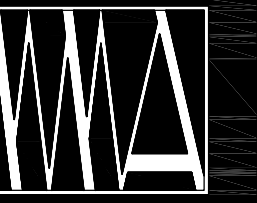


43 CUMBERLAND AVENUE APARTMENTS

41 CUMBERLAND AVENUE

PORTLAND, MAINE



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SYMBOLS

	ROOM NUMBER
	DOOR NUMBER
	WINDOW TYPE
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	CASEWORK ELEVATION
	INTERIOR ELEVATION
	VERTICAL ELEVATION
	PARTITION TYPE
	COLUMN CENTER LINE

MATERIALS

	CONCRETE
	CONCRETE MASONRY UNIT
	GRAVEL
	SOIL
	STEEL
	WOOD FRAMING
	WOOD BLOCKING
	PLYWOOD
	GYPSUM BOARD
	SAT
	BATT INSULATION
	RIGID INSULATION
	EXPANSION MATERIAL
	FINISH WOOD

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C1	BOUNDARY SURVEY
C1	SITE, GRADING & UTILITY PLAN
C2	DETAILS SHEET
C3	POST DEVELOPMENT PLAN
ARCHITECTURAL DRAWINGS	
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EC-1.1	EXISTING FLOOR PLANS
EC-1.2	EXISTING ELEVATIONS
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A-1.1	PROPOSED FLOOR PLANS
A-2.0	PROPOSED ELEVATIONS
A-2.1	PROPOSED ELEVATIONS
A-3.0	BUILDING SECTIONS
A-3.1	BUILDING SECTIONS
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STUDIO BUILDING:	
A-1.0	FLOOR PLANS
A-2.0	ELEVATIONS
A-3.0	BUILDING SECTIONS

ABBREVIATIONS

AB	ANCHOR BOLT	FDKB	FIRE DEPARTMENT KEY BOX	MAX	MAXIMUM	S	SOUTH
AFF	ABOVE FINISH FLOOR	FDN	FOUNDATION	MECH	MECHANICAL	SAT	SUSPENDED ACOUSTICAL
ALUM OR AL	ALUMINUM	FX	FIRE EXTINGUISHER	MFR	MANUFACTURER	SC	TILE CEILING
BIT	BITUMINOUS	FFE	FINISH FLOOR ELEVATION	MIN	MINIMUM	SC	SHOWER CURTAIN
BM	BENCH MARK	FIN	FINISH	MISC	MISCELLANEOUS	SD	SOAP DISPENSER
BOT	BOTTOM	FIN FL OR FF	FINISH FLOOR	MRGB	MOISTURE RESISTANT GYPSUM BOARD	SCHED	SCHEDULE
BRG	BEARING	FIN GR	FINISH GRADE	MTL	METAL	SECT	SECTION
BRK	BRICK	FL	FLOOR	N	NORTH	SHT	SHEET
C	CARPET	FR	FIRE RATING	NA	NOT APPLICABLE	SIM	SIMILAR
CAB	CABINET	FRMG	FRAMING	NC	NOT IN CONTACT	SND	SANITARY NAPKIN DISPOSAL
CC	CENTER TO CENTER	FT	FEET (FOOT)	NO	NUMBER	SQ	SQUARE
CL	CENTER LINE	FV	FIELD VERIFY	NTS	NOMINAL	STD	STANDARD
CLG	CEILING	GA	GAUGE	NTS	NOT TO SCALE	STL	STEEL
CONC	CONCRETE	GALV	GALVANIZED	OA	OVERALL	STRUCT	STRUCTURAL
CONT	CONTINUOUS	GB	GRAB BARS	OC	ON CENTER	SV	SHEET VINYL
DBL	DOUBLE	OD	OUTSIDE DIAMETER	OPNG	OPENING	T	TEMPERED (GLASS)
DIA	DIAMETER	OPP	OPPOSITE	OPNG	OPENING	THK	THICKNESS
DIM	DIMENSION	HC	HANDICAP	OPNG	OPPOSITE	TO	TOP OF
DNA	DOES NOT APPLY	HM	HOLLOW METAL	PAINT	PAINT	TOB	TOP OF BEAM
DTL	DETAIL	HORZ	HORIZONTAL	PTD	PAINTED	TOM	TOP OF MASONRY
DWG	DRAWING	HT	HEIGHT	PL	PLATE	TOW	TOP OF WALL
E	EAST	IF	INSIDE FACE	PLY WD	PLYWOOD	TP	TOILET PAPER DISPENSER
EA	EACH	IN	INCHES	PNL	PANEL	TUON	TYPICAL UNLESS OTHERWISE NOTED
EF	EACH FACE	INSUL	INSULATION	P.T.	PRESSURE TREATED	TYP	TYPICAL
EL	ELEVATION	INT	INTERIOR	PTN	PARTITION	VB	VAPOR BARRIER
ELEC	ELECTRICAL	JNT OR JT	JOINT	RE	REFER	VCT	VINYL COMPOSITION TILE
ELEV	ELEVATOR	LOC	LOCATION	REF	REFRIGERATOR	VERT	VERTICAL
EHO	ELECTRO-MAGNETIC HOLD OPEN			REINF	REINFORCED	W	WEST
ETR	EXISTING TO REMAIN			REQD	REQUIRED	W/	WITH
EQ	EQUAL			RM	ROOM	WC	WATER CLOSET
EW	EACH WAY			RO	ROUGH OPENING	WD	WOOD
EXT	EXTERIOR						

GENERAL NOTES

- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, IECC, NFPA 101, ANSI, UFAS, HUD/AG, ADA/AG, MPS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
- CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
- INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
- ALL GRAB BARS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS AT ANY POINT.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD IN BATHROOMS & HIGH HUMIDITY AREAS. MOISTURE RESISTANT FIRECODE G.W.B. @ ALL FIRE RATED BATH ROOMS. SHOWERS ALL SIDES TO HAVE DURAROCK BACKING.
- ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
- INSTALL U.L. SLEEVE FIRE-STOPPING SYSTEM & FIRE RATED SEALANTS EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
- FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING U.L. RATED PENETRATIONS, CAULK JOINTS. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
- CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR/CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, STAIRWELL WALLS, ETC.
- REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- PROJECT ASSUMES ALL EXISTING HAZARDOUS MATERIALS HAVE BEEN REMOVED PRIOR TO THE COMMENCEMENT OF WORK. ALL HAZARDOUS MATERIAL REMOVAL IS THE RESPONSIBILITY OF THE OWNER.
- DESIGNATED EGRESS WINDOWS IN SLEEPING ROOMS SHALL MEET THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS OF 22" WIDE, 24" HIGH & 5.7 SF CLEAR OPENING. ALL BEDROOMS SHALL CONTAIN A MINIMUM OF (1) EGRESS OPENING.
- WINDOW SAFETY GLAZING SHALL BE LOCATED AS FOLLOWS, BUT NOT LIMITED TO: (IBC 2009 SEC. 2406)
ALL WINDOWS WITHIN 60" HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
ALL OPERABLE WINDOWS ABOVE 72" FINISH GRADE & SILL BELOW 24" A.F.F. SHALL HAVE A 4" OPENING LIMITATION
- BUILDING INSULATION SHALL BE PROVIDED AS INDICATED & NOTED IF NOT SHOWN IN ITS ENTIRETY THROUGHOUT THE DRAWING SET. INSULATE ALL BATHROOM, LAUNDRY, MECH. ROOM WALLS, AND ROOF DRAINS THRU BUILDING.
- BEAM, JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT &/OR ENGINEER PRIOR TO WORK.
- ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.

PROJECT NOTES

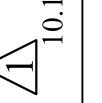
- SCOPE OF WORK:
MAIN BUILDING:
EXISTING 4 STORY BUILDING WITH 3 RESIDENTIAL UNITS.
THE PROPOSAL INCLUDES A 4TH FLOOR DORMER ROOF EXPANSION, 3RD AND 4TH FLOOR INTERIOR RENOVATIONS AND THE ADDITION OF A 4TH RESIDENTIAL LIVING UNIT. THE PROPOSAL ALSO INCLUDES THE INSTALLATION OF A FIRE SUPPRESSION SYSTEM PER NFPA 13R. NO INCREASE IN STORIES & NO CHANGE OF USE IS PROPOSED.
- STUDIO:
CONSTRUCT A FREE STANDING LIVING UNIT PER PROPOSED DRAWINGS.
- THE PROJECT IS BEING SUBMITTED FOR A LEVEL 1 MINOR RESIDENTIAL DEVELOPMENT REVIEW & LEVEL 1 MINOR SITE PLAN DEVELOPMENT REVIEW
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE, EXTERIOR AND INTERIOR WORK.
WORK SHALL ALSO INCLUDE:
A. NFPA 13 SPRINKLER SYSTEMS PER THE FLOOR PLANS.
B. MECHANICAL SYSTEMS (HVAC)
C. ELECTRICAL SYSTEMS
D. PLUMBING SYSTEMS
MECHANICAL/ ELECTRICAL INSTALLATIONS ARE TO BE PERFORMED ON A DESIGN-BUILD BASIS.
ALL SYSTEMS SHALL BE APPROVED BY THE OWNER PRIOR TO WORK
- THE FIRE ALARM SYSTEM SHALL BE INSTALLED ACCORDINGLY TO MEET NFPA 72 AND CITY OF PORTLAND FIRE DEPARTMENT REQUIREMENTS. COORDINATE REQUIREMENTS WITH PORTLAND FIRE CHIEF.

43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING

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41 CUMBERLAND AVENUE PORTLAND, MAINE

TITLE SHEET & GENERAL NOTES

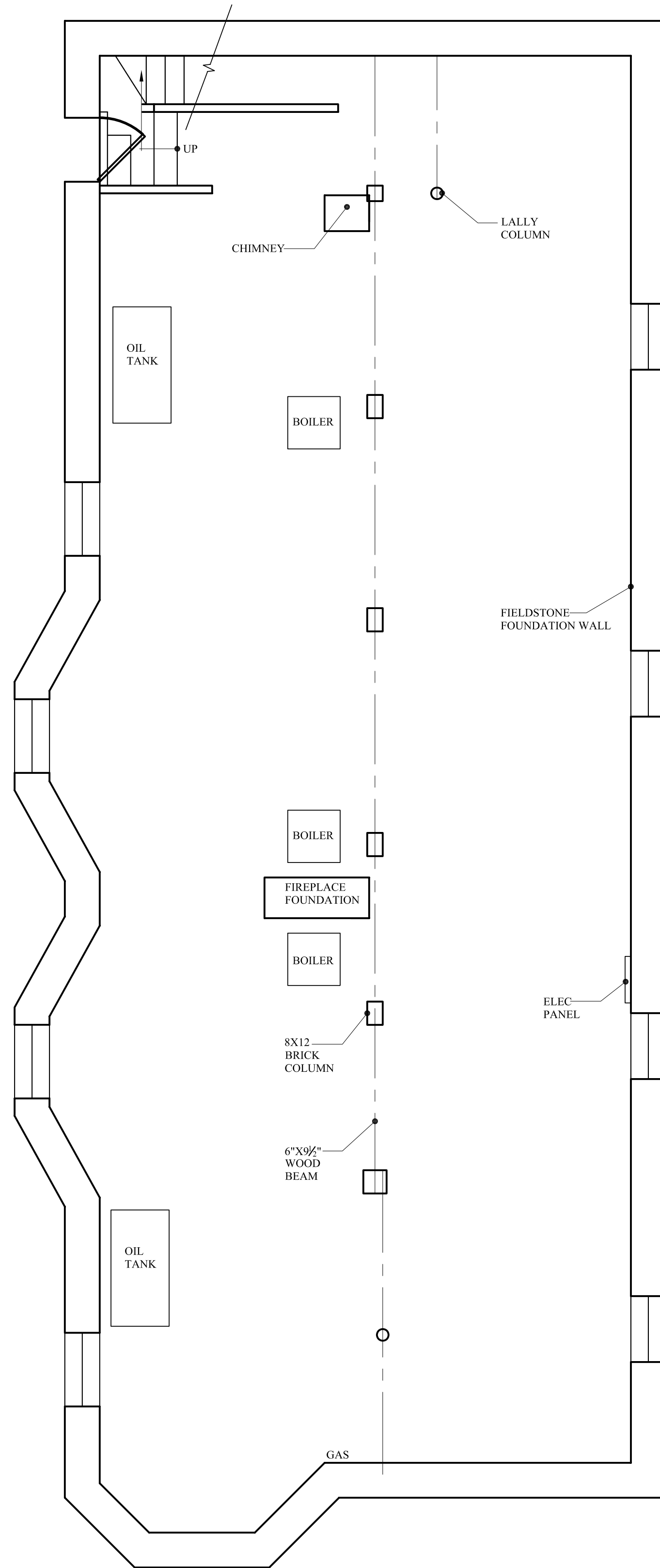
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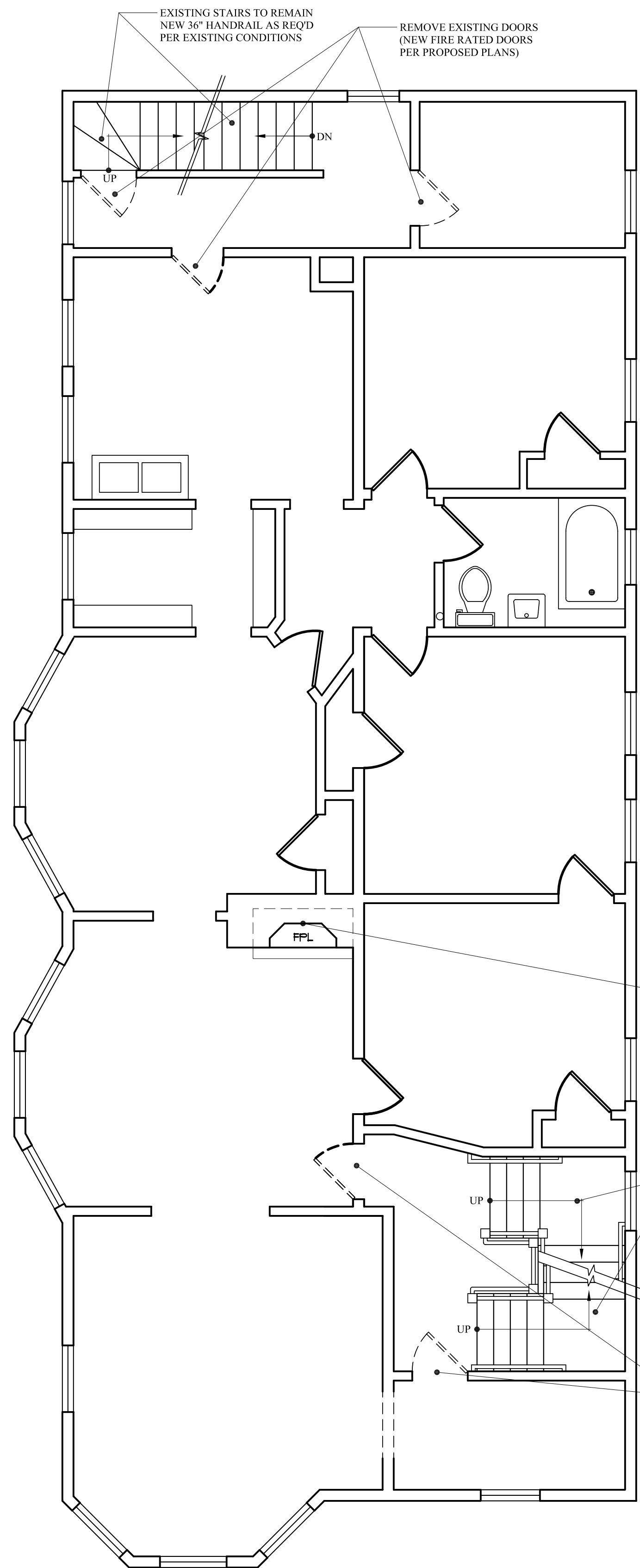
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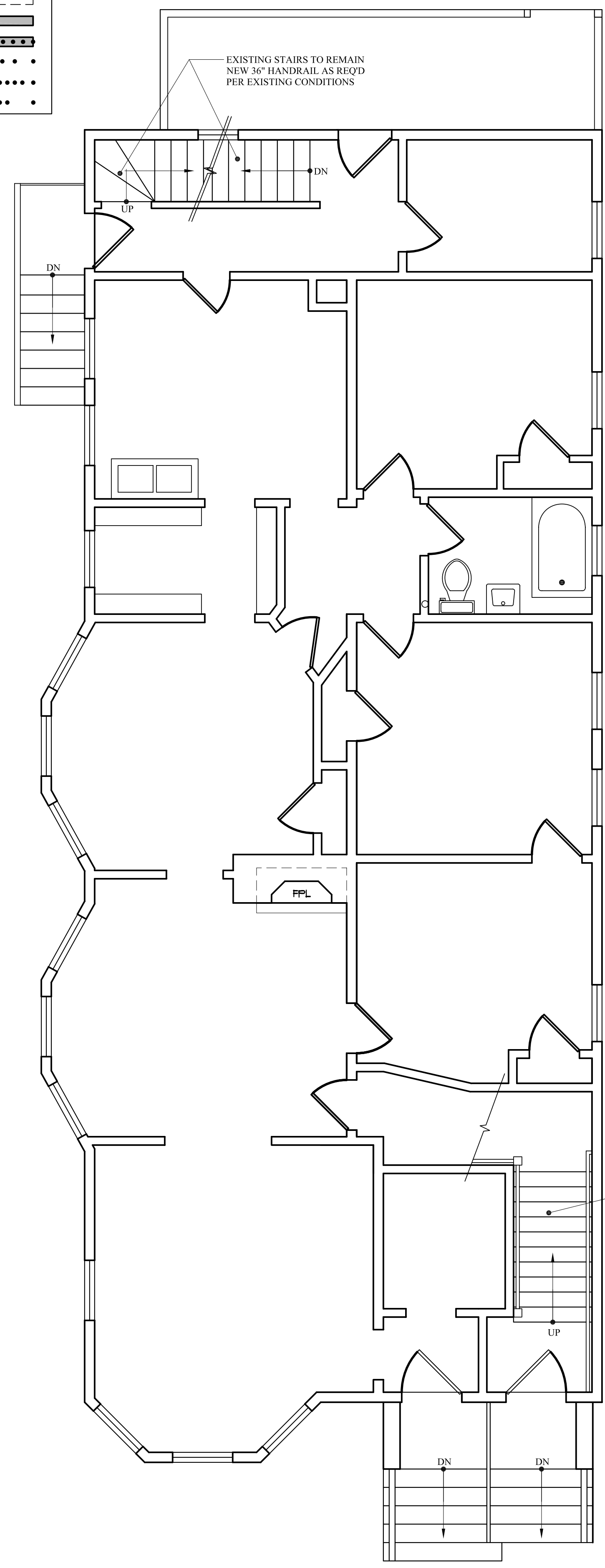
EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"



EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

EXISTING WALL	
DEMO WALL	
PROPOSED WALL	
FIRE RATED WALL	
1/2 HOUR	
1 HOUR	
2 HOUR	



EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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EXISTING PLANS

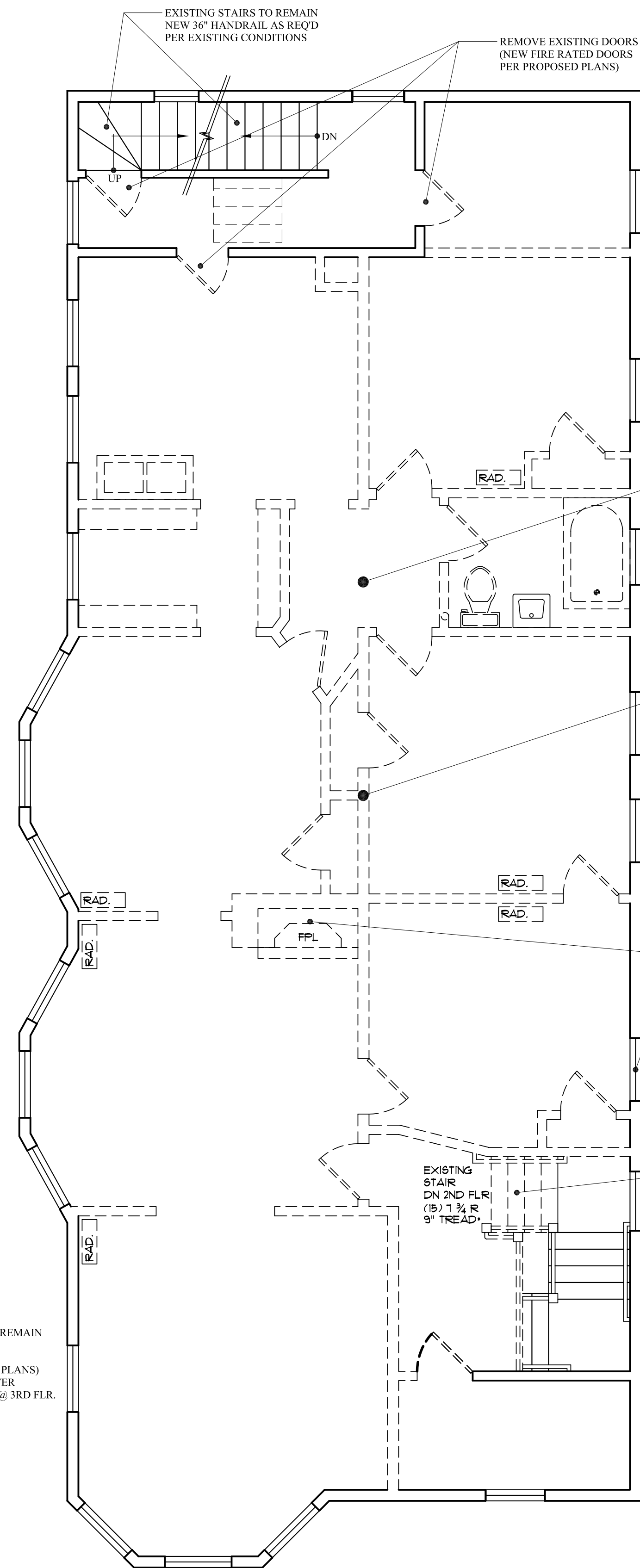
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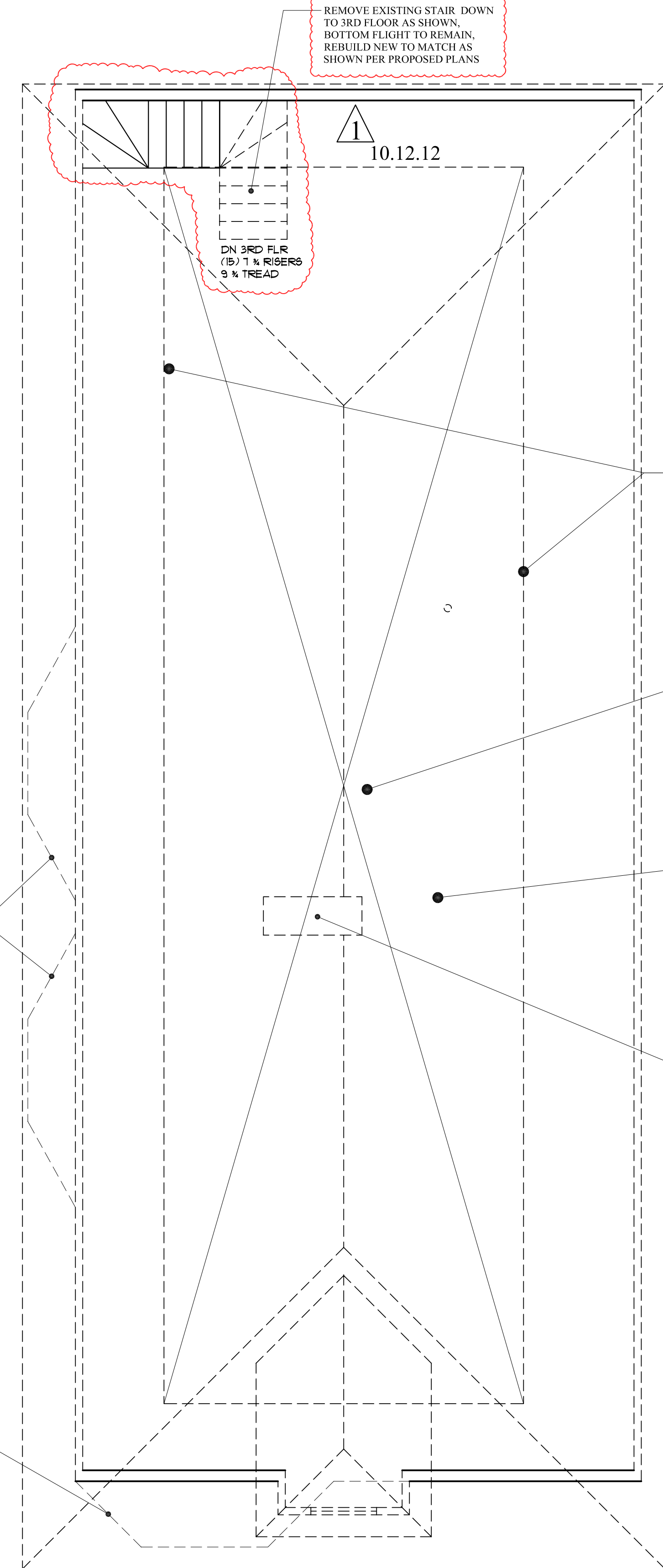
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WALL LEGEND

EXISTING WALL	
DEMO WALL	
PROPOSED WALL	
FIRE RATED WALL	
1/2 HOUR	
1 HOUR	
2 HOUR	



EXISTING 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING 4TH FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA OF AN EXISTING FULL STORY WITHIN THE CURRENT ROOF SYSTEM ABOVE 4'-0" HIGH AS HABITABLE SPACE, CALCULATED FOR PURPOSES OF COMPLIANCE WITH PORTLAND ZONING SECTION 14-436 (b) (SHOWN W/ CROSS HATCH)

REMOVE EXISTING ROOF SYSTEM IN IT'S ENTIRETY

REMOVE EXISTING FLOOR STRUCTURE IT'S ENTIRETY

REMOVE EXISTING CHIMNEY

LIMIT OF EXISTING BAYS BELOW TO REMAIN

LIMIT OF EXISTING BAYS BELOW TO REMAIN

EXISTING STAIRS TO REMAIN NEW 36" HANDRAIL AS REQ'D PER EXISTING CONDITIONS

REMOVE EXISTING DOORS (NEW FIRE RATED DOORS PER PROPOSED PLANS)

REMOVE EXISTING WALLS, DOORS, FIXTURES & MECH. AS SHOWN ON PLAN

REMOVE EXISTING INTERIOR G.W.B./ PLASTER @ WALLS & CL.G. REMOVE EXISTING FINISH FLOORING @ UNIT ONLY (FLOORING @ STAIRS TO REMAIN)

REMOVE EXISTING CHIMNEY

PARTIALLY REMOVE EXISTING STAIR DOWN TO 2ND FLOOR AS SHOWN. EXTEND STAIR PER PROPOSED PLANS NEW 36" HANDRAIL 42" GUARDRAIL AS REQ'D PER EXISTING CONDITIONS

EXISTING EXTERIOR WALLS - EXTERIOR WALL SHEATHING TO REMAIN - VINYL SIDING TO REMAIN - REMOVE EXISTING INSULATION (NEW INSULATION PER PROPOSED PLANS) - REMOVE INTERIOR G.W.B./ PLASTER - REMOVE EXISTING ELECTRICAL @ 3RD FLR.

REMOVE EXISTING STAIR DOWN TO 3RD FLOOR AS SHOWN. BOTTOM FLIGHT TO REMAIN. REBUILD NEW TO MATCH AS SHOWN PER PROPOSED PLANS

DN 3RD FLR (B) 1 1/2 RISERS 9" TREAD

EXISTING STAIR DN 2ND FLR (B) 1 1/2 R 9" TREAD

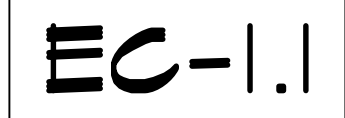
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EXISTING PLANS

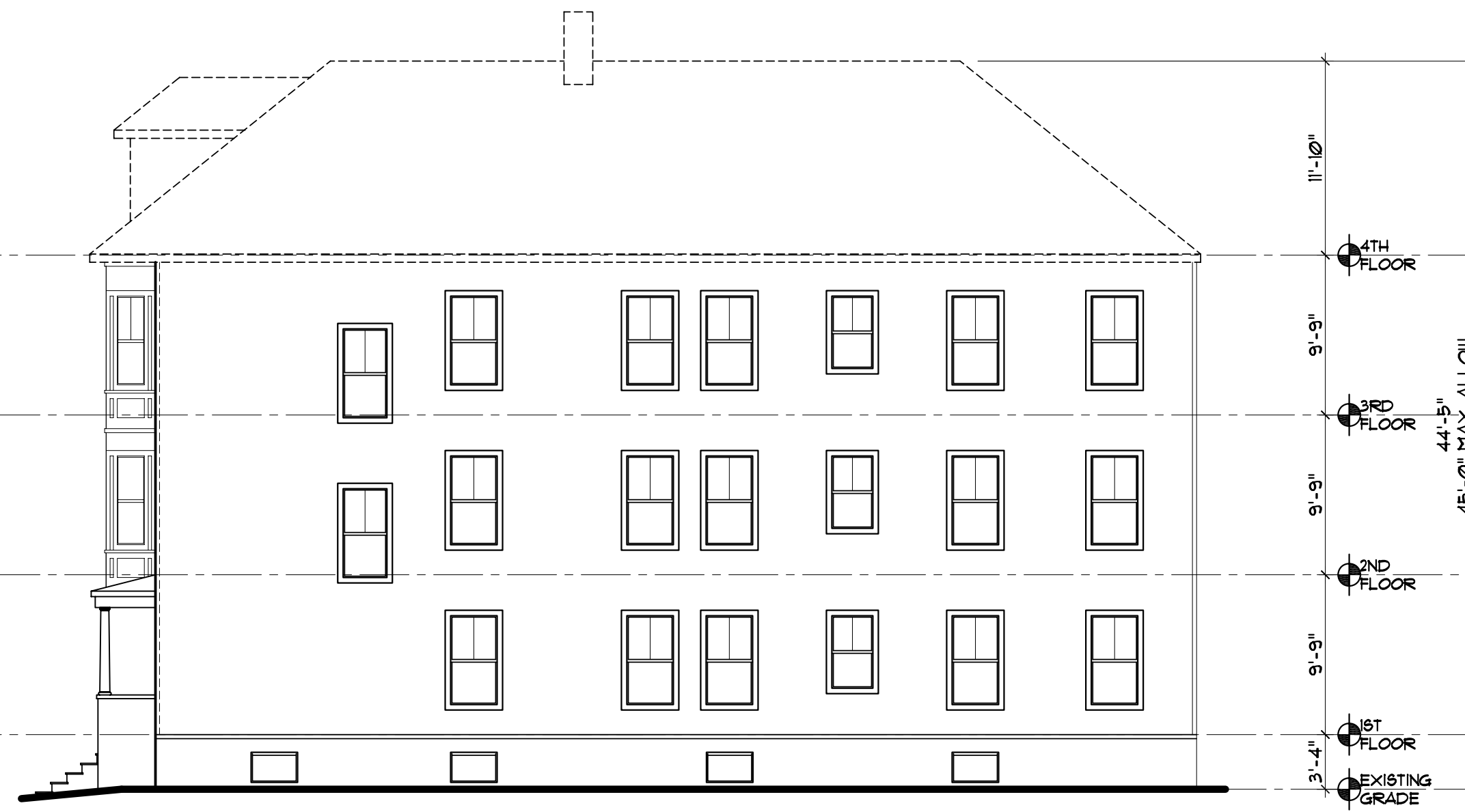
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EXISTING FRONT ELEVATION
SCALE: 1/8" = 1'-0"



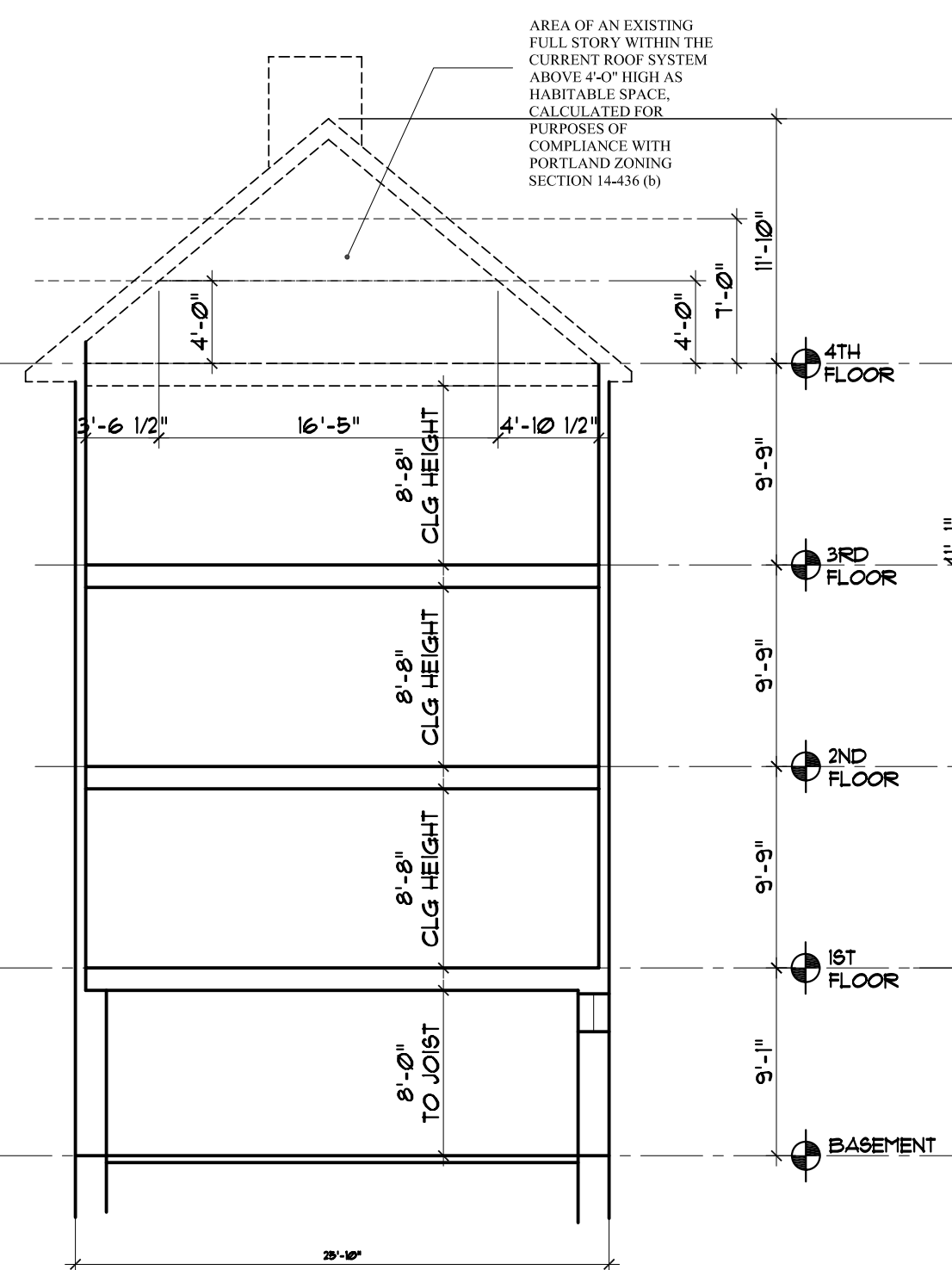
EXISTING RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



