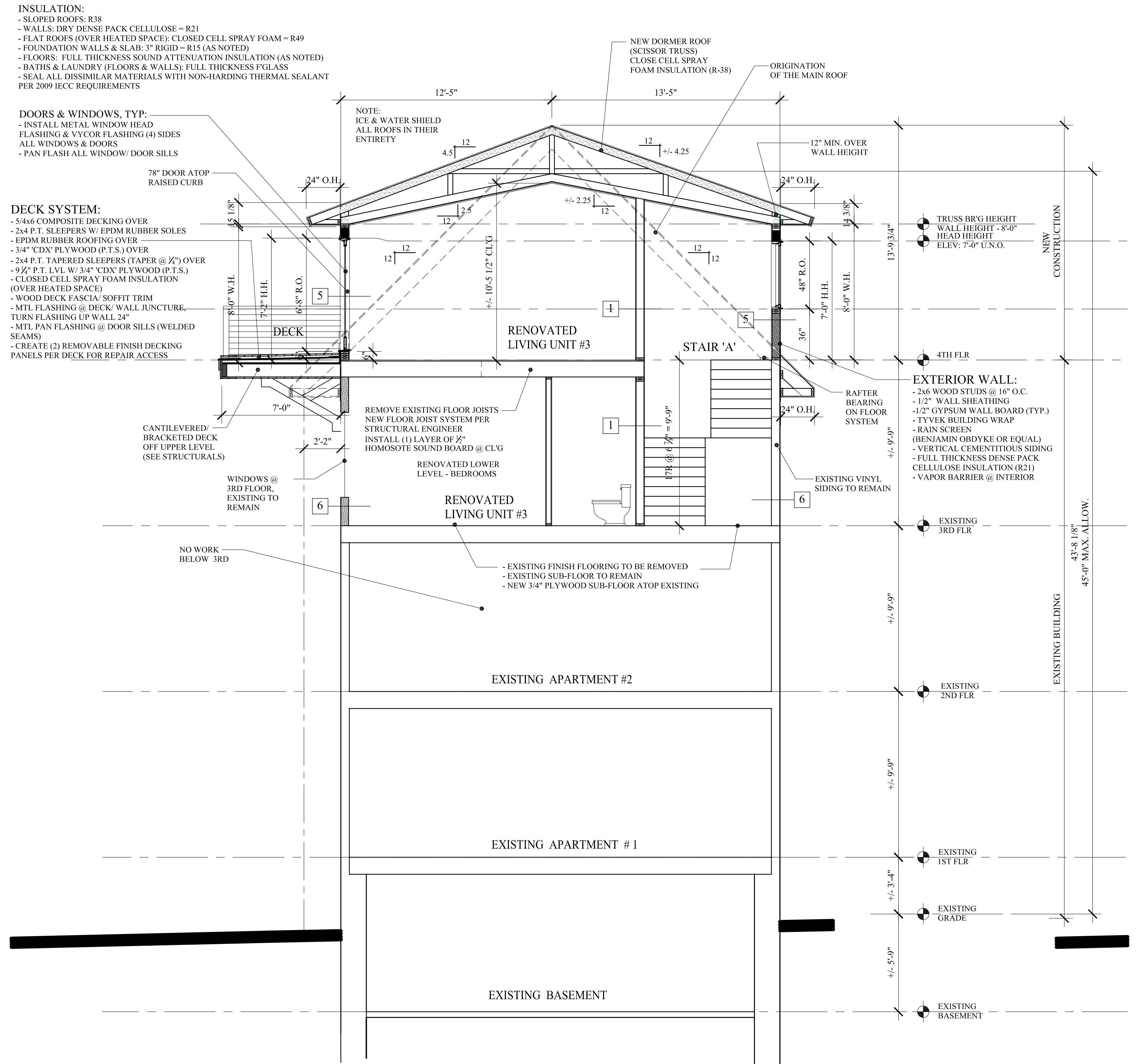
BUILDING SECTIONS

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A-3.0

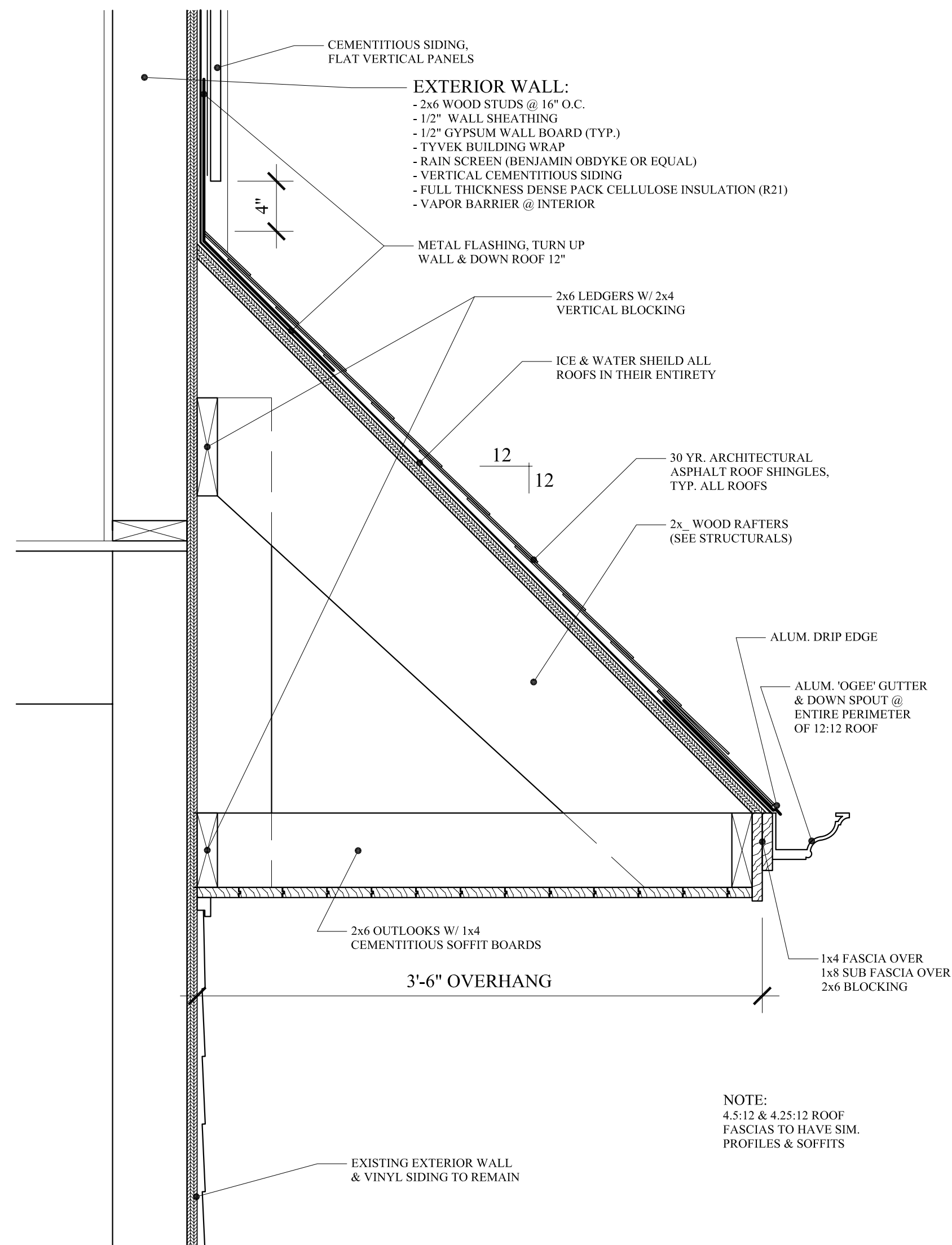


B BUILDING SECTION
A-1.1 SCALE: 1/4" = 1'-0"

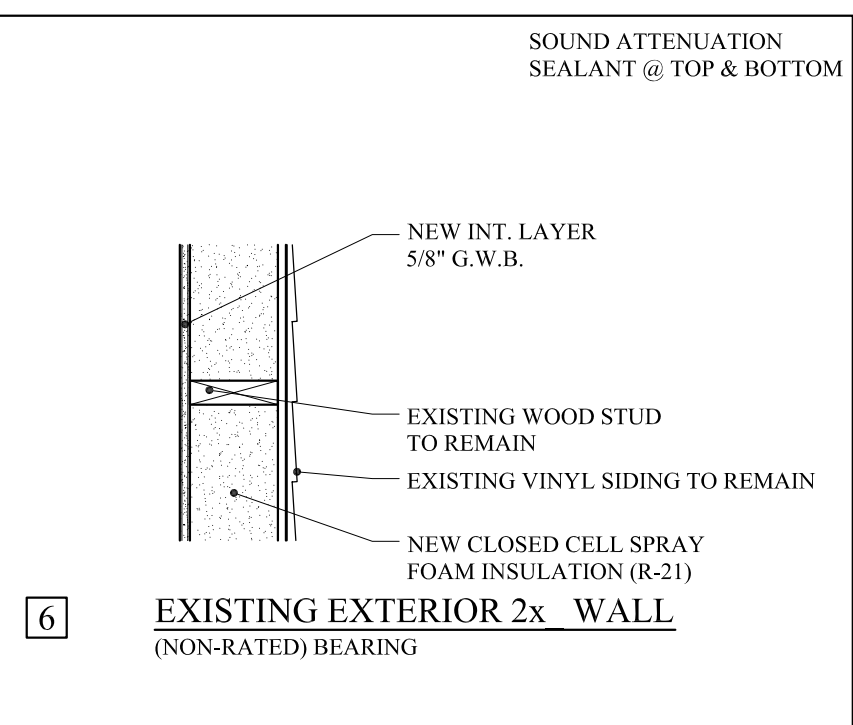
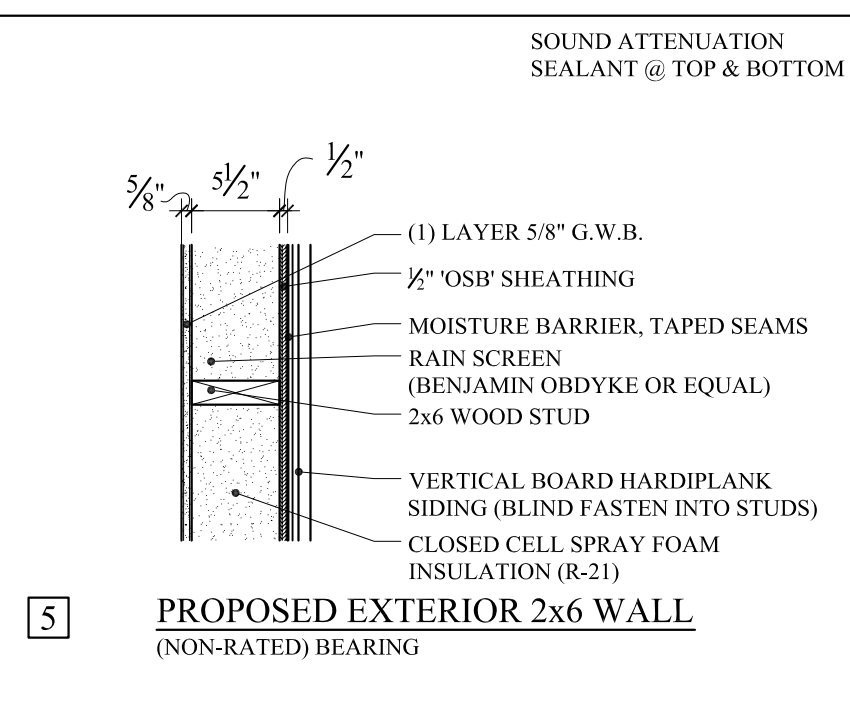
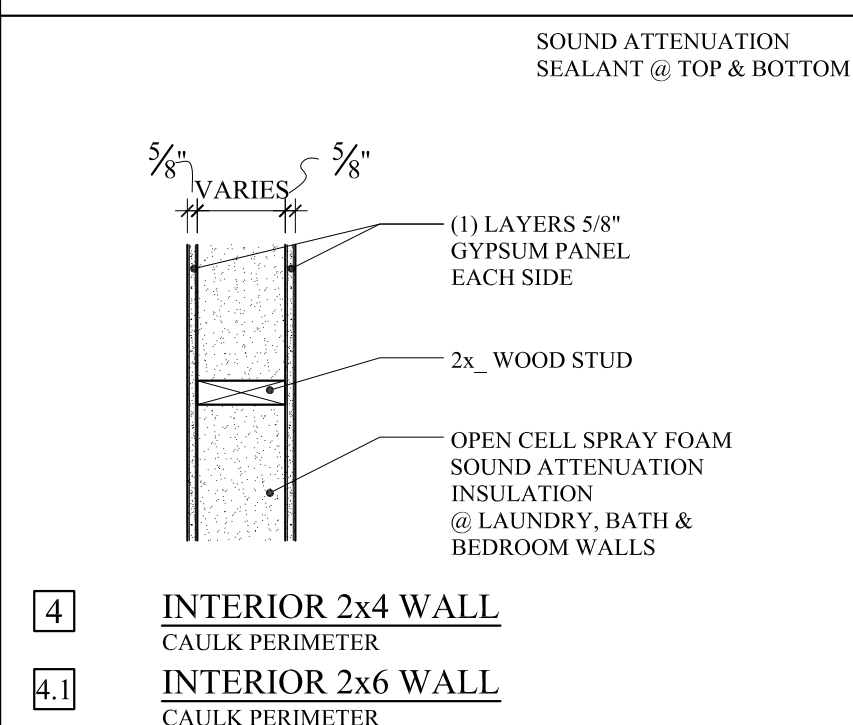
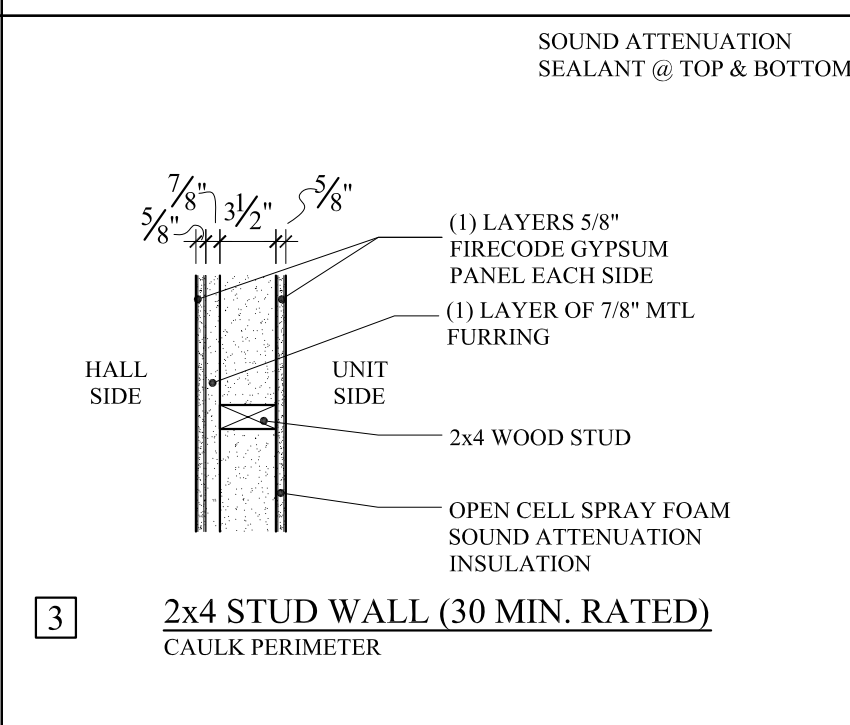
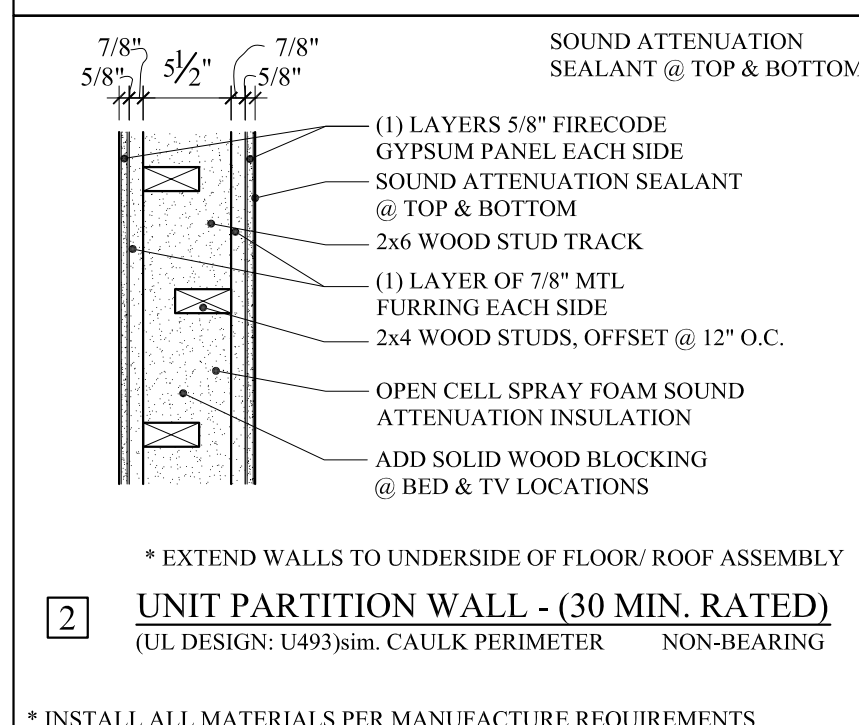
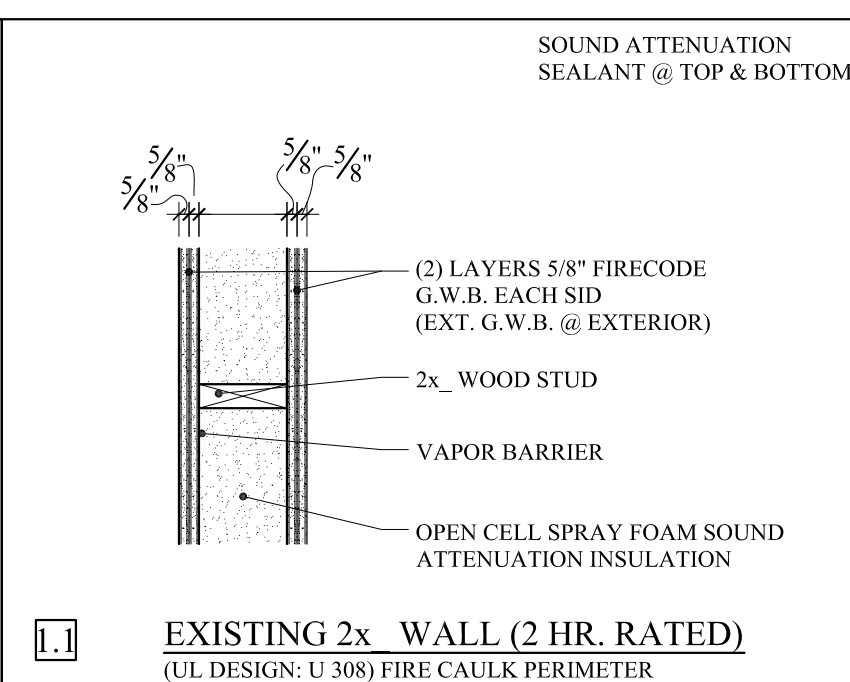
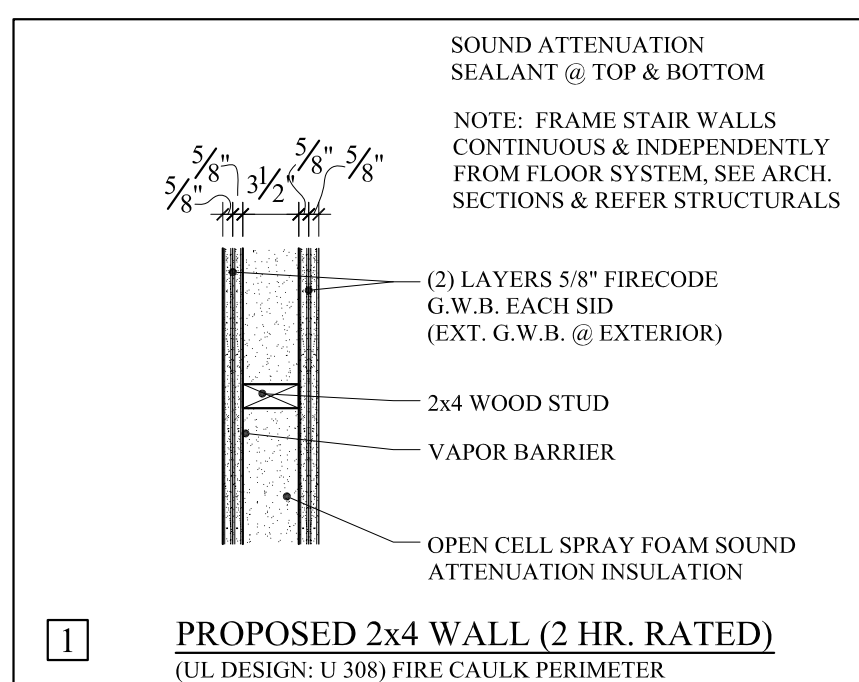
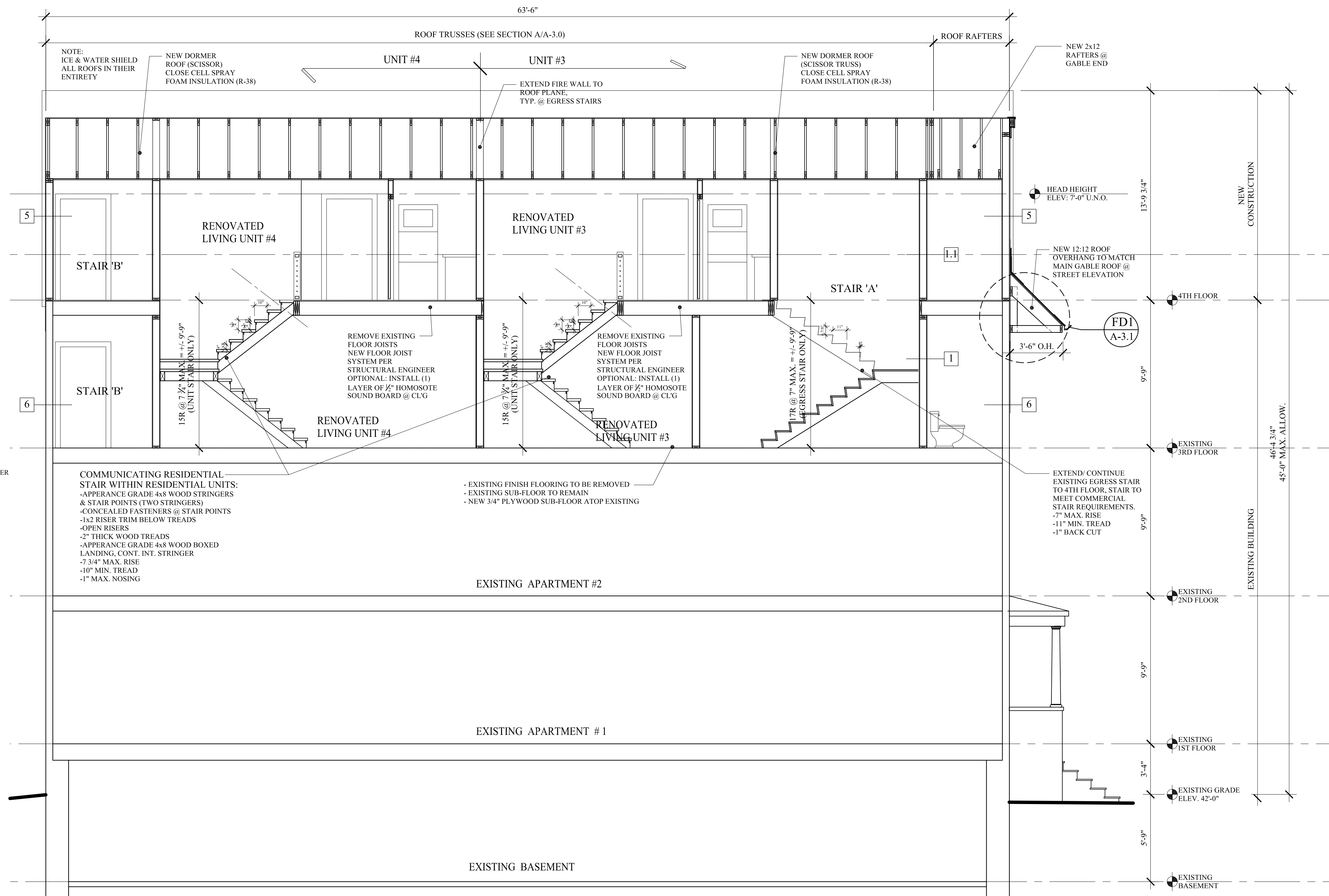