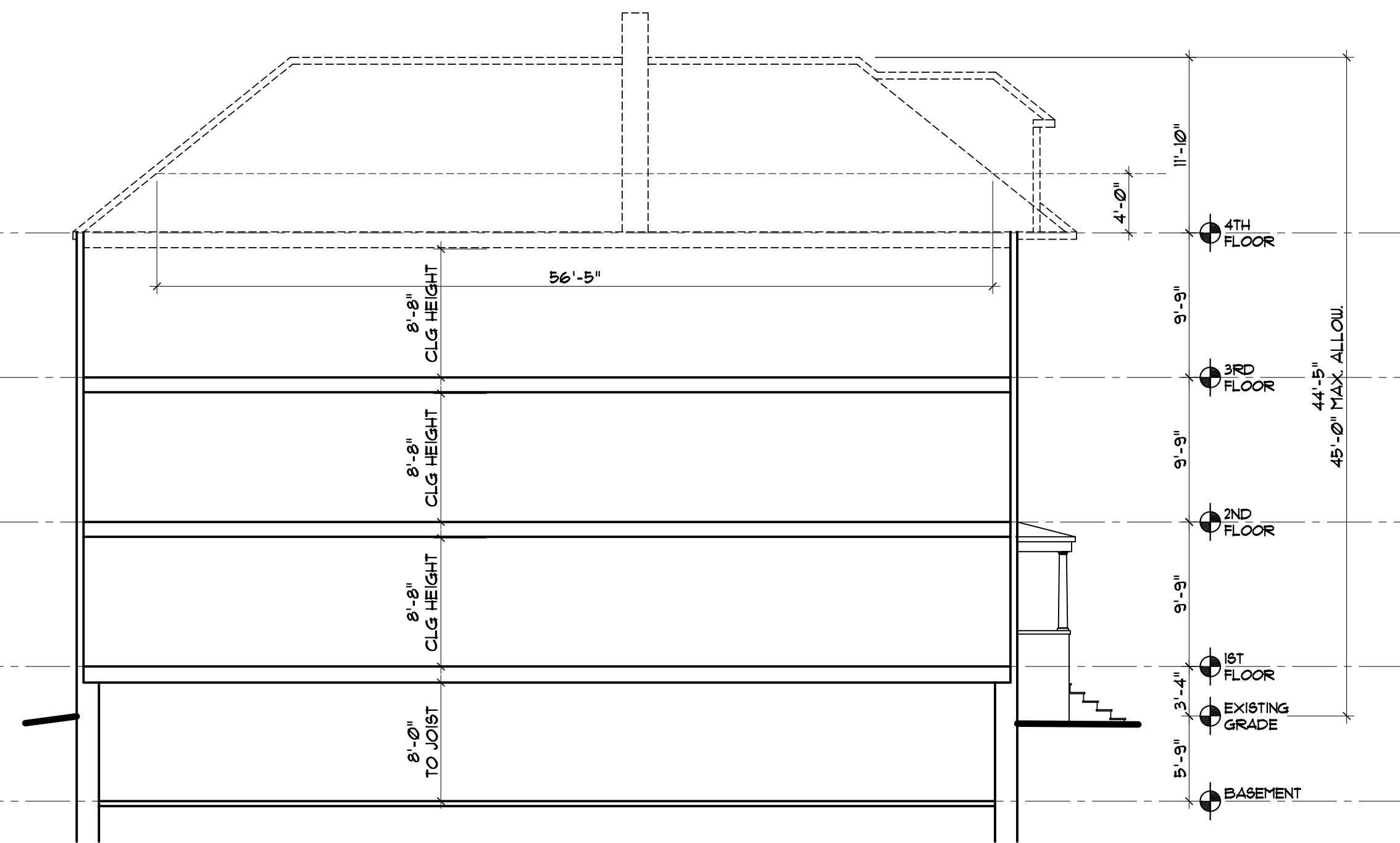
EXISTING REAR ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING LEFT ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING BUILDING SECTION A
SCALE: 1/8" = 1'-0"



EXISTING BUILDING SECTION B
SCALE: 1/8" = 1'-0"

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43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING
MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

EXISTING ELEVATIONS & BUILDING SECTIONS
REVISIONS
DATE: MAY 26, 2010
PROJECT: 43 CUMBERLAND
DRAWN BY: MPP
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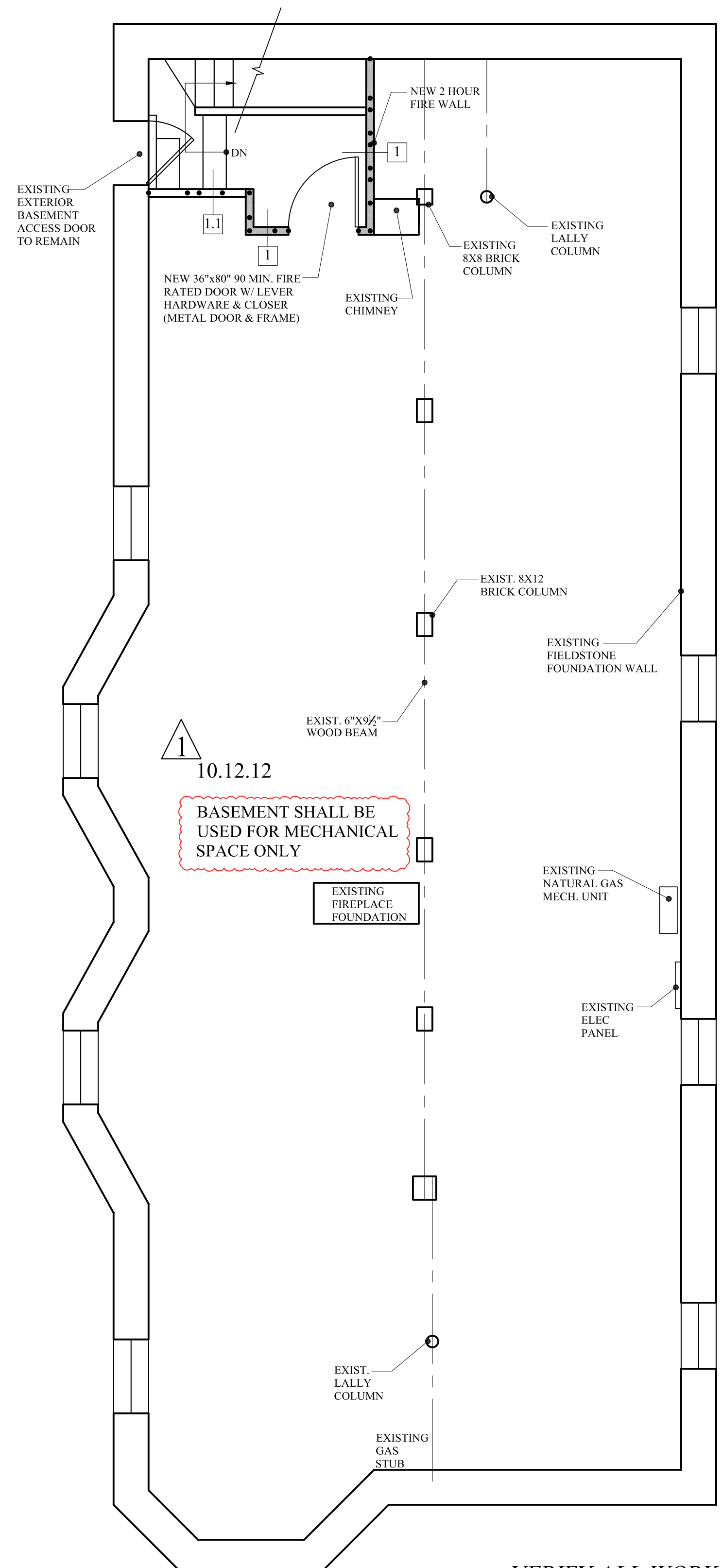
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WALL LEGEND

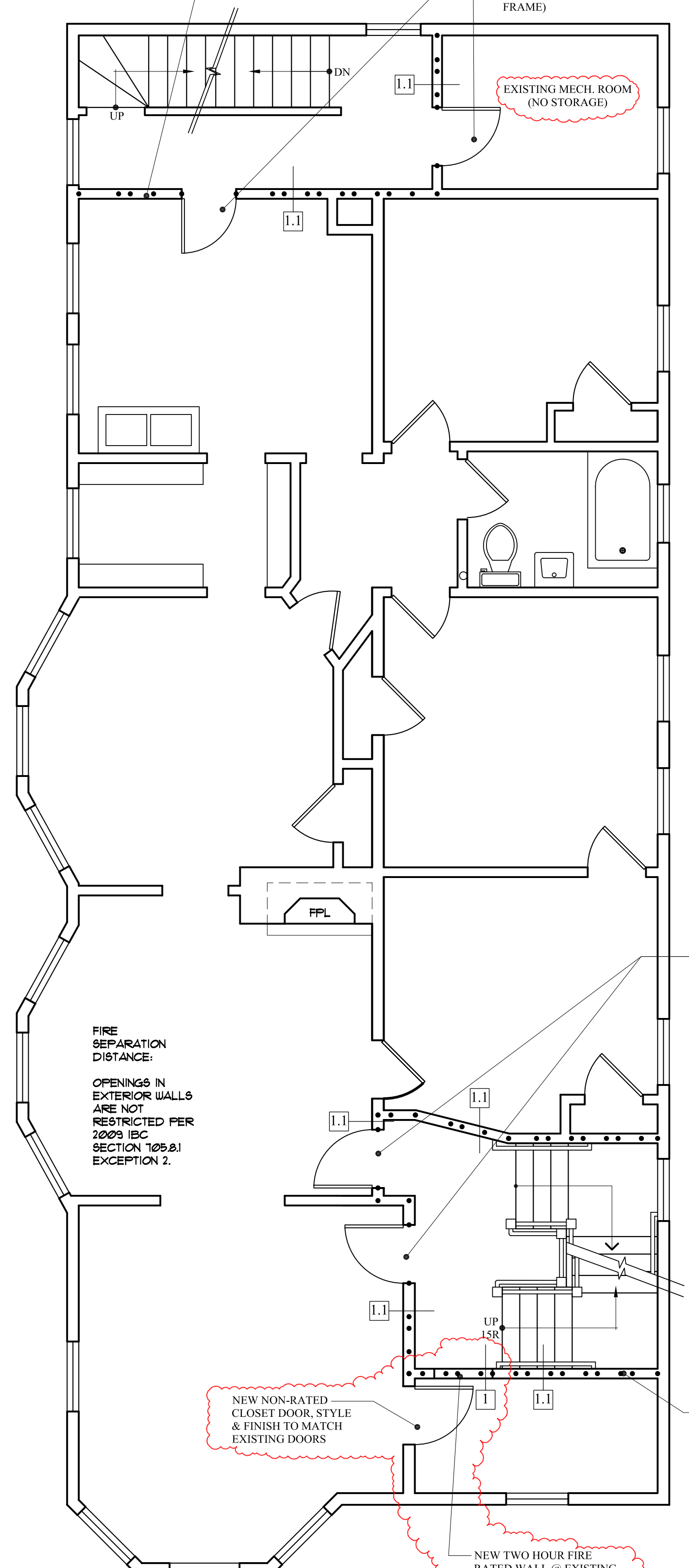
EXISTING WALL	
DEMO WALL	
PROPOSED WALL	
FIRE RATED WALL	
1/2 HOUR	
1 HOUR	
2 HOUR	