A BUILDING SECTION
A-1.1 SCALE: 1/4" = 1'-0"

PERMIT SET: AUGUST 15, 2012



FD1 FASCIA DETAIL
 A-3 SCALE: 1 1/2" = 1'-0"



C BUILDING SECTION
 A-1 SCALE: 1/4" = 1'-0"

PERMIT SET: AUGUST 15, 2012

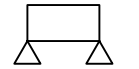









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43 CUMBERLAND AVE. APARTMENTS
 MAIN BUILDING
 MARK SMITH AND STEPHANIE DUNN
 41 CUMBERLAND AVENUE PORTLAND, MAINE







BUILDING SECTIONS
 REVISIONS
 DATE
 MAY 26, 2010
 PROJECT
 43 CUMBERLAND
 DRAWN BY
 MPP
 CHECK BY
 MLM

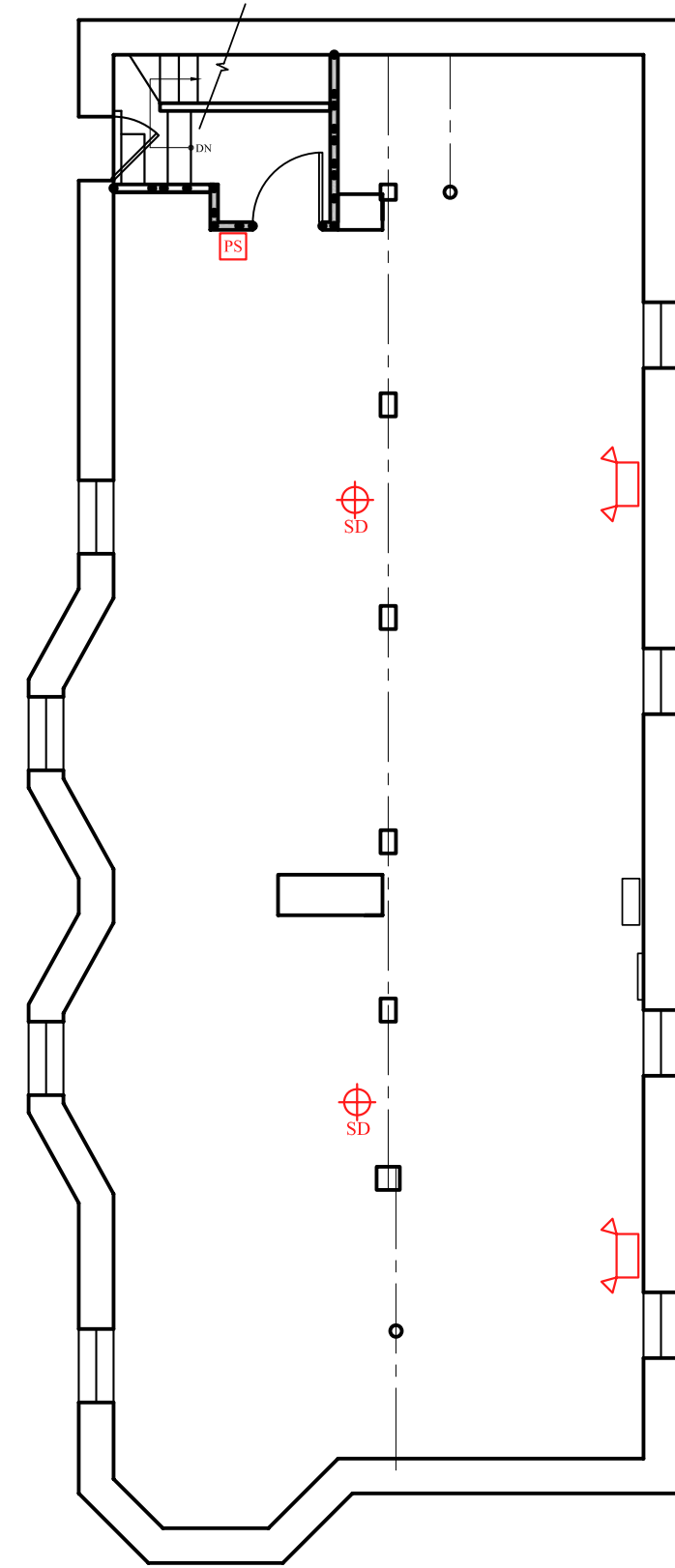
A-3.1

**LIFE SAFETY
LEGEND:**

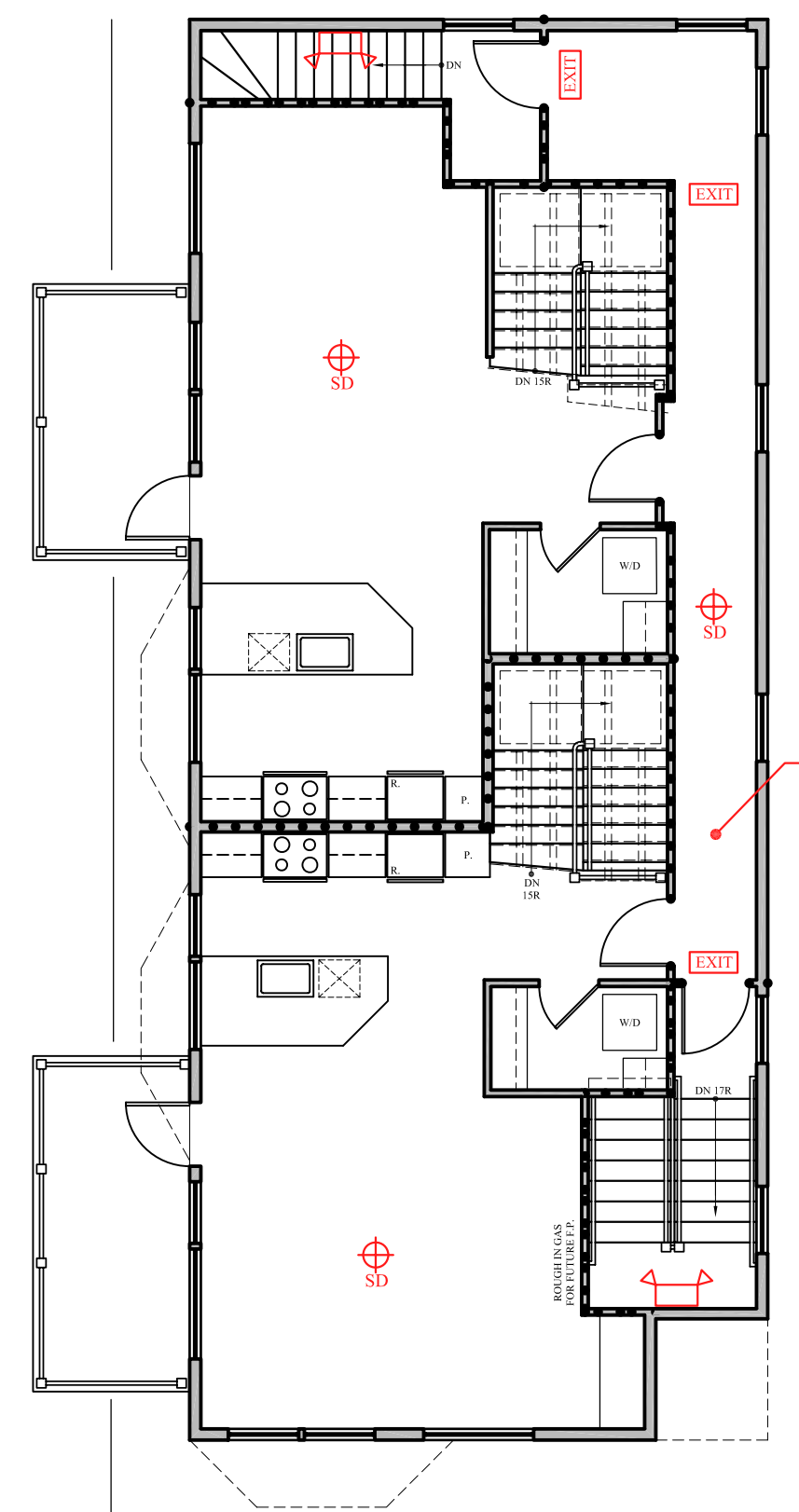
-  EMERGENCY BACKUP LIGHT
-  DATA/PHONE OUTLET (NOT SHOWN)
-  ELECTRICAL OUTLET (NOT SHOWN)
-  EXIT LIGHT
-  SMOKE DETECTOR
-  COMBINATION SMOKE/CARBON MONOXIDE DETECTOR (INSTALL IN ALL SLEEPING UNITS & PER CITY/ STATE REQUIREMENTS)
-  HORN/STROBE
-  STROBE
-  FIRE EXTINGUISHER IN CABINET
-  PULL STATION (VERIFY PULL STATION REQUIREMENTS & LOCATIONS W/ CITY/ STATE)

WALL LEGEND

- EXISTING WALL 
- DEMO WALL 
- PROPOSED WALL 
- FIRE RATED WALL
- 1/2 HOUR 
- 1 HOUR 
- 2 HOUR 

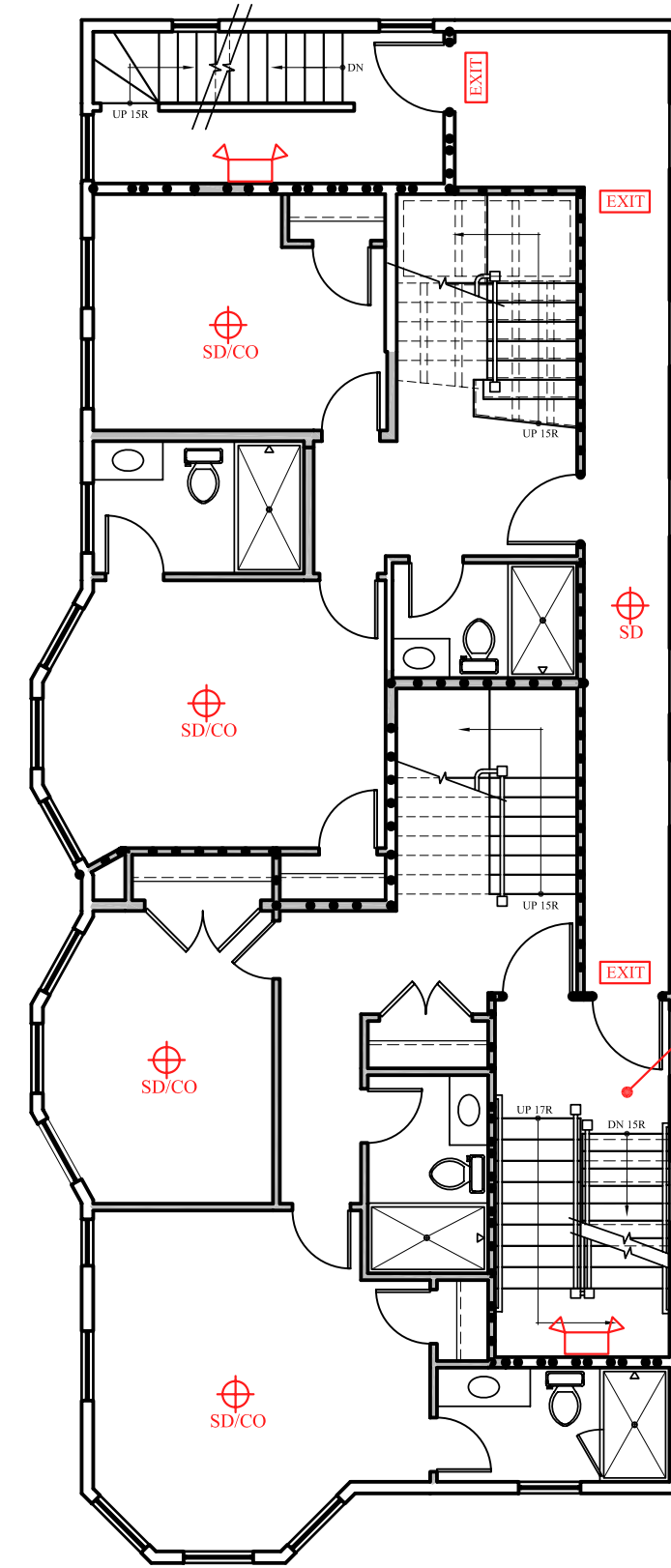


BASEMENT LIFE SAFETY
SCALE: 1/8" = 1'-0"



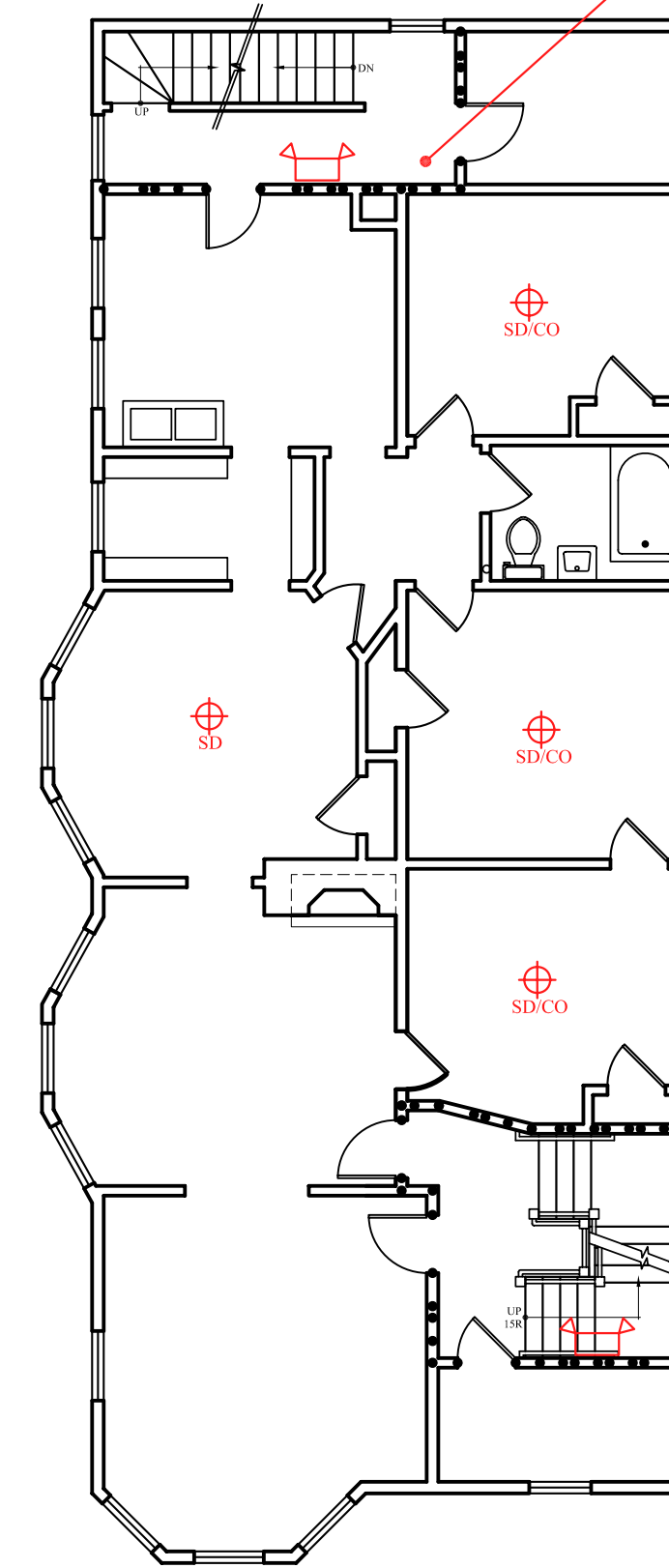
4TH FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

EGRESS CORRIDORS SHALL HAVE CONTINUOUS ILLUMINATION OF 1 FT-CANDLE MIN. PER NFPA 101 (TYP. @ 3RD & 4TH FLOORS)



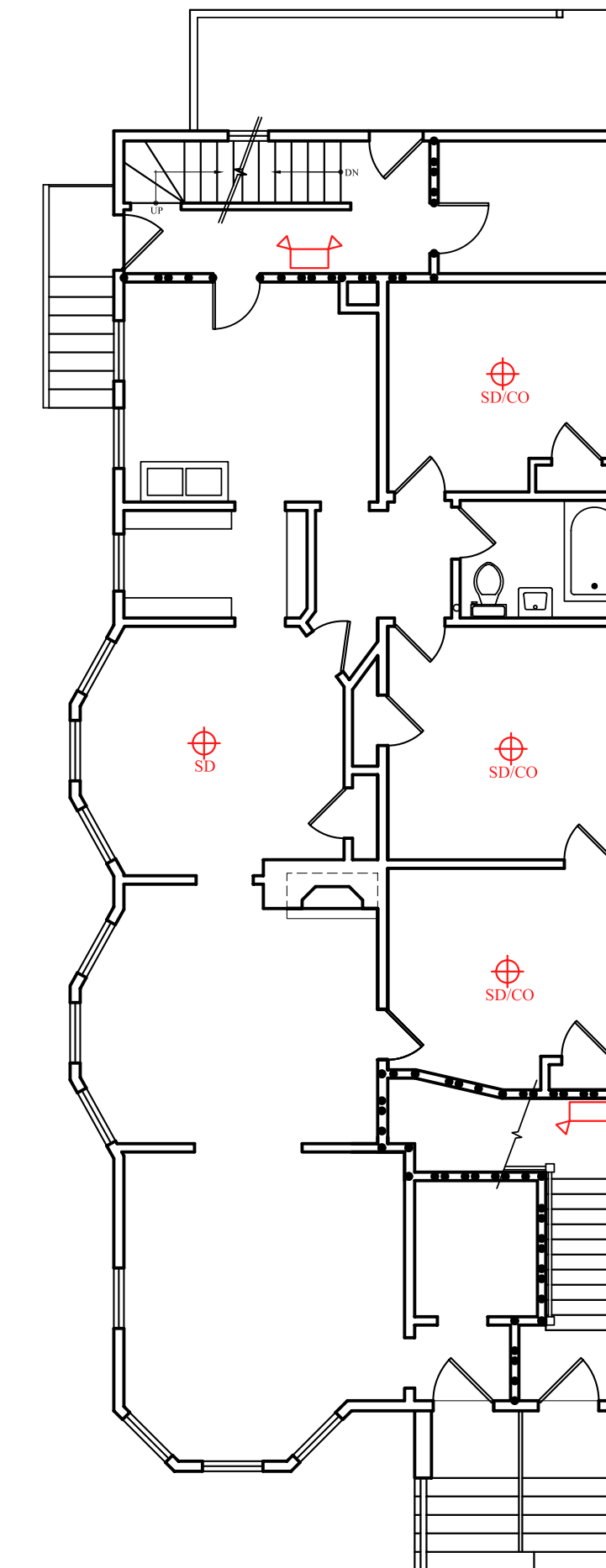
3RD FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