INSTALL SPRINKLER SYSTEM PER NFPA 13R THROUGHOUT THE BUILDING

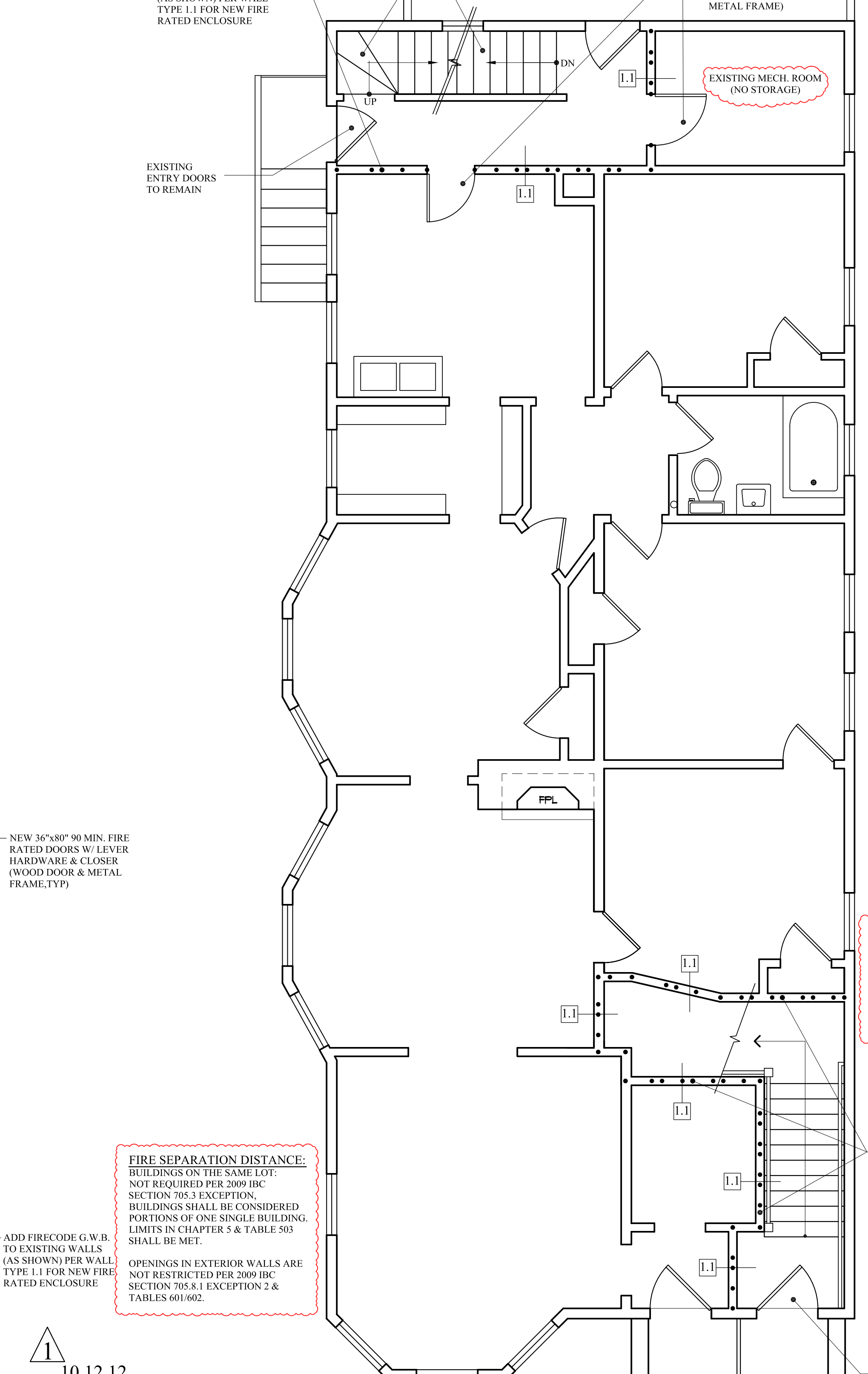


VERIFY ALL WORK @ BASEMENT WITH OWNER

PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA: 1,704 SF



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA: 1,704 SF

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PROPOSED PLANS

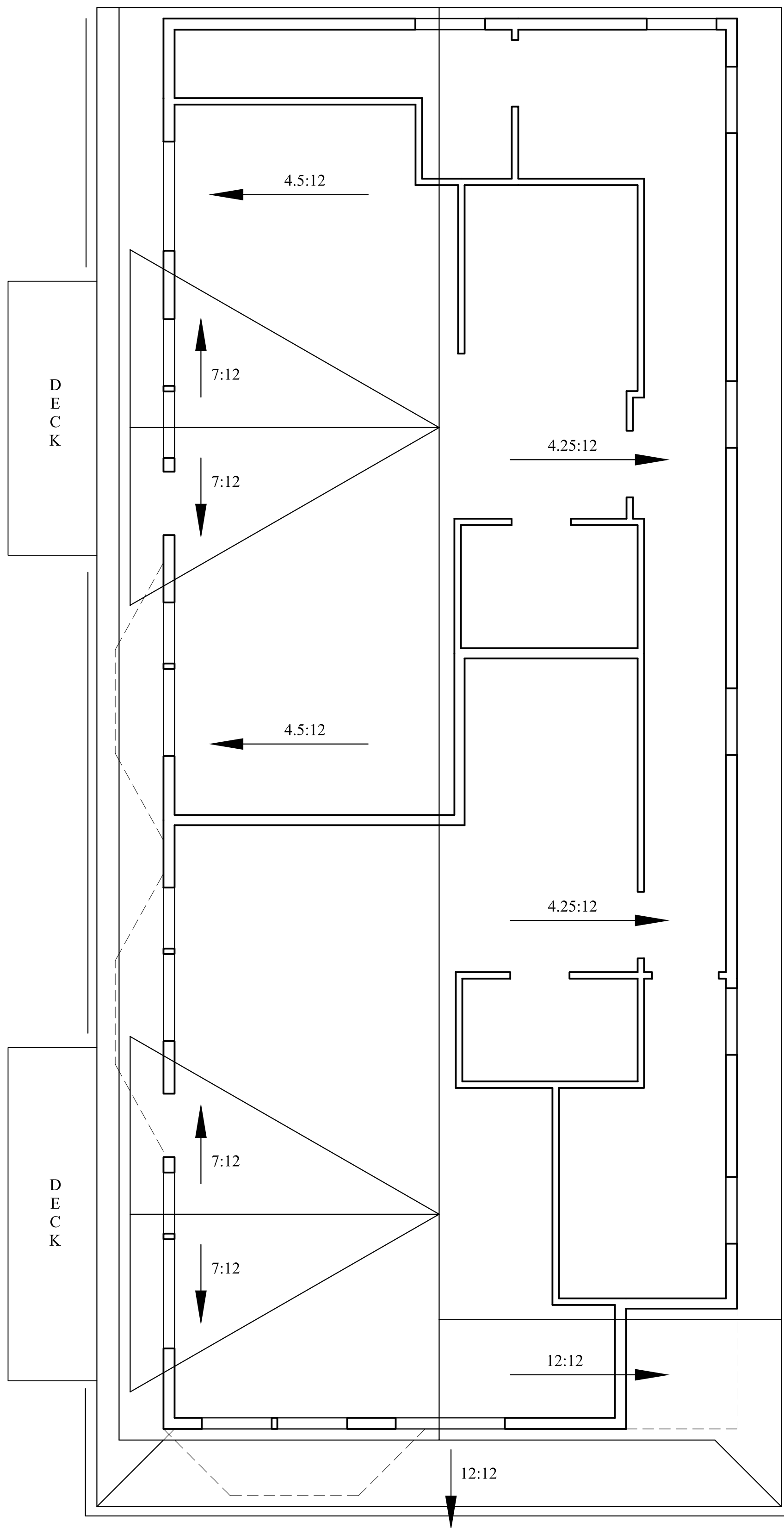
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- ROOF:
- COVER ENTIRE ROOF W/ ICE & WATER SHIELD
 - FLASH ALL ROOF/WALL JUNCTURES & VALLEYS W/ ICE & WATER SHIELD
 - SEPARATE ALL EPDM FROM ICE & WATER SHIELD W/ ALUM. SHEET BOND BREAKER
 - TURN ALL EPDM UP WALLS 24"
 - ALL ROOF DRIP EDGES SHALL BE WHITE ALUM.
 - ROOF GUTTER & DOWN SPOUT
 - 30 YR ASPHALT 3-TAB SHINGLES, TYP.

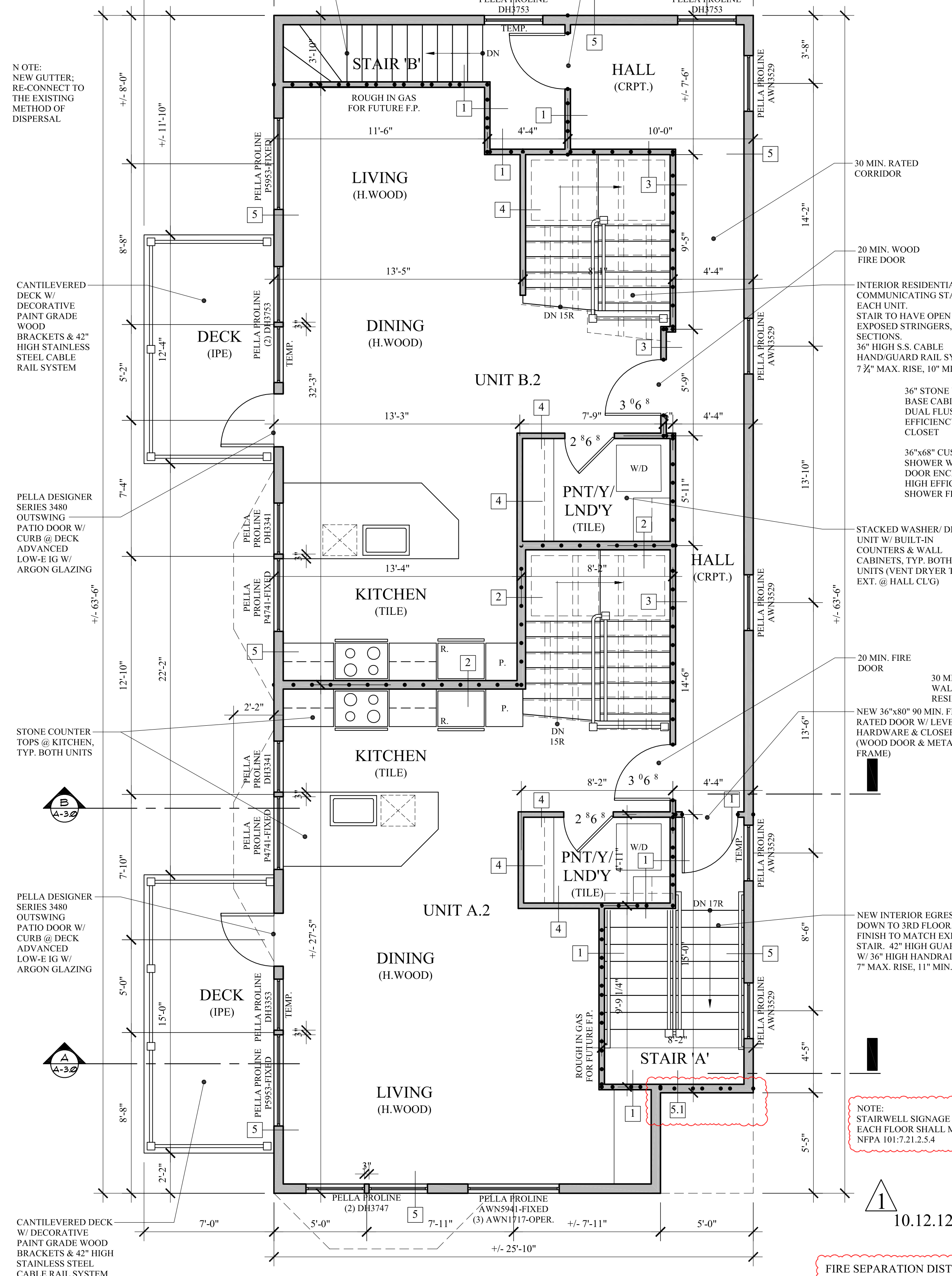
INSTALL SPRINKLER SYSTEM PER NFPA 13R THROUGHOUT THE BUILDING

WALL LEGEND

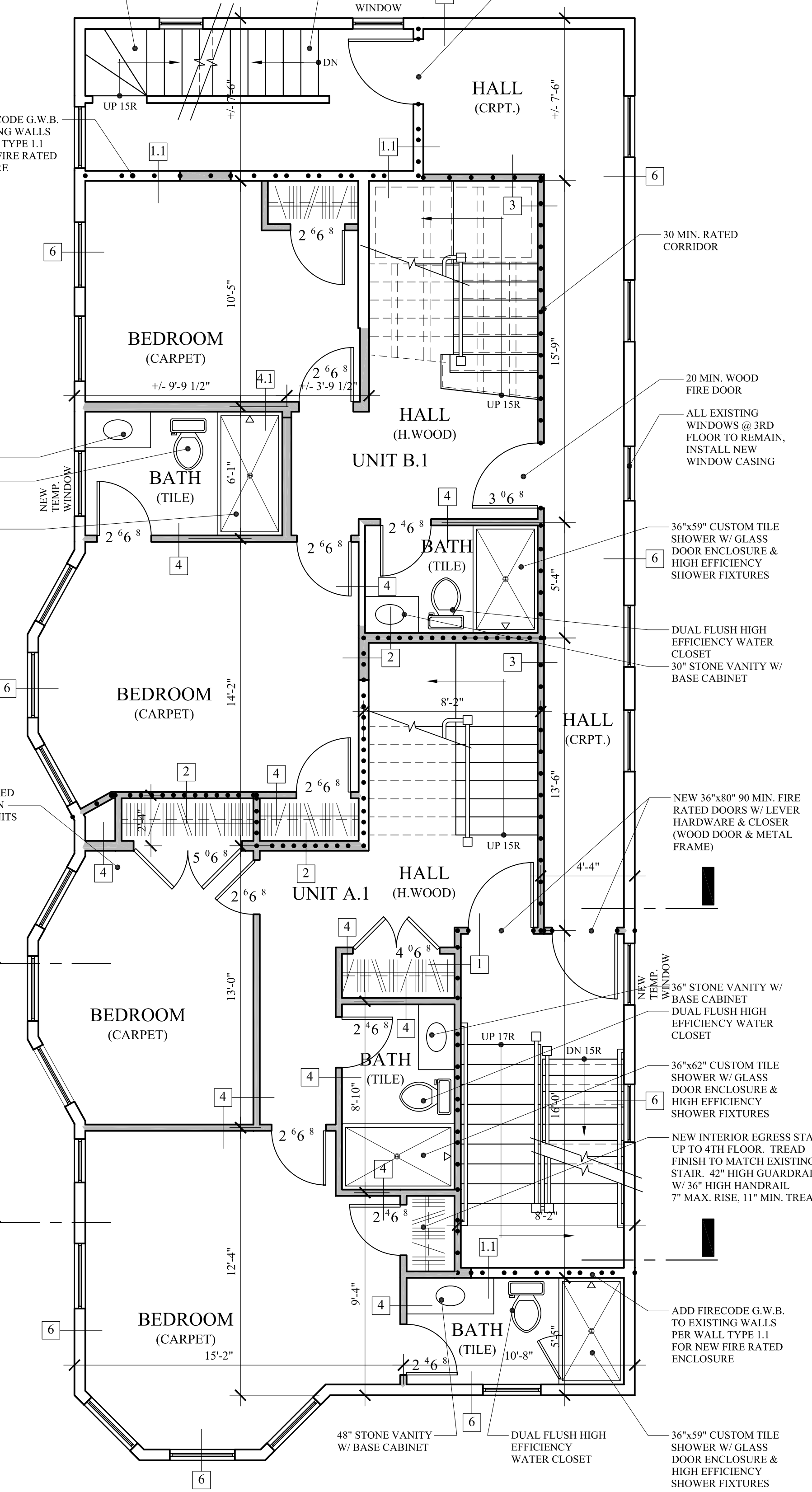
EXISTING WALL	
DEMO WALL	
PROPOSED WALL	
FIRE RATED WALL	
1/2 HOUR	
1 HOUR	
2 HOUR	



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 4TH FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA: 1,475 SF



PROPOSED 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA: 1,704 SF
TOTAL BUILDING AREA: 6,597 SF

FIRE SEPARATION DISTANCE:
BUILDINGS ON THE SAME LOT:
NOT REQUIRED PER 2009 IBC
SECTION 705.3 EXCEPTION.
BUILDINGS SHALL BE CONSIDERED
PORTIONS OF ONE SINGLE BUILDING
LIMITS IN CHAPTER 5 & TABLE 503
SHALL BE MET.

OPENINGS IN EXTERIOR WALLS ARE
NOT RESTRICTED PER 2009 IBC
SECTION 705.8.1 EXCEPTION 2 &
TABLES 601.602.

FIRE SEPARATION DISTANCE:
BUILDINGS NOT ON THE SAME LOT:
SEPARATION DISTANCE = LESS THAN
10' = 10% MAX OPENING AREA WITH
UNPROTECTED & NONSPRINKLERED
BUILDING TYPE.

NEW 4TH FLOOR WALL:
6'-0" SEPARATION DISTANCE W/ 8.7%
WINDOW OPENINGS

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**43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING**
MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

PROPOSED PLANS
REVISIONS
DATE: MAY 06, 2010
PROJECT: 43 CUMBERLAND
DRAWN BY: MPP
CHECK BY: MLM

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A-1.1

NFPA 101 2009 & NFPA 220 2006: CODE DATA

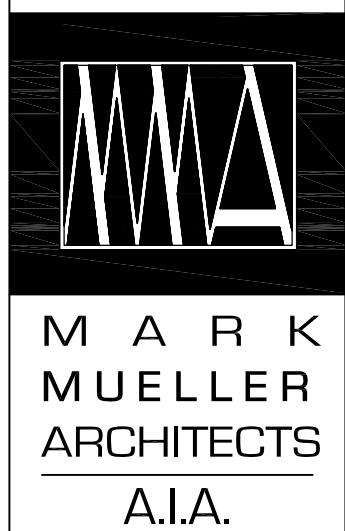
OCCUPANT LOAD	33
USE GROUP CLASSIFICATION	R-2
TYPE OF CONSTRUCTION	5-(000)-UNPROTECTED
TOTAL AREA OF WORK	3,179 SF
ACTUAL BUILDING AREA	6,587 SF
BUILDING HEIGHT	4 STORIES
BUILDING HEIGHT LIMITATION - STORIES	EXISTING TO REMAIN
AUTOMATIC SPRINKLER SYSTEM HEIGHT INCREASE	0
FIRE SUPPRESSION:	YES NFPA 13R
EXIT ACCESS FIRE RATINGS:	
FIRE WALLS:	
PARTY WALLS	30 MIN.
STAIR ENCLOSURES	2 HR @ EXIT STAIRS
SHAFTS	1 HR, MAX. 3 STORIES
EXIT ACCESS CORRIDORS	30 MIN.
FIRE PROTECTION OF STRUCTURE:	
COLUMNS	0 HR
BEAMS, GIRDERS, TRUSSES & ARCHES	0 HR
LOAD BEARING WALLS - EXTERIOR	0 HR
LOAD BEARING WALLS - INTERIOR	0 HR
NON-LOAD BEARING WALLS - EXTERIOR	0 HR
NON-LOAD BEARING WALLS - INTERIOR	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
GENERAL NOTES	INTERIOR FINISHES: WALLS & CEILINGS: CLASS A, B, OR C FLOORS: CLASS 1 OR 2 F.F.E. SHALL MEET NFPA 265 & 701.