EGRESS STAIRS SHALL HAVE CONTINUOUS ILLUMINATION OF 10 FT-CANDLE MIN. PER NFPA 101 (TYP. @ ALL EGRESS STAIRS)



2ND FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

EGRESS STAIRS SHALL HAVE CONTINUOUS ILLUMINATION OF 10 FT-CANDLE MIN. PER NFPA 101 (TYP. @ ALL EGRESS STAIRS)



1ST FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

INSTALL SPRINKLER SYSTEM PER NFPA THROUGHOUT THE BUILDING

LIFE SAFETY NOTES:

-LIFE SAFETY SYSTEM SHALL BE DESIGNED AND INSTALLED PER NFPA 72 & PER CITY & STATE REQUIREMENTS AND BY A CITY/ STATE APPROVED CONTRACTOR WITH A SEPARATE PERMIT.

-PULL STATIONS TO PROVIDE ACTIVATION OF SMOKE DETECTOR SIGNALING

PERMIT SET: AUGUST 15, 2012



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**43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING**

**MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE**

LIFE SAFETY PLANS

REVISIONS	DATE
	MAY 26, 2010
PROJECT	43 CUMBERLAND
DRAWN BY	MPP
CHECK BY	MLM

A-4.0

GENERAL NOTES

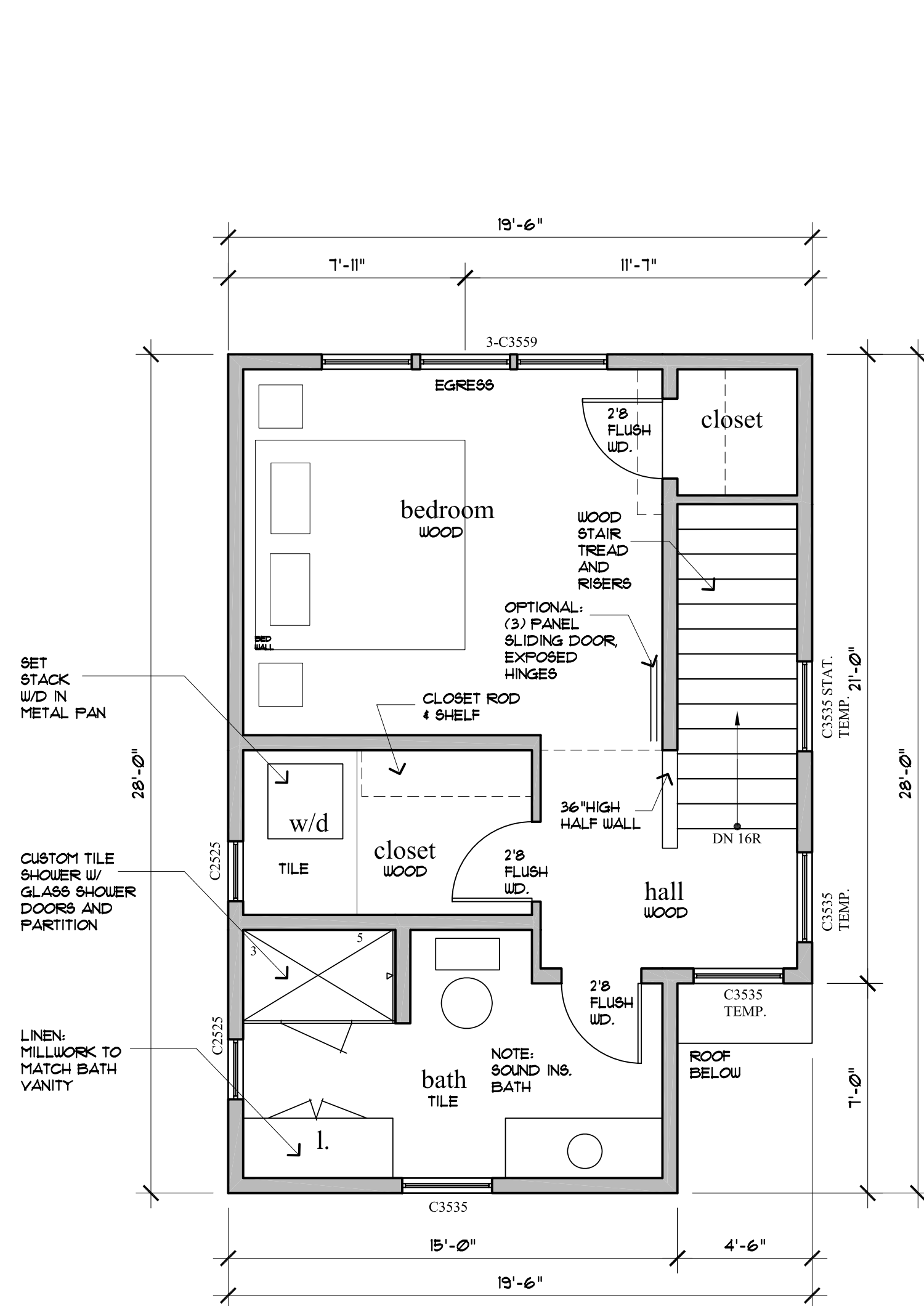
1. THE SPACE SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IRC 2009, IECC, NFPA 101.
2. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS. G.C. SHALL REPORT ANY & ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO WORK.
3. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
5. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN ALL HIGH HUMIDITY AREAS.
6. ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
7. ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70.
8. BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR.
9. G.C. TO PROVIDE FINAL SPACE CLEANING PRIOR TO OCCUPANCY
10. G.C. TO VERIFY & CHECK PROPER FUNCTION OF ALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO HVAC, ELECTRICAL/LIGHTING, & PLUMBING PRIOR TO TENANT OCCUPANCY
11. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
12. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
13. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
14. INSTALL U.L. FIRE-STOPPING SEALANT/SYSTEM EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
15. FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING PENETRATIONS. CAULK JOINTS. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
16. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
17. ALL WINDOWS IN SLEEPING ROOMS SHALL BE EGRESS WINDOWS MEETING THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS: 22" WIDE - 24" HIGH - 5.7 S.F.
18. ALL WINDOWS WITHIN 60° HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
ALL WINDOWS WITHIN 24° OF A DOOR SWING MUST BE TEMPERED.
ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
19. BUILDING INSULATION SHALL BE PROVIDED AS INDICATED & NOTED IF NOT SHOWN IN ITS ENTIRETY THROUGHOUT THE DRAWING SET. INSULATE ALL BATHROOM, LAUNDRY & MECH. ROOM WALLS & VENT PIPES.
20. BEAM, JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT &/OR ENGINEER PRIOR TO WORK.
21. ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.

CODE DATA:

USE GROUP: R-2
 CONSTRUCTION TYPE: 5B
 BUILDING AREA: 1,569 SF
 BUILDING HEIGHT: 3 STORIES

THE STUDIO BUILDING SHALL BE SPRINKLERED PER NFPA 101 AND THE CITY OF PORTLAND SPRINKLER ORDINANCE. PERMITS SHALL BE OBTAINED FROM THE STATE FIRE MARSHALS OFFICE BY THE SPRINKLER CONTRACTOR.

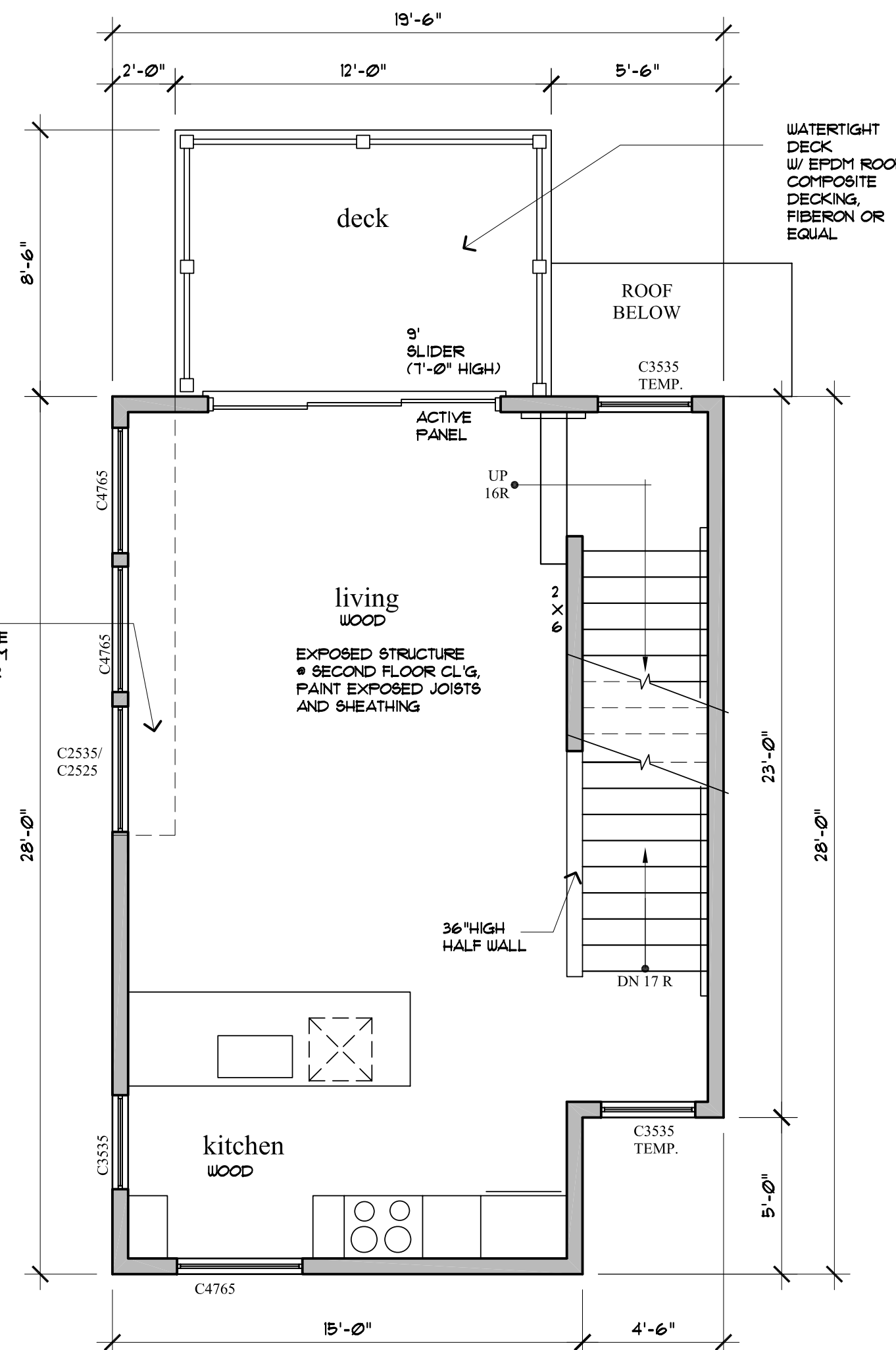
THE WATER SERVICE FOR THE STUDIO BUILDING SHALL BE PIPED UNDERGROUND FROM THE MAIN BUILDING. VERIFY ACCESS WITH APPLICABLE ORDINANCES PRIOR TO WORK.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