IBC 2009: CODE DATA

OCCUPANT LOAD	33
USE GROUP CLASSIFICATION	R-2
TYPE OF CONSTRUCTION	5-B
TOTAL AREA OF WORK	3,179 SF
ACTUAL BUILDING AREA	6,587 SF
BUILDING HEIGHT	4 STORIES
BUILDING AREA LIMITATION - SQ. FT. (TABLE 503)	7,000 S.F./ FLOOR
BUILDING HEIGHT LIMITATION - STORIES (TABLE 503)	2 STORIES
STREET FRONTAGE INCREASE (150%) - SQ. FT.	N/A
AUTOMATIC SPRINKLER SYSTEM AREA INCREASE (200%) - SQ. FT.	N/A
AUTOMATIC SPRINKLER SYSTEM HEIGHT INCREASE (1 STORY)	N/A
FIRE SUPPRESSION:	YES NFPA 13R
EXIT ACCESS FIRE RATINGS:	
FIRE WALLS:	
PARTY WALLS	30 MIN.
STAIR ENCLOSURES	2 HR @ EXIT STAIRS
SHAFTS	1 HR, MAX. 3 STORIES
EXIT ACCESS CORRIDORS	30 MIN.
FIRE PROTECTION OF STRUCTURE:	
PRIMARY STRUCTURAL FRAME	0 HR
LOAD BEARING WALLS - EXTERIOR	0 HR
LOAD BEARING WALLS - INTERIOR	0 HR
NON-LOAD BEARING WALLS - EXTERIOR	0 HR
NON-LOAD BEARING WALLS - INTERIOR	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
GENERAL NOTES	

ALLOWABLE AREA CALCULATIONS FOR EXPANSION OF FOURTH FLOOR DORMER
NOTE: ALLOWABLE PER SECTION 14-436 (B)

ZONING INFORMATION	
ZONE: R-6 MAP: 13 LOT: 61, 62 MAX. BUILDING HEIGHT: 45'-0"	THIRD FLOOR AREA = 1,704 SF 80% OF FLOOR BELOW 1,704 X .80 = 1,363 SF
BUILDING INFORMATION	
ADDRESS: 43 CUMBERLAND AVENUE PORTLAND, MAINE	EXISTING AREA STARTING @ 4'-0" HEAD HEIGHT 16'-5" X 56'-5" = 925 SF
BUILDING AREA EXISTING 1ST FLOOR: 1,704 SF EXISTING 2ND FLOOR: 1,704 SF EXISTING 3RD FLOOR: 1,704 SF	4TH FLOOR MAX. AREA: 1,363 SF + 925 SF = 2,288 SF
PROPOSED 4TH FLOOR: 1,475 SF PROPOSED DECK@4TH FLR: 66 SF	CURRENT PROPOSED AREA: 1,475 SF 1,475 SF IS LESS THAN 2,288 SF: OK



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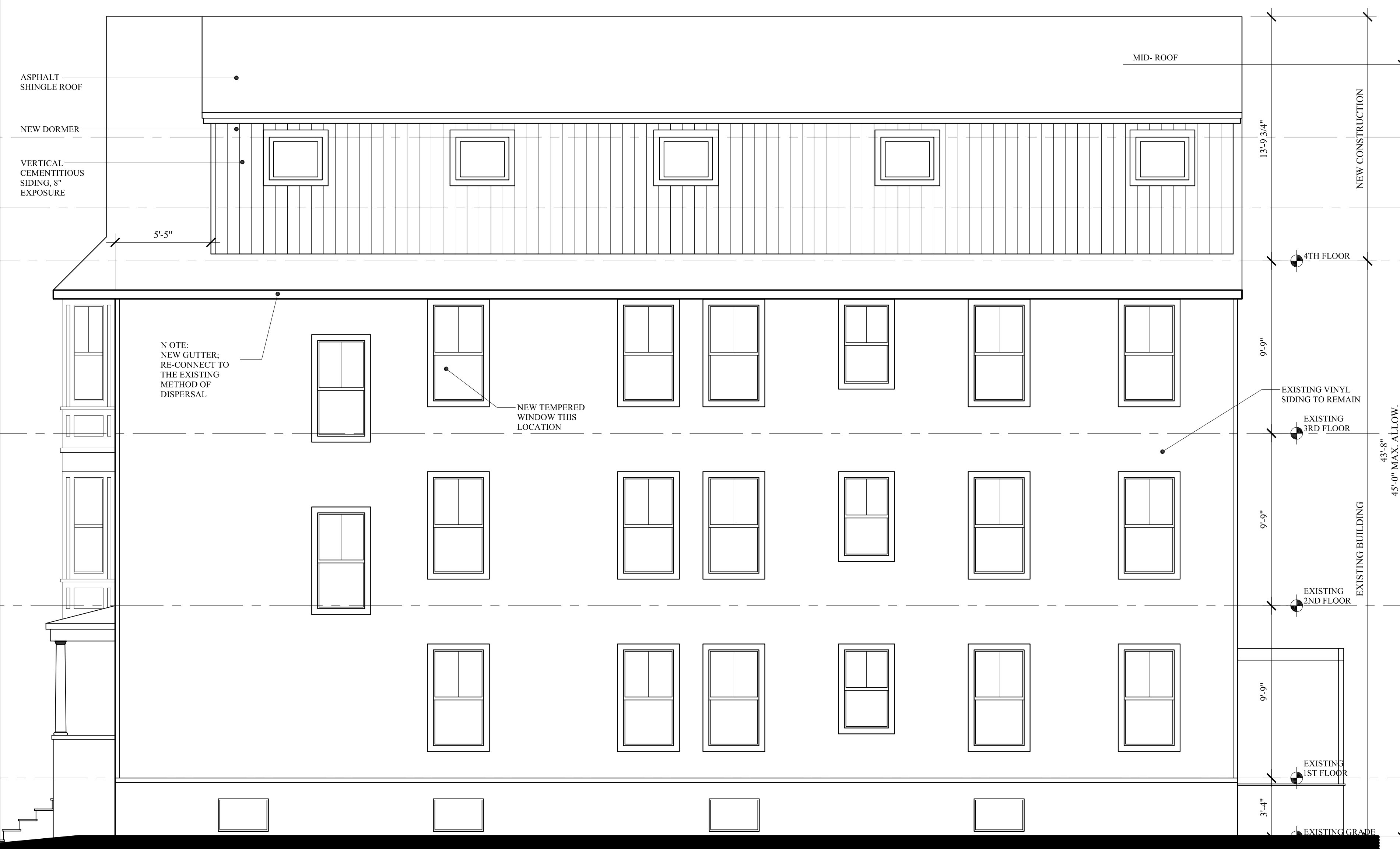
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43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING
MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

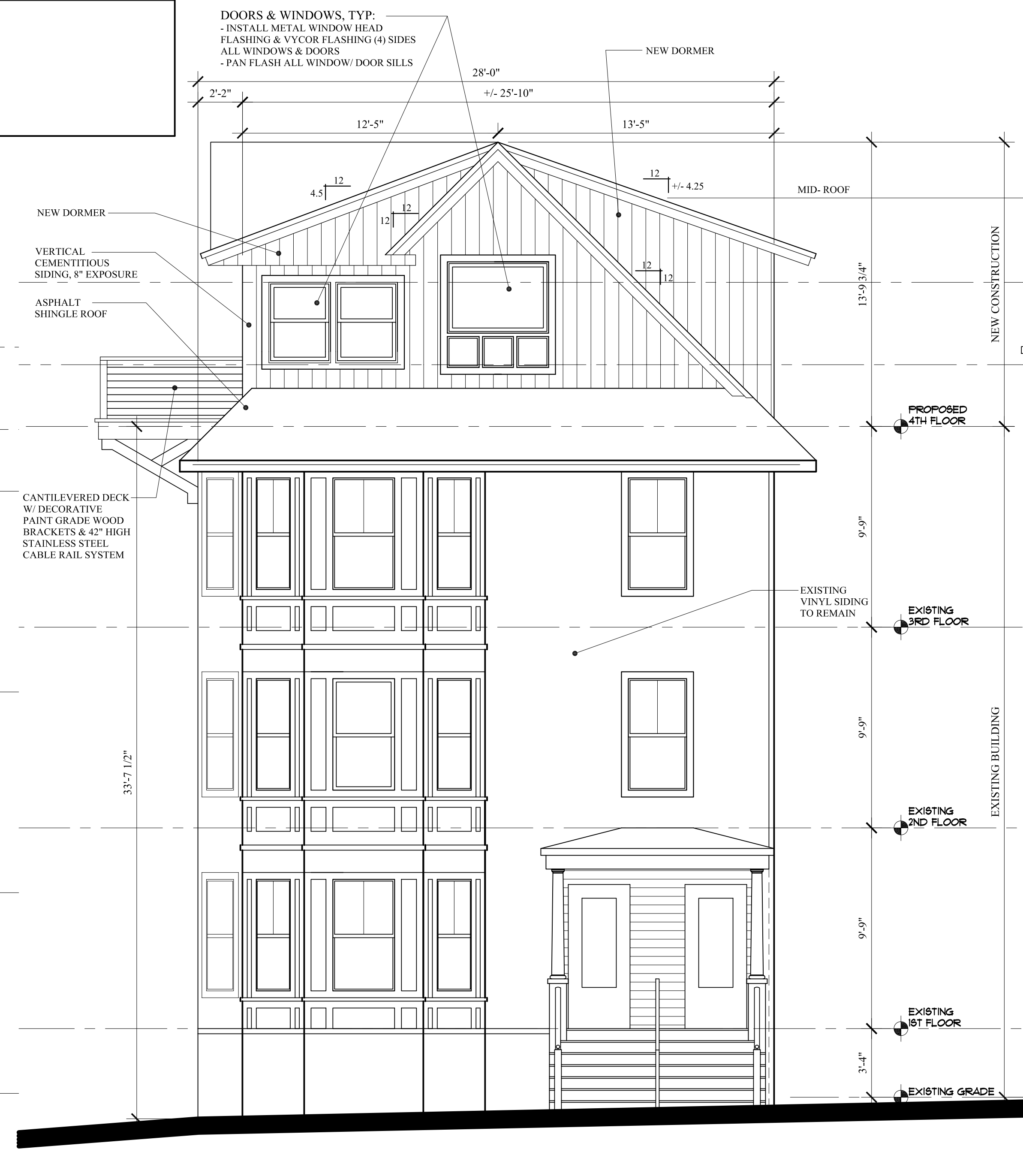
PROPOSED ELEVATIONS &
WALL TYPES

REVISIONS
DATE: MAY 26, 2010
PROJECT: 43 CUMBERLAND
DRAWN BY: MPP
CHECK BY: MLM

10.12.12 - Building Permit Clarifications



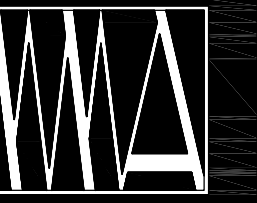
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REVISED: OCTOBER 12, 2012
PERMIT SET: AUGUST 15, 2012

A-2.0



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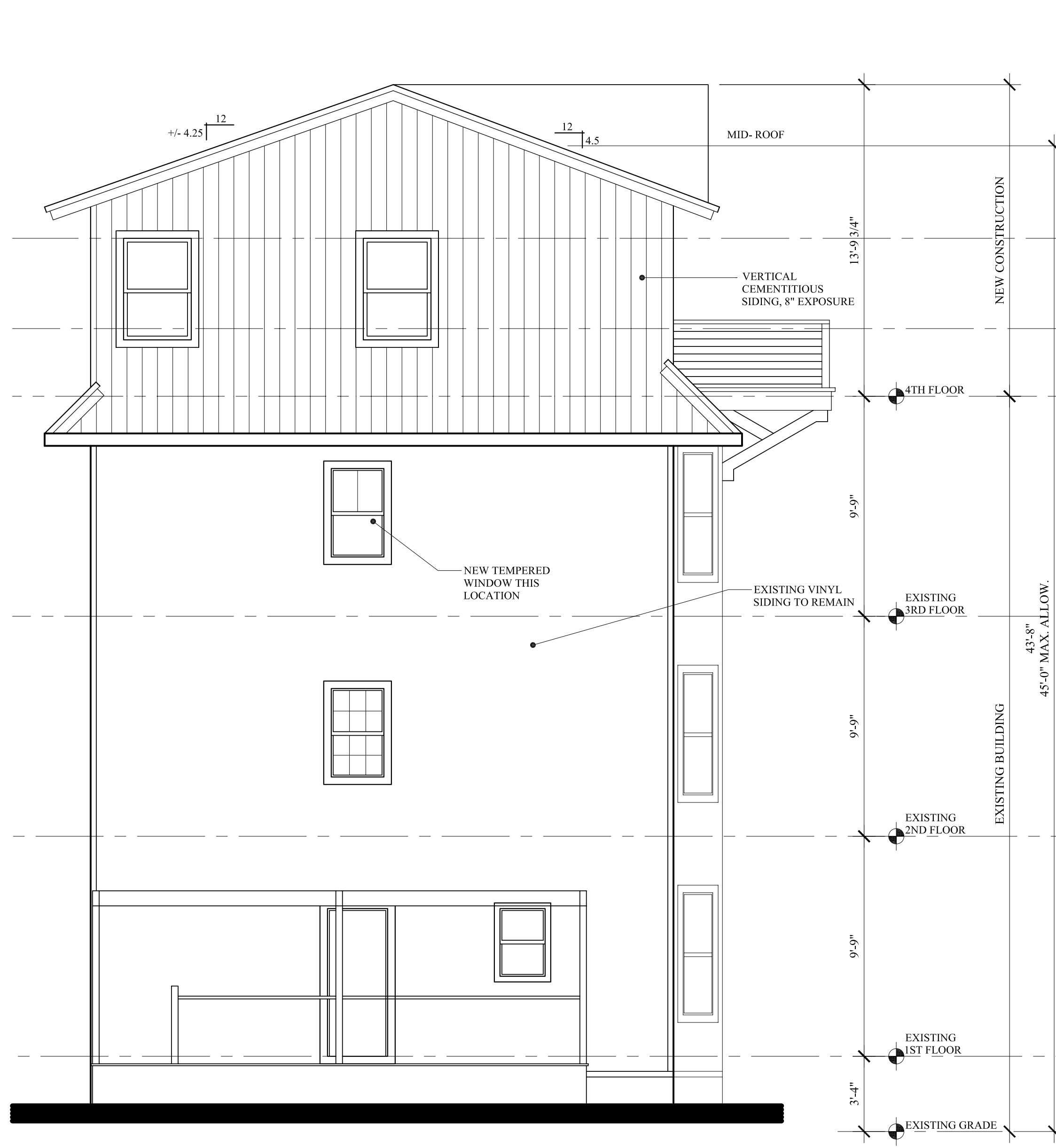
43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING

MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

PROPOSED ELEVATIONS

REVISIONS
DATE
MAY 26, 2010
PROJECT
43 CUMBERLAND
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A-2.1



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

REVISED: OCTOBER 12, 2012
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**43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING**

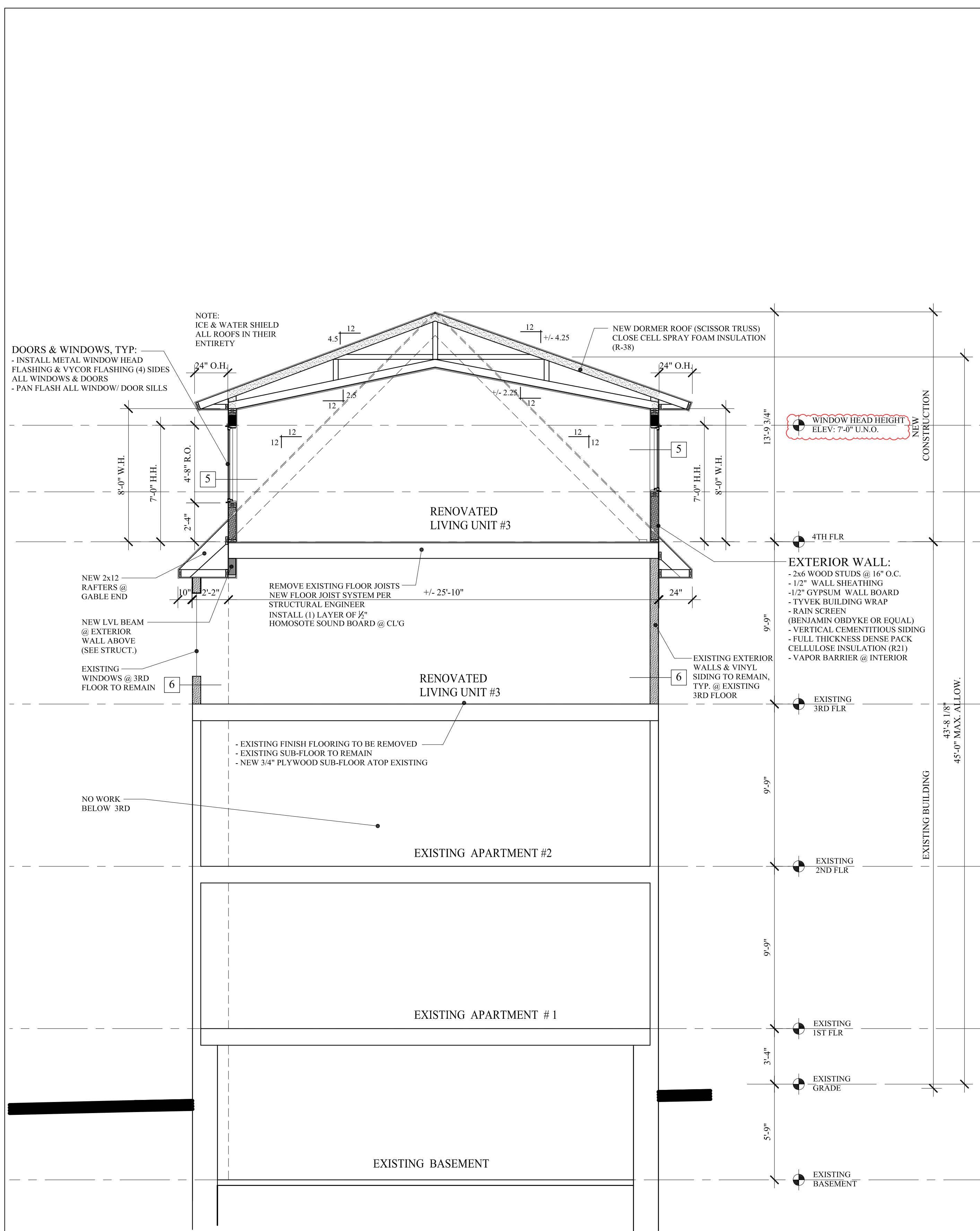
**MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE**

BUILDING SECTIONS

REVISIONS
DATE
MAY 26, 2010
PROJECT
43 CUMBERLAND
DRAWN BY
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MLM

10.12.12 - Building Permit Clarifications

A-3.0



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

INSULATION:
- SLOPED ROOFS: R38
- WALLS: DRY DENSE PACK CELLULOSE = R21
- FLAT ROOFS (OVER HEATED SPACE): CLOSED CELL SPRAY FOAM = R49
- FOUNDATION WALLS & SLAB: 3" RIGID = R15 (AS NOTED)
- FLOORS: FULL THICKNESS SOUND ATTENUATION INSULATION (AS NOTED)
- BATHS & LAUNDRY (FLOORS & WALLS): FULL THICKNESS FGLASS
- SEAL ALL DISSIMILAR MATERIALS WITH NON-HARDING THERMAL SEALANT PER 2009 IECC REQUIREMENTS

DOORS & WINDOWS, TYP.:
- INSTALL METAL WINDOW HEAD FLASHING & VYCOR FLASHING (4) SIDES ALL WINDOWS & DOORS
- PAN FLASH ALL WINDOW/DOOR SILLS

DECK SYSTEM:
- 5/8" COMPOSITE DECKING OVER
- 2x4 P.T. SLEEPERS W/ EPDM RUBBER SOLES
- EPDM RUBBER ROOFING OVER
- 3/4" CDX PLYWOOD (P.T.S.) OVER
- 2x4 P.T. TAPERED SLEEPERS (TAPER @ 1/2") OVER
- 9/2" P.T. LVL W/ 1/4" CDX PLYWOOD (P.T.S.)
- CLOSED CELL SPRAY FOAM INSULATION (OVER HEATED SPACE)
- WOOD DECK FASCIA/SOFTIT TRIM
- MTL FLASHING @ DECK/WALL JUNCTION, TURN FLASHING UP WALL 24"
- MTL PAN FLASHING @ DOOR SILLS (WELDED SEAMS)
- CREATE (2) REMOVABLE FINISH DECKING PANELS PER DECK FOR REPAIR ACCESS

EXTERIOR WALL:
- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" WALL SHEATHING
- 1/2" GYPSUM WALL BOARD
- TYVEK BUILDING WRAP
- RAIN SCREEN (BENJAMIN OBDYKE OR EQUAL)
- VERTICAL CEMENTITIOUS SIDING
- FULL THICKNESS DENSE PACK CELLULOSE INSULATION (R21)
- VAPOR BARRIER @ INTERIOR

EXISTING EXTERIOR WALLS & VINYL SIDING TO REMAIN, TYP. @ EXISTING 3RD FLOOR

EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

EXISTING FINISH FLOORING TO BE REMOVED
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EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

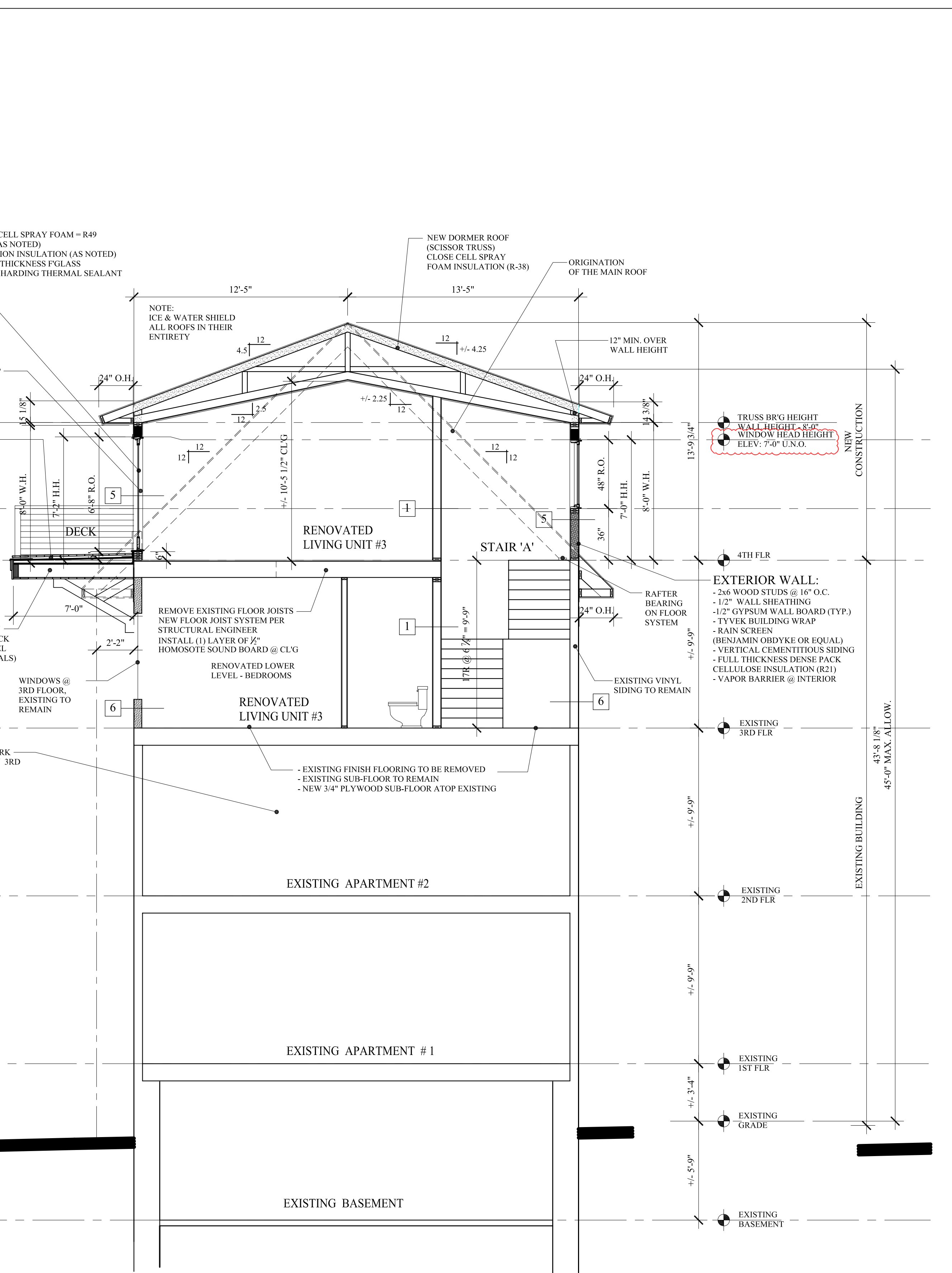
EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

EXISTING FINISH FLOORING TO BE REMOVED
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EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

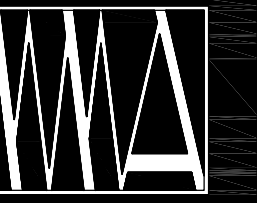
EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING

EXISTING FINISH FLOORING TO BE REMOVED
- EXISTING SUB-FLOOR TO REMAIN
- NEW 3/4" PLYWOOD SUB-FLOOR ATOP EXISTING



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

**REVISED: OCTOBER 12, 2012
PERMIT SET: AUGUST 15, 2012**



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MAIN BUILDING

MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

BUILDING SECTIONS

10.12.12 - Building Permit Clarifications

REVISIONS

DATE

MAY 26, 2010

PROJECT

43 CUMBERLAND

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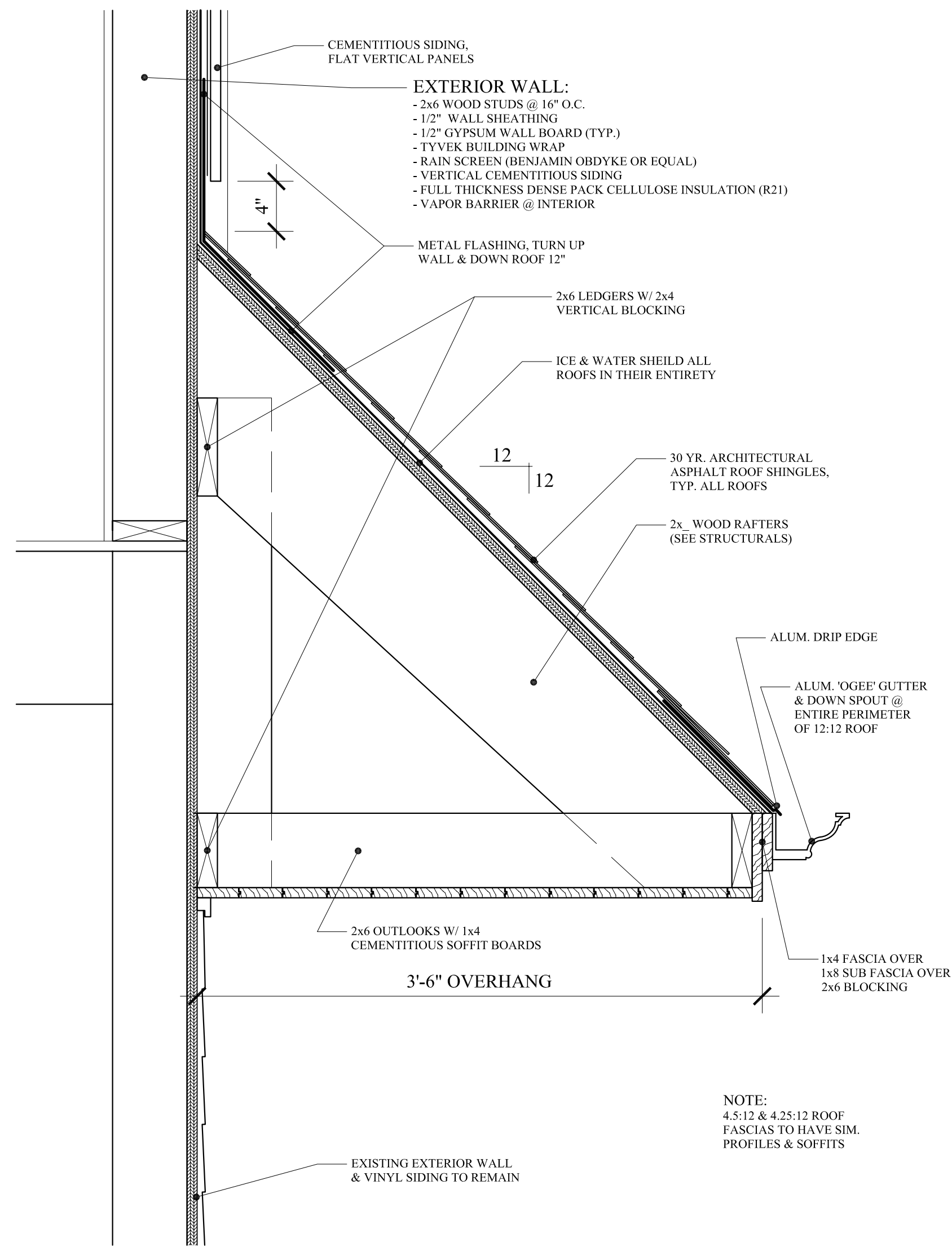
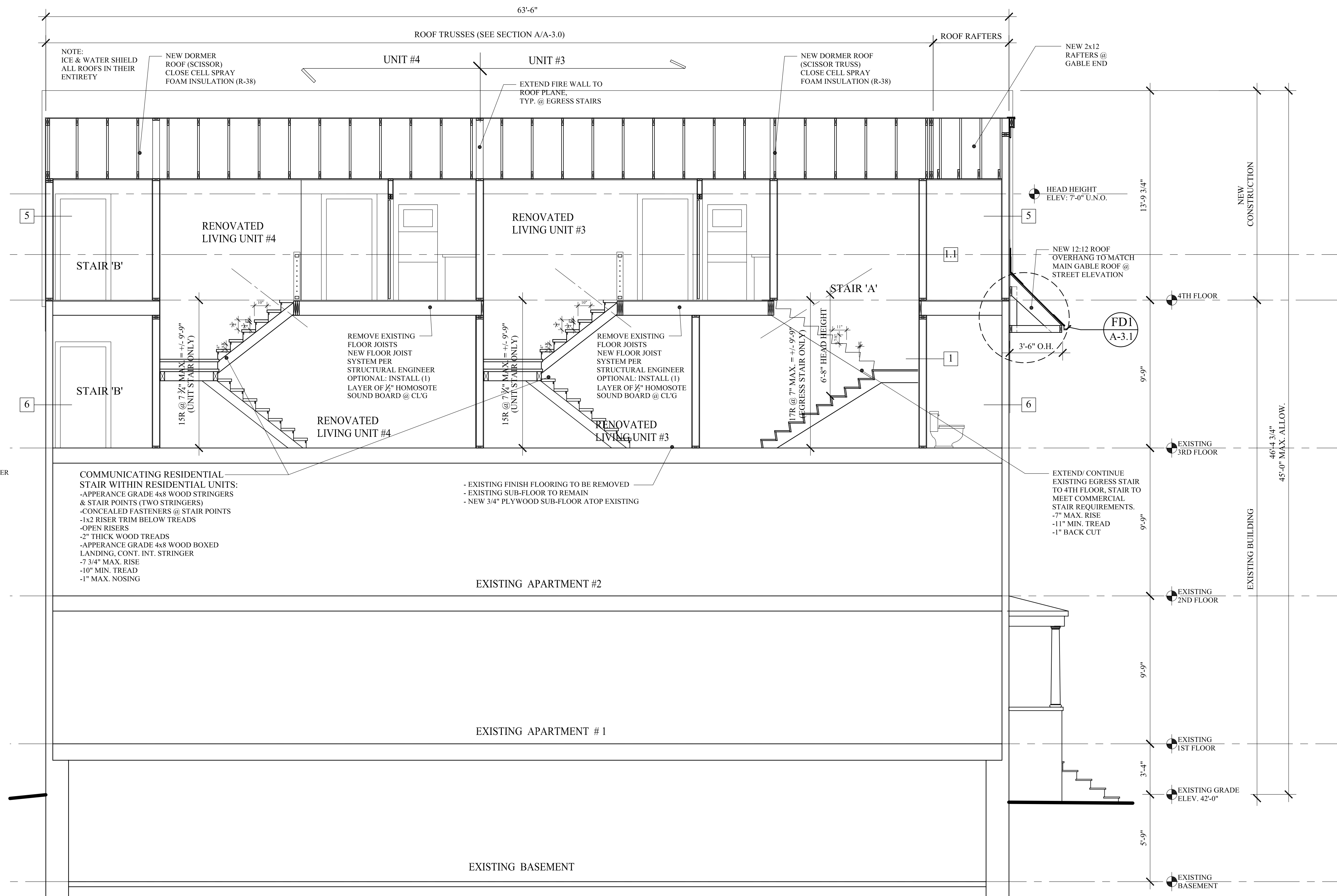
MPP