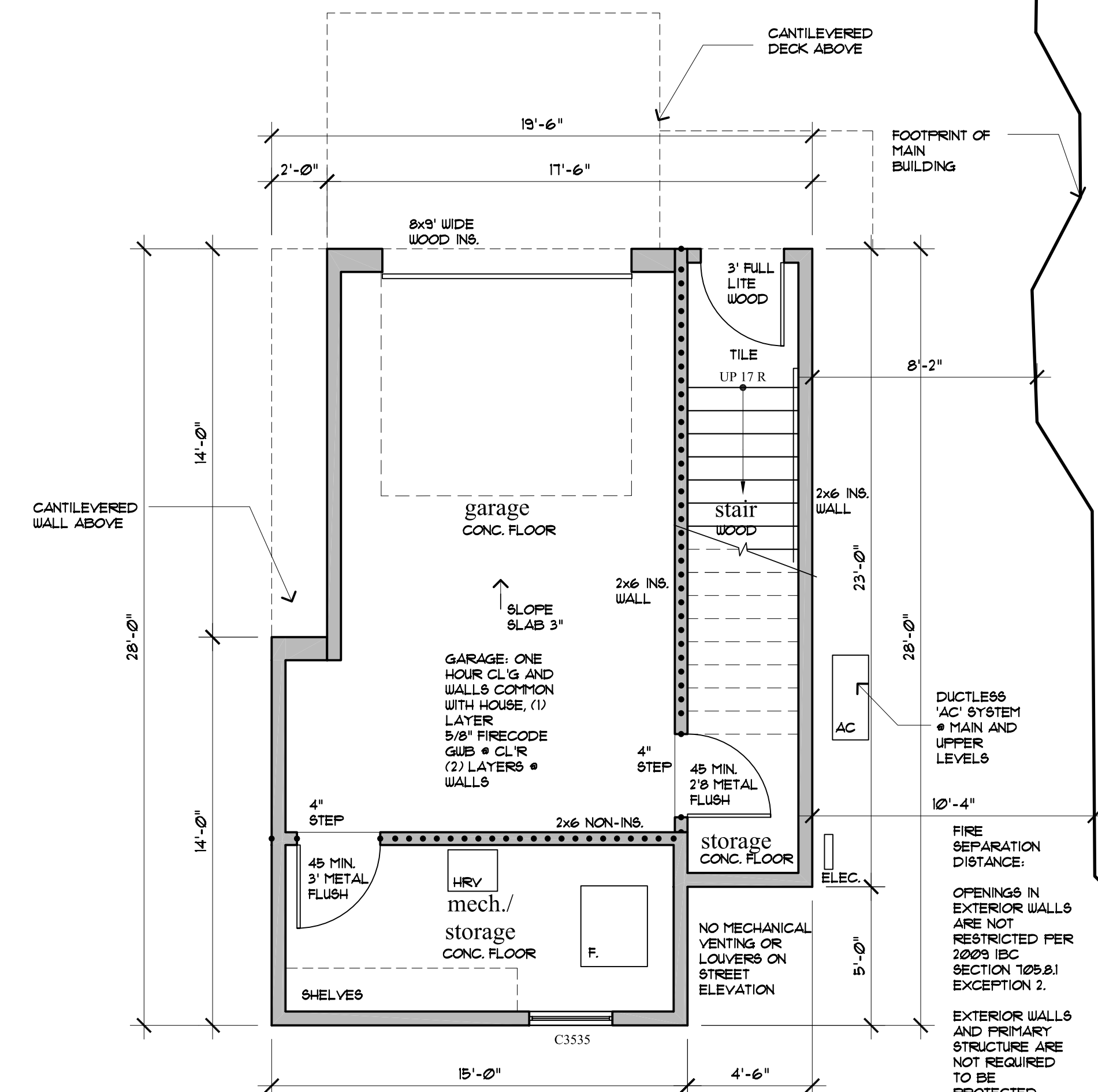
PLAN AREA: 523 SF



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN AREA: 523 SF



LOWER GARAGE LEVEL PLAN

SCALE: 1/4" = 1'-0"

PLAN AREA: 523 SF
 BUILDING TOTAL: 1,569 SF



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43 CUMBERLAND AVE. APARTMENTS
 STUDIO BUILDING
 MARK SMITH AND STEPHANIE DUNN
 41 CUMBERLAND AVENUE PORTLAND, MAINE

PROPOSED PLANS

REVISIONS
 DATE
 PROJECT
 STUDIO
 DRAWN BY
 CHECK BY

**STUDIO
 A-1.0**

PERMIT SET: AUGUST 15, 2012

EXTERIOR ELEVATION LEGEND

[A] CEMENTITIOUS VERTICAL SIDING
4" TW, SMOOTH, PRE-FINISHED

[B] CEMENTITIOUS HORIZONTAL SIDING
7" TW, ROUGH, PRE-FINISHED

[C] CEMENTITIOUS PANELS
4' X 8' WIDE SHEETS, SMOOTH,
FIELD CUT, ISOLATE WITH MANUFACTURE
JOINT REGLETS AND FLASHING,
FACTORY PRE-FINISH

AZEK EXTERIOR FINISH
SMOOTH, FRIEZE, FASCIA, SOFFITS AND RUNNING
TRIM, FIELD CUT, ISOLATE WITH MANUFACTURE,
CONTINUOUS WHITE ALUMINUM FLASHING,
FACTORY PRE-FINISH.

COMPOSITE DECKING AS PRIVACY
SCREEN, FINISH TWO SIDES;
FIBRON OR EQUAL

ASPHALT ROOF SHINGLES,
CERTAINTED LANDMARK
30 YEAR SHINGLE, SERIES AT HIGH WIND
EXPOSURE

NOTES:
SIDING 'A' & 'B': PRE-FINISHED SIDING; ONE COAT
PRIMER AND FIRST PAINT COAT BY MANUFACTURE OF
MANUFACTURE STANDARD COLORS; FINISH PAINT COAT
BY GENERAL CONTRACTOR

SIDING INSTALLATION AND FLASHING SHALL BE
INSTALLED PER THE MANUFACTURES
RECOMMENDATIONS TO INSURE A PROJECT WARRANTY

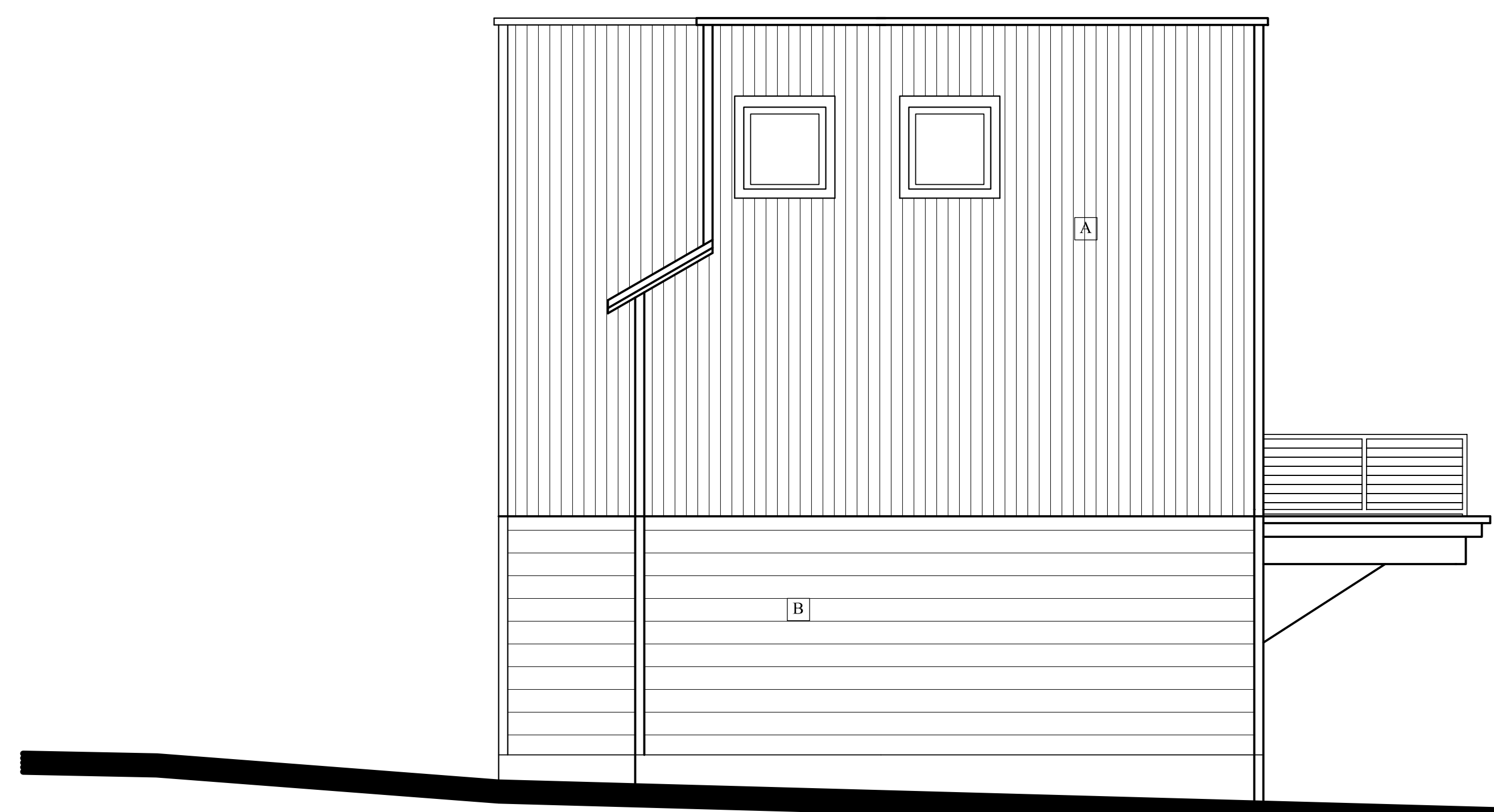
THE GENERAL CONTRACTOR AND MANUFACTURE
REPRESENTATIVE SHALL CONDUCT A SITE
INSTALLATION MEETING PRIOR TO WORK