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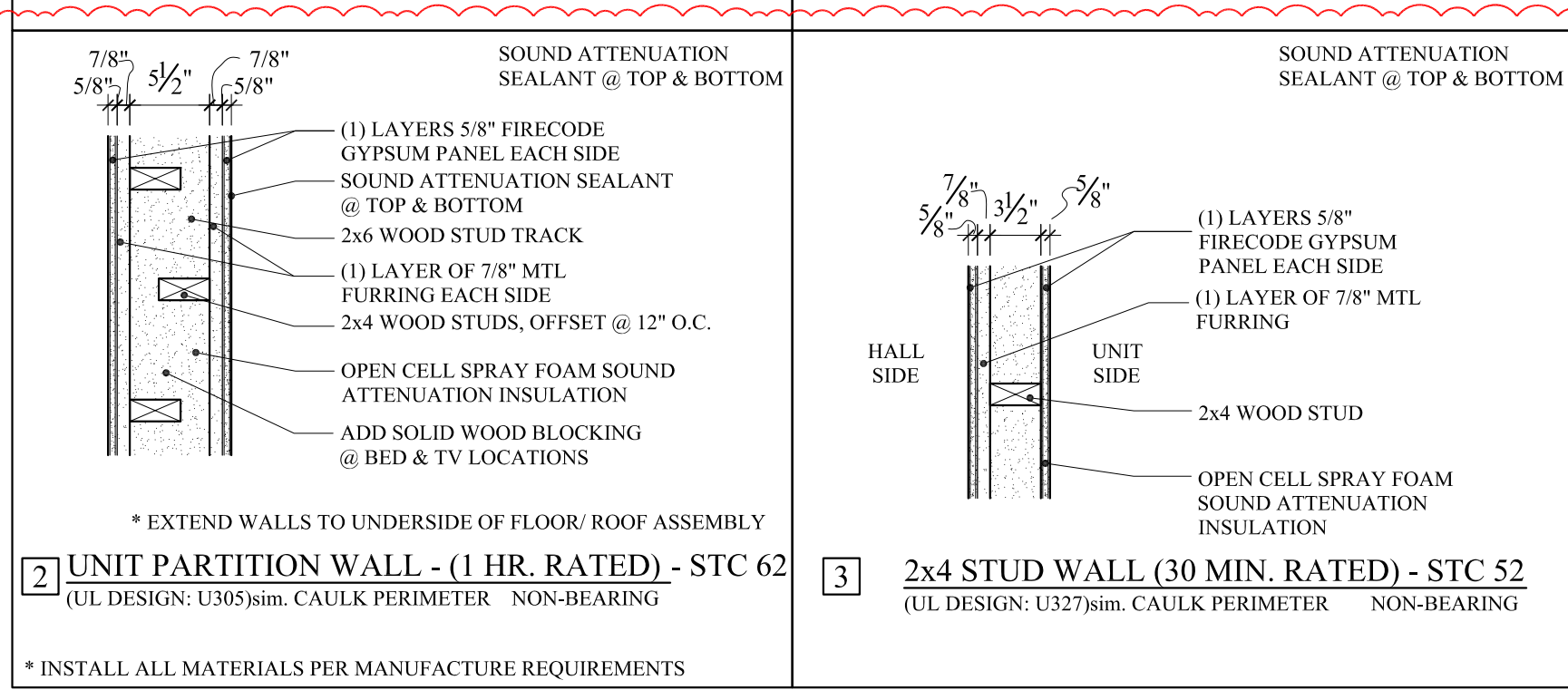
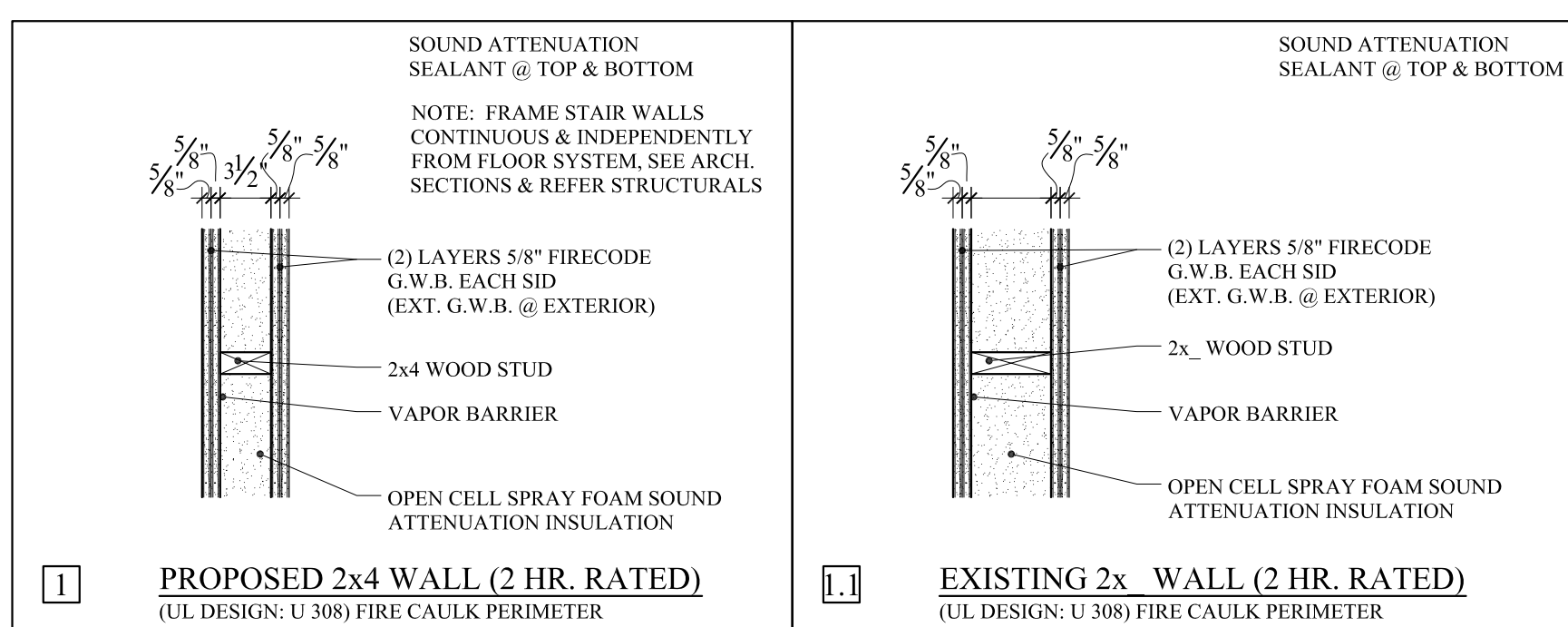
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A-3.1

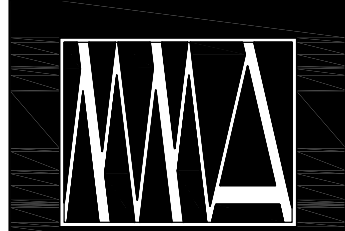
REVISED: OCTOBER 12, 2012
PERMIT SET: AUGUST 15, 2012



FDI FASCIA DETAIL
A-3.1 SCALE: 1/2" = 1'-0"



C BUILDING SECTION
A-1.1 SCALE: 1/4" = 1'-0"



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43 CUMBERLAND AVE. APARTMENTS
MAIN BUILDING
MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

LIFE SAFETY PLANS

REVISIONS
DATE
MAY 26, 2010
PROJECT
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**LIFE SAFETY
LEGEND:**

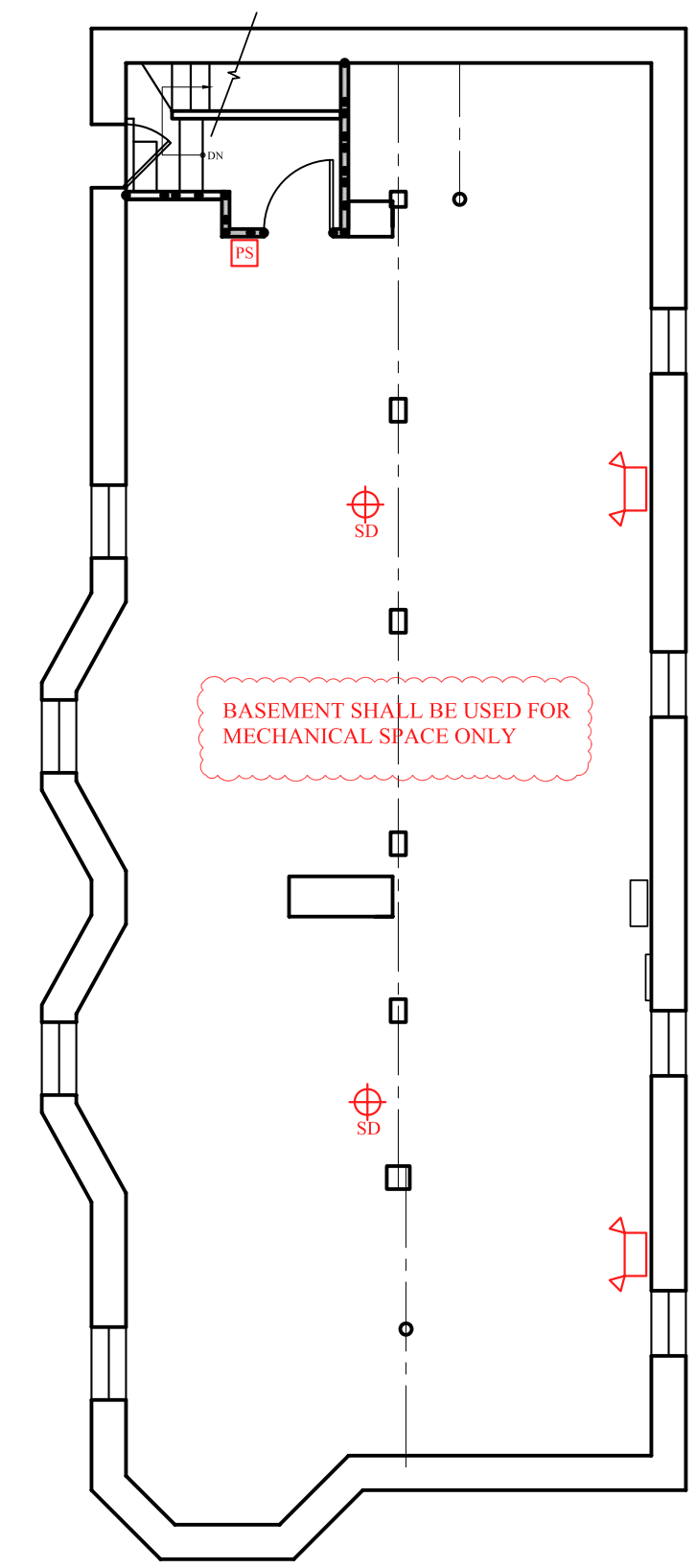
- EMERGENCY BACKUP LIGHT
- DATA/PHONE OUTLET (NOT SHOWN)
- ELECTRICAL OUTLET (NOT SHOWN)
- EXIT LIGHT
- SMOKE DETECTOR
- COMBINATION SMOKE/CARBON MONOXIDE DETECTOR (INSTALL IN ALL SLEEPING UNITS & PER CITY/ STATE REQUIREMENTS)
- HORN/STROBE
- STROBE
- FIRE EXTINGUISHER IN CABINET
- PULL STATION (VERIFY PULL STATION REQUIREMENTS & LOCATIONS W/ CITY/ STATE)

LIFE SAFETY NOTES:

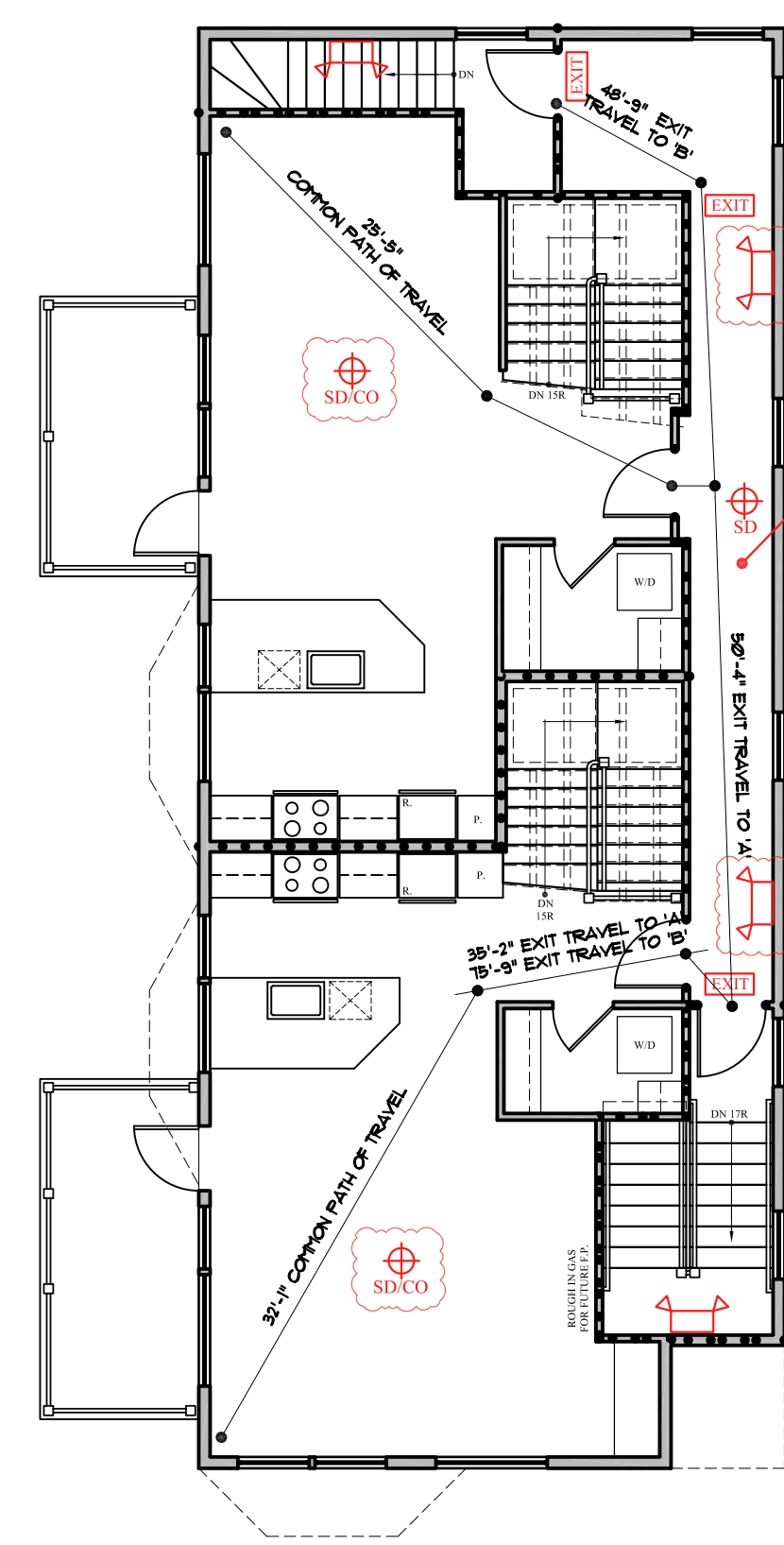
-LIFE SAFETY SYSTEM SHALL BE DESIGNED AND INSTALLED PER NFPA 72 & PER CITY & STATE REQUIREMENTS AND BY A CITY/ STATE APPROVED CONTRACTOR WITH A SEPERATE PERMIT.

WALL LEGEND

- EXISTING WALL
- DEMO WALL
- PROPOSED WALL
- FIRE RATED WALL
 - 1/2 HOUR
 - 1 HOUR
 - 2 HOUR



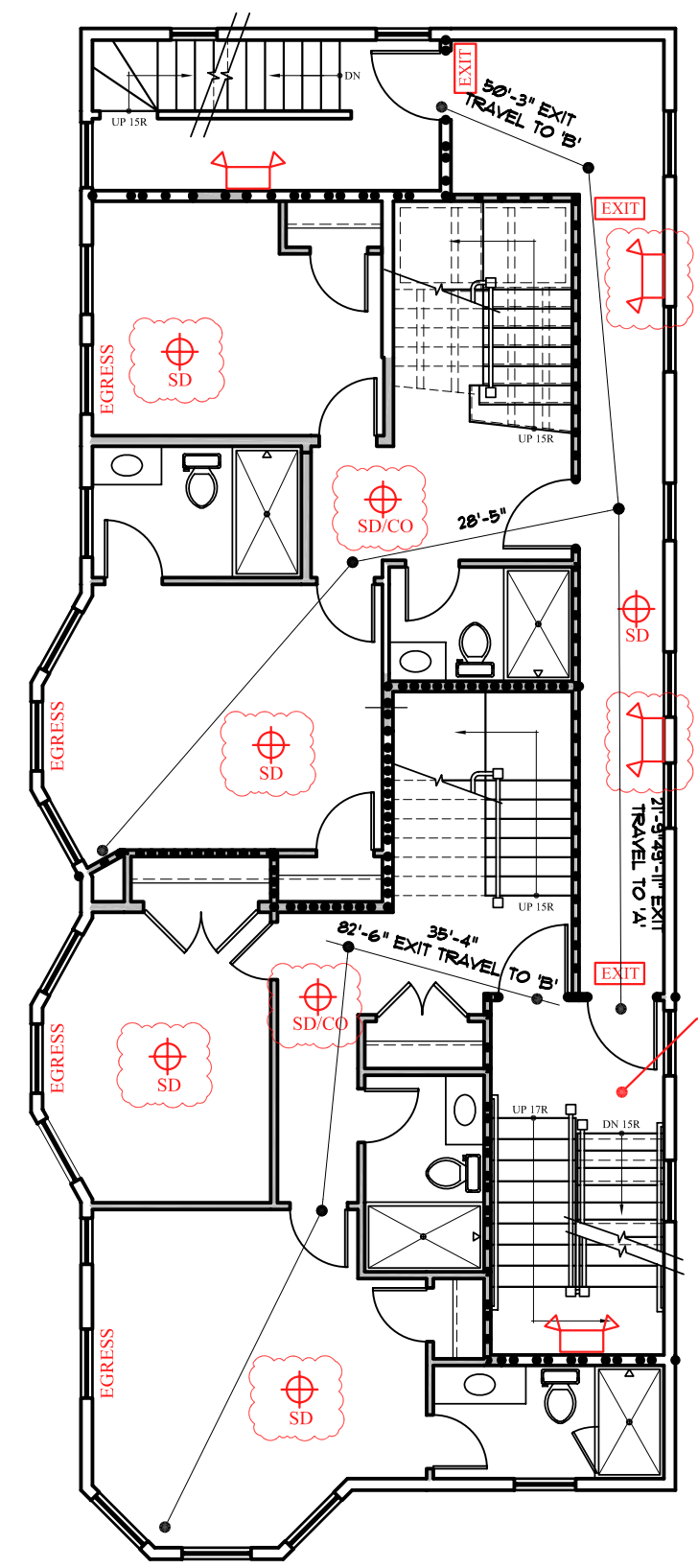
10.12.12
BASEMENT LIFE SAFETY
SCALE: 1/8" = 1'-0"



10.12.12
4TH FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

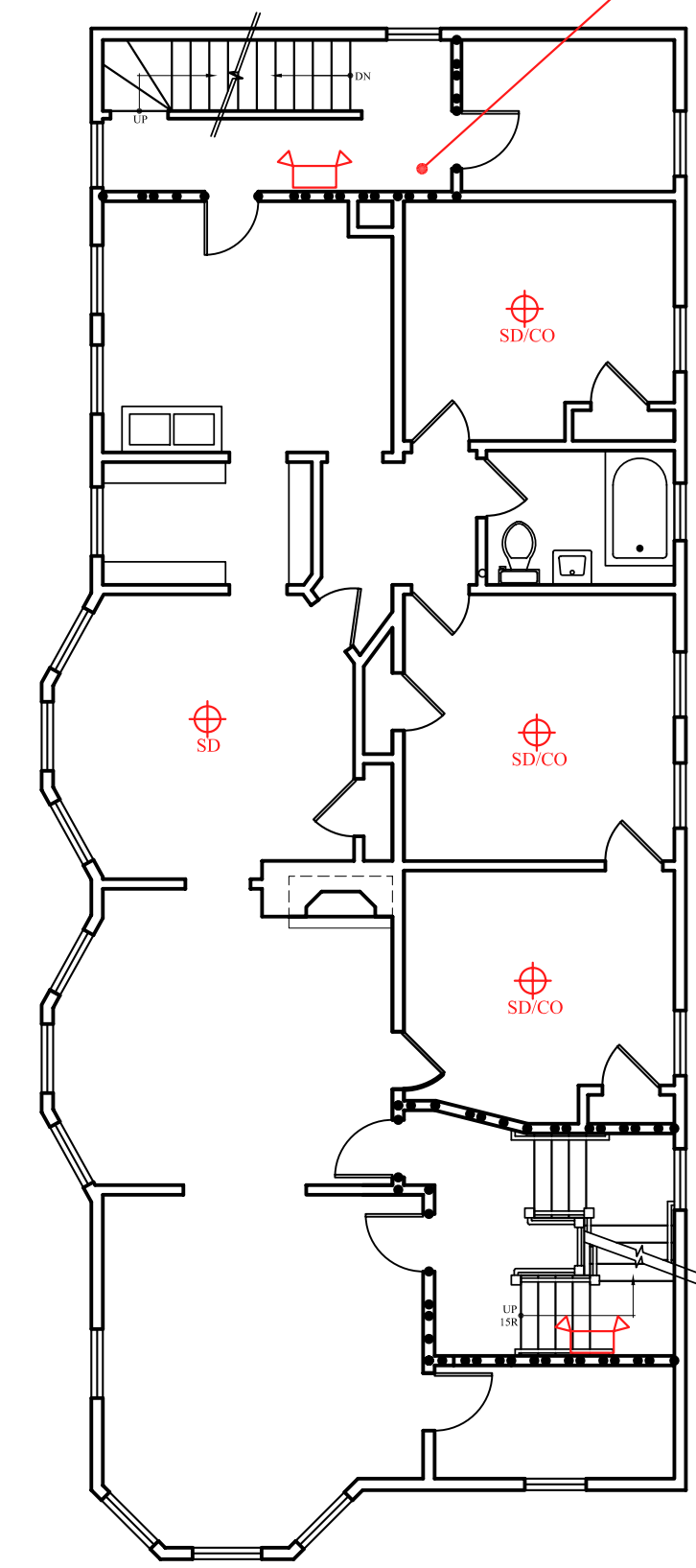
EGRESS CORRIDORS SHALL HAVE CONTINUOUS ILLUMINATION OF 1 FT-CANDLE MIN. PER NFPA 101 (TYP. @ 3RD & 4TH FLOORS)

NOTE: STAIRWELL SIGNAGE @ EACH FLOOR SHALL MEET NFPA 101.7.21.2.5.4



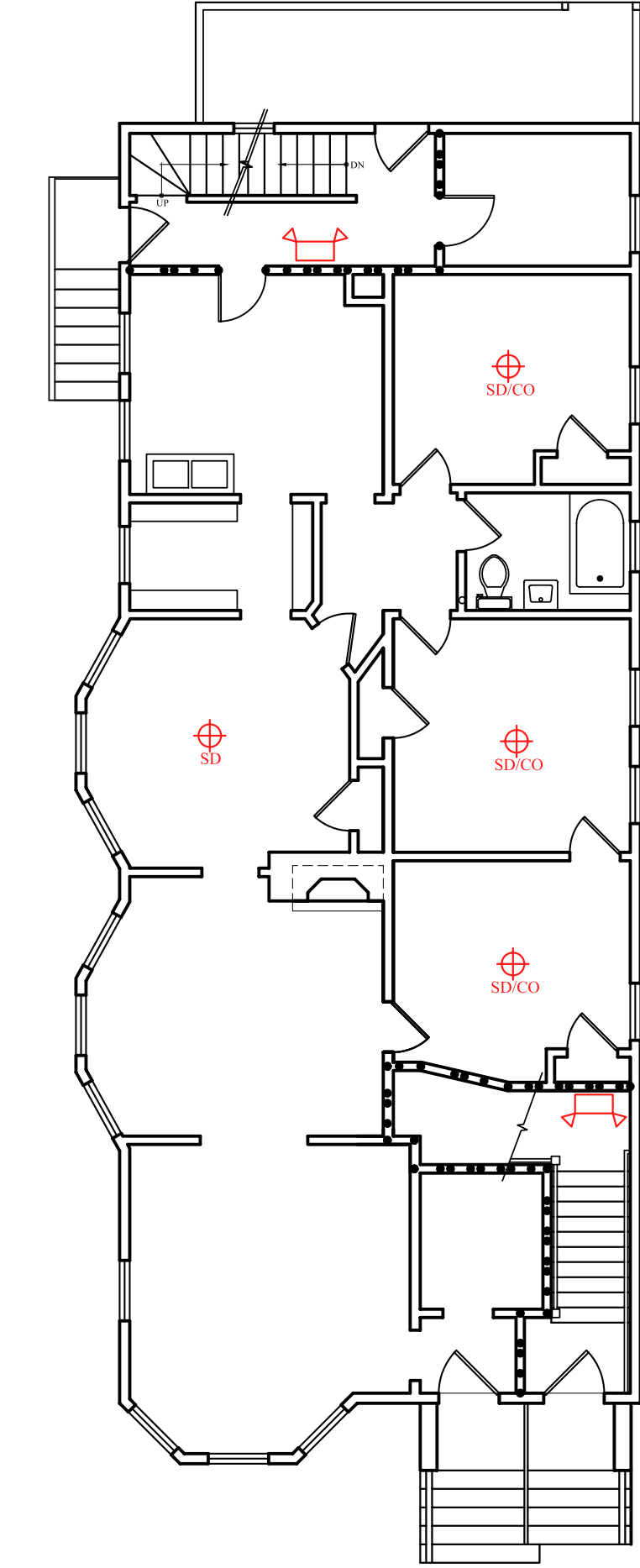
10.12.12
3RD FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

EGRESS STAIRS SHALL HAVE CONTINUOUS ILLUMINATION OF 10 FT-CANDLE MIN. PER NFPA 101 (TYP. @ ALL EGRESS STAIRS)



10.12.12
2ND FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

EGRESS STAIRS SHALL HAVE CONTINUOUS ILLUMINATION OF 10 FT-CANDLE MIN. PER NFPA 101 (TYP. @ ALL EGRESS STAIRS)



10.12.12
1ST FLR LIFE SAFETY
SCALE: 1/8" = 1'-0"

INSTALL SPRINKLER SYSTEM PER NFPA 13R THROUGHOUT THE BUILDING

LIFE SAFETY NOTES:

-LIFE SAFETY SYSTEM SHALL BE DESIGNED AND INSTALLED PER NFPA 72 & PER CITY & STATE REQUIREMENTS AND BY A CITY/ STATE APPROVED CONTRACTOR WITH A SEPERATE PERMIT.

-PULL STATIONS TO PROVIDE ACTIVATION OF SMOKE DETECTOR SIGNALING

REVISED: OCTOBER 12, 2012
PERMIT SET: AUGUST 15, 2012

GENERAL NOTES

1. THE SPACE SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IRC 2009, IECC, NFPA 101.
2. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS. G.C. SHALL REPORT ANY & ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO WORK.
3. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
5. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN ALL HIGH HUMIDITY AREAS.
6. ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
7. ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70.
8. BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR.
9. G.C. TO PROVIDE FINAL SPACE CLEANING PRIOR TO OCCUPANCY
10. G.C. TO VERIFY & CHECK PROPER FUNCTION OF ALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO HVAC, ELECTRICAL/LIGHTING, & PLUMBING PRIOR TO TENANT OCCUPANCY
11. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
12. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
13. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
14. INSTALL U.L. FIRE-STOPPING SEALANT/SYSTEM EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
15. FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING PENETRATIONS. CAULK JOINTS. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
16. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
17. ALL WINDOWS IN SLEEPING ROOMS SHALL BE EGRESS WINDOWS MEETING THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS: 22" WIDE - 24" HIGH - 5.7 S.F.
18. ALL WINDOWS WITHIN 60° HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
ALL OPERABLE WINDOWS ABOVE 72" FINISH GRADE & SILL BELOW 24" A.F.F. SHALL HAVE A 4" OPENING LIMITATION
19. BUILDING INSULATION SHALL BE PROVIDED AS INDICATED & NOTED IF NOT SHOWN IN ITS ENTIRETY THROUGHOUT THE DRAWING SET. INSULATE ALL BATHROOM, LAUNDRY & MECH. ROOM WALLS & VENT PIPES.
20. BEAM, JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT &/OR ENGINEER PRIOR TO WORK.
21. ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.

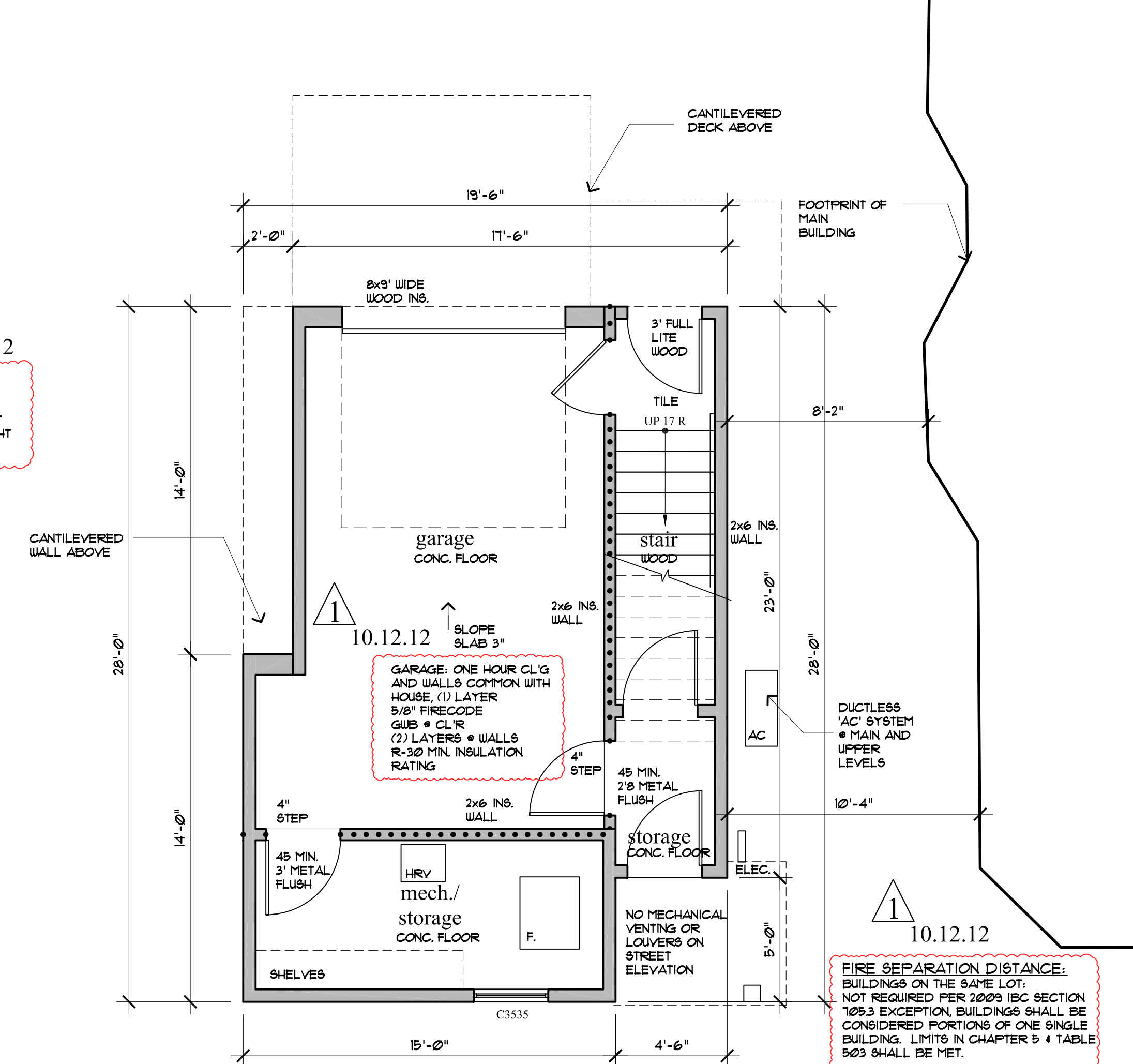
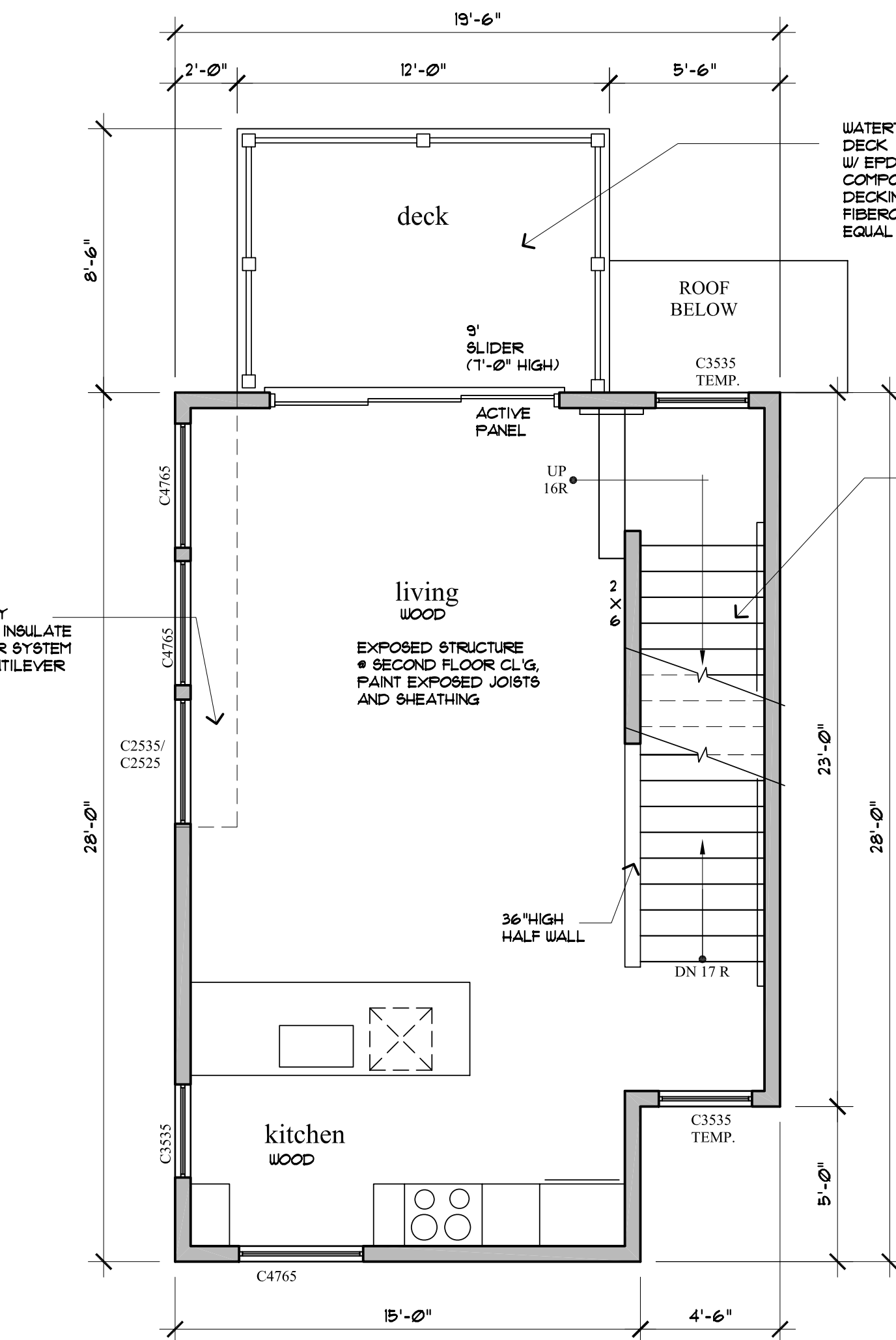