ALL FASCIA, RAKE, SOFFIT & DECK TRIM SHALL BE AZEK
TRIM OR EQUAL

ALL WINDOW & DOOR TRIM SHALL BE HARDFRANK
TRIM, CONCEALED FASTENERS

FLASHING:
- INSTALL ALUM. HEAD FLASHING AT ALL WINDOWS
AND DOORS
- PVCOR FLASHING (4) SIDES ALL WINDOWS & DOORS
- PAN FLASH ALL DECK DOOR SILL
- INTEGRATE WITH RAIN SCREENS
PER MANUFACTURES DETAILS

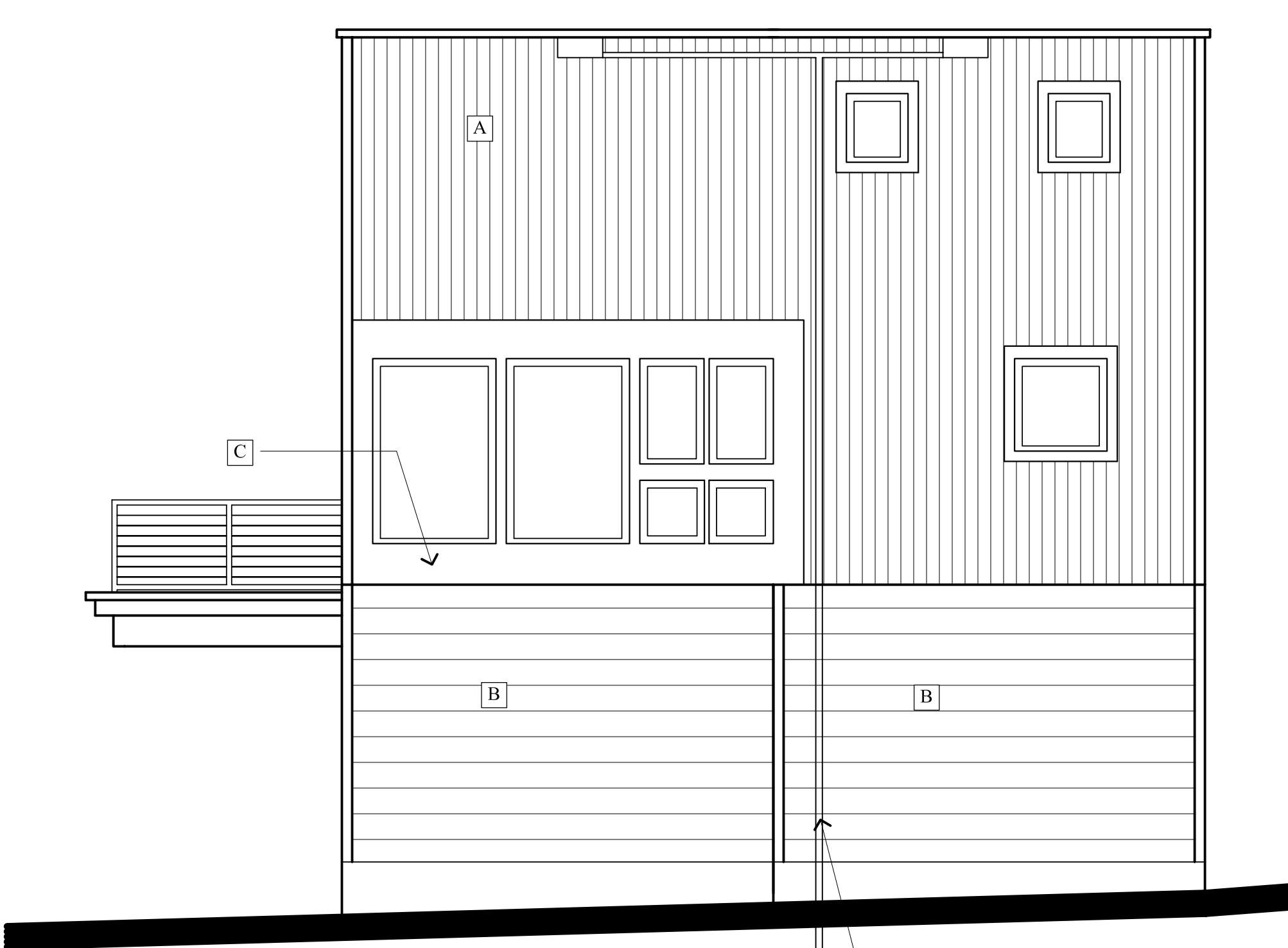
ICE AND WATER SHIELD FLASHING:
- COVER ALL PITCHED ROOFS W/ ICE & WATER SHIELD
- FLASH ALL ROOF/WALL JUNCTIONS W/ ICE & WATER SHIELD,
2 COURSES @ FASCIAS
- SEPARATE ALL EPDM FROM ICE & WATER SHIELD W/ ALUM. SHEET BOND
BREAKER
- TURN ALL EPDM UP WALLS 24"



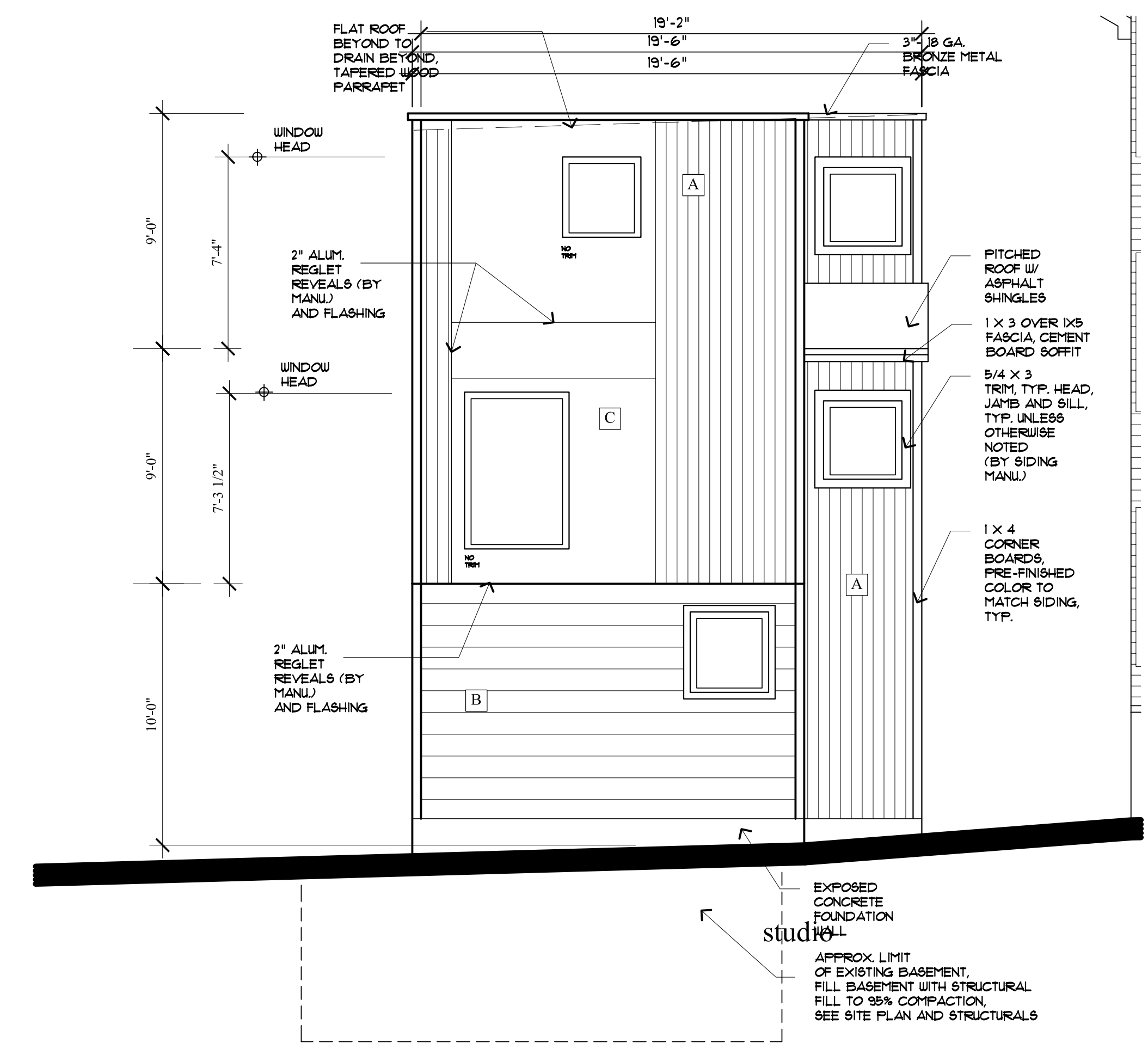
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PERMIT SET: AUGUST 15, 2012

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**43 CUMBERLAND AVE. APARTMENTS
STUDIO BUILDING**

MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

PROPOSED PLANS

REVISIONS

DATE: JULY 24, 2012

PROJECT: 43

STUDIO: MLM

DRAWN BY: MLM

CHECK BY: MLM

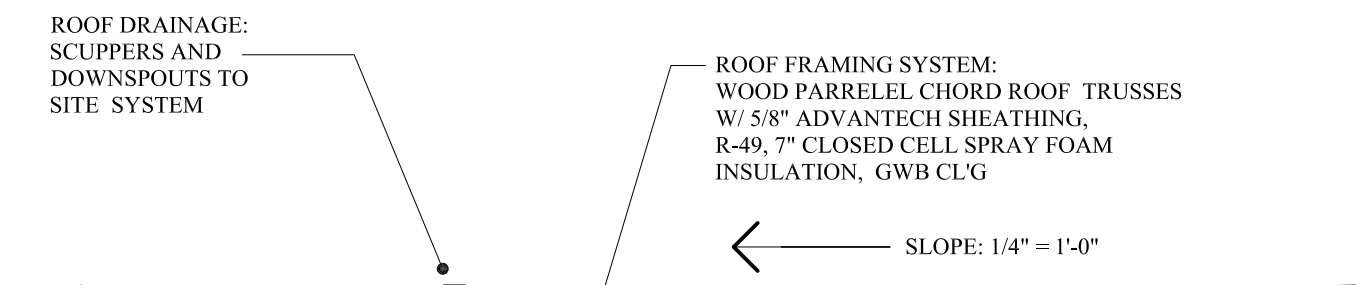
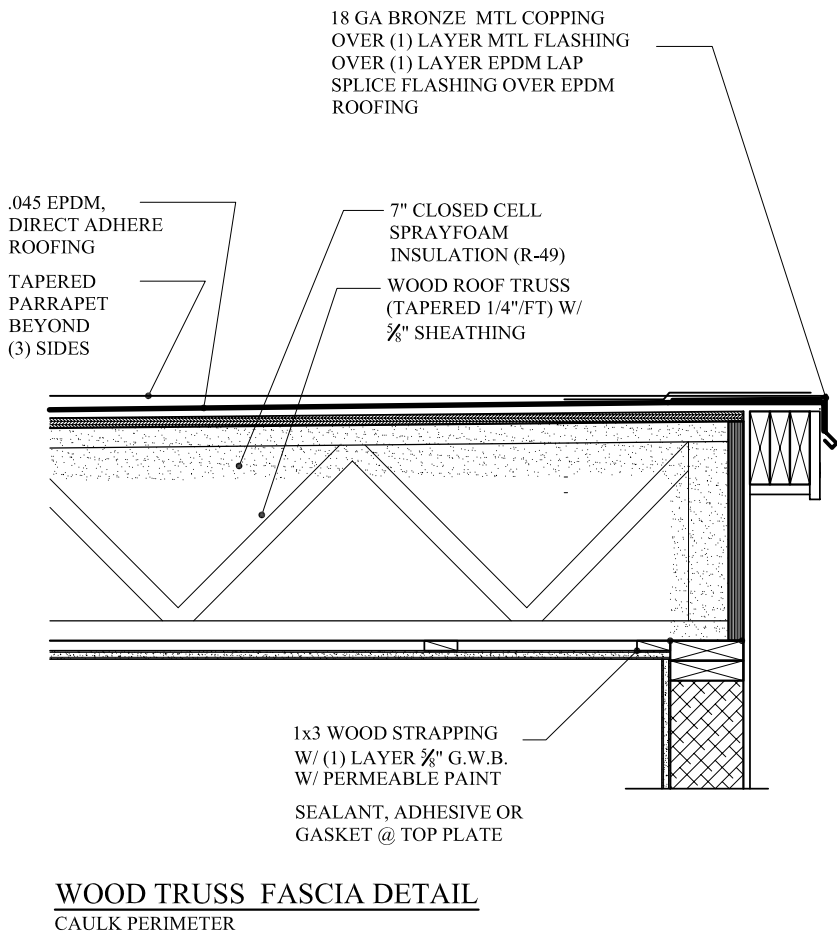
**STUDIO
A-2.0**

WINDOW NOTES:

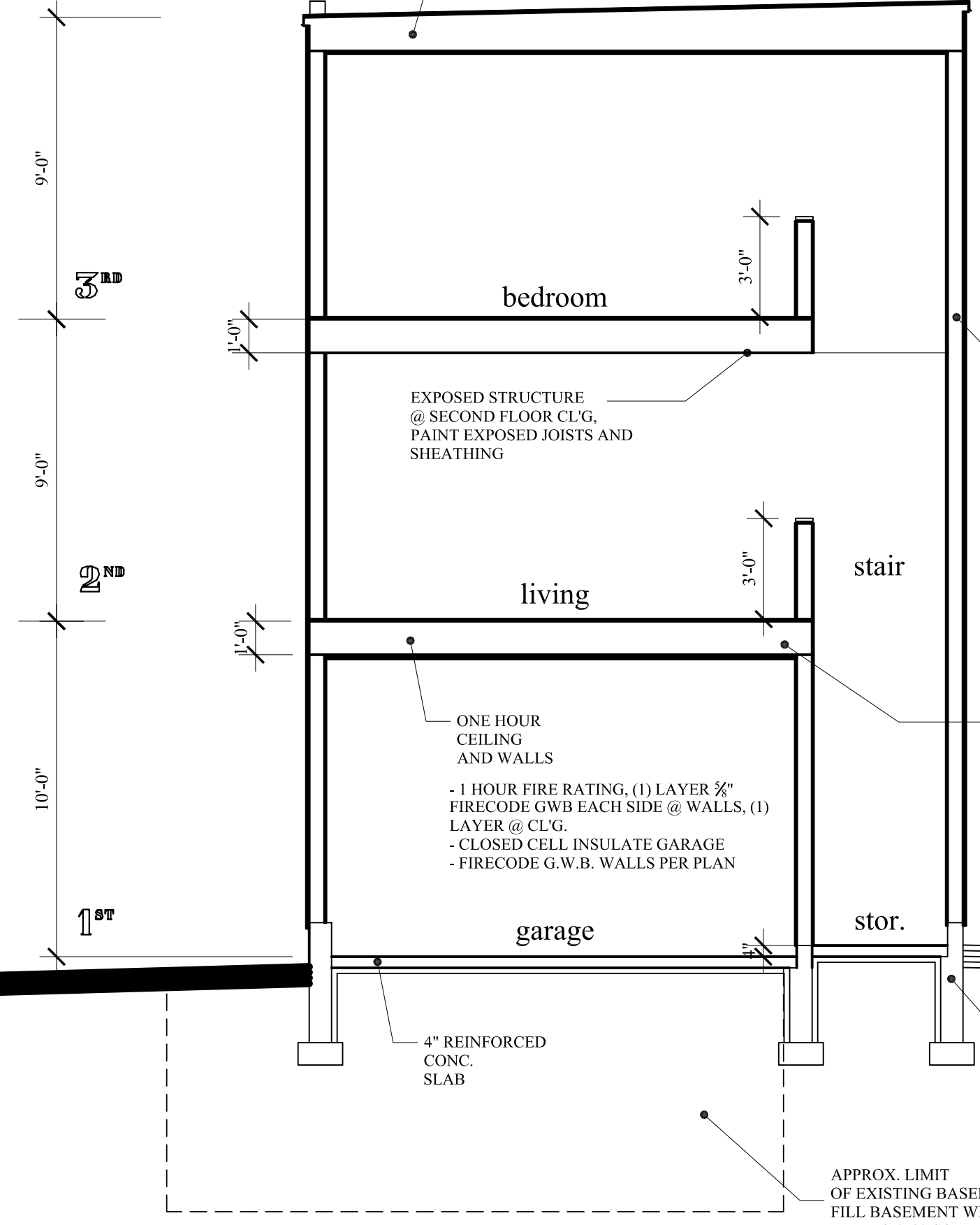
1. ALL WINDOWS & DOORS SHALL BE PELLA 'PRO-LINE' SERIES.
2. COLOR:
INTERIOR: NATURAL PINE
EXTERIOR: MATCH THE MAIN BUILDING
3. GRILLS: NONE
4. EXTENSION JAMBS:
VARIES - APPLY PER WALL THICKNESS
5. GLAZING
HIGH PERFORMANCE LOW-E GLASS W/ ARGON
6. CASINGS:
INTERIOR: NO CASING
EXTERIOR: CASING BY G.C. PER PLAN
7. SCREENS: (SHIP/ PACKAGE SEPARATE FROM WINDOWS)
HIGH TRANSLUCENT ALUMINUM MESH INSECT SCREENS OR EQUAL
DOUBLE HUNGS TO BE HALF SCREEN - COLOR TO MATCH EXTERIOR
CASEMENTS & AWNINGS TO HAVE INTERIOR METAL SURROUND - FINISH TO MATCH INTERIOR
8. HARDWARE:
COASTAL APPLICATION HARDWARE
SATIN NICKEL - VERIFY W/ OWNER
STYLE : MANUFACTURE STANDARD
9. G.C. TO VERIFY WINDOW R.O. W/ WINDOW SUBMITTAL PRIOR TO CONSTRUCTION.
10. G.C. SHALL SUBMIT WINDOW SPECIFICATIONS TO ARCHITECT FOR APPROVAL PRIOR TO ORDER.
11. ADD FOR ALL AVAILABLE DP UPGRADES FOR COASTAL APPLICATIONS.
12. ALL FACTORY MULLS SHALL BE LVL REINFORCED.
13. VYCOR FLASHING @ ALL WINDOW & DOOR, HEAD, JAMB & SILLS.



Cumberland Avenue project elevation



ROOF:
- COVER ROOF W/ EPDM RUBBER (PVC WHITE MEMBRANE OPTION)
- FLASH ALL ROOF WALL JUNCTURES & VALLEYS W/ ICE & WATER SHIELD.
- ISOLATE FROM EPDM WITH ALUM. SHEET
- ALL ROOF DRIP EDGES SHALL BE BRONZE METAL



FLASHING:
- INSTALL ALUM. HEAD FLASHING AT ALL WINDOWS AND DOORS
- VYCOR FLASHING (4) SIDES ALL WINDOWS & DOORS
- PAN FLASH ALL DECK DOOR SILL
- INTEGRATE WITH RAIN SCREEN PER MANUFACTURES DETAILS

EXTERIOR WALL:
- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" ZIP WALL SHEATHING
- 1/2" GYPSUM WALL BOARD
- RAIN SCREEN (BENJAMIN OBIDYKE OR EQUAL)
- CEMENTITIOUS SIDING
- FULL THICKNESS DENSE PACK CELLULOSE INSULATION (R21)
- VAPOR BARRIER @ INTERIOR

FLOORS:
WOOD 1" JOISTS
W/ 3/4 ADVANTECH SHEATHING

BUILDING SECTION
SCALE: 1/4" = 1'-0"

PERMIT SET: AUGUST 15, 2012



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43 CUMBERLAND AVE. APARTMENTS
STUDIO BUILDING

MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

PROPOSED ELEVATIONS &
WALL TYPES

REVISION	DATE
	JULY 24, 2012
PROJECT	43
STUDIO	MLM
DRAWN BY	MLM
CHECK BY	MLM

STUDIO
A-3.0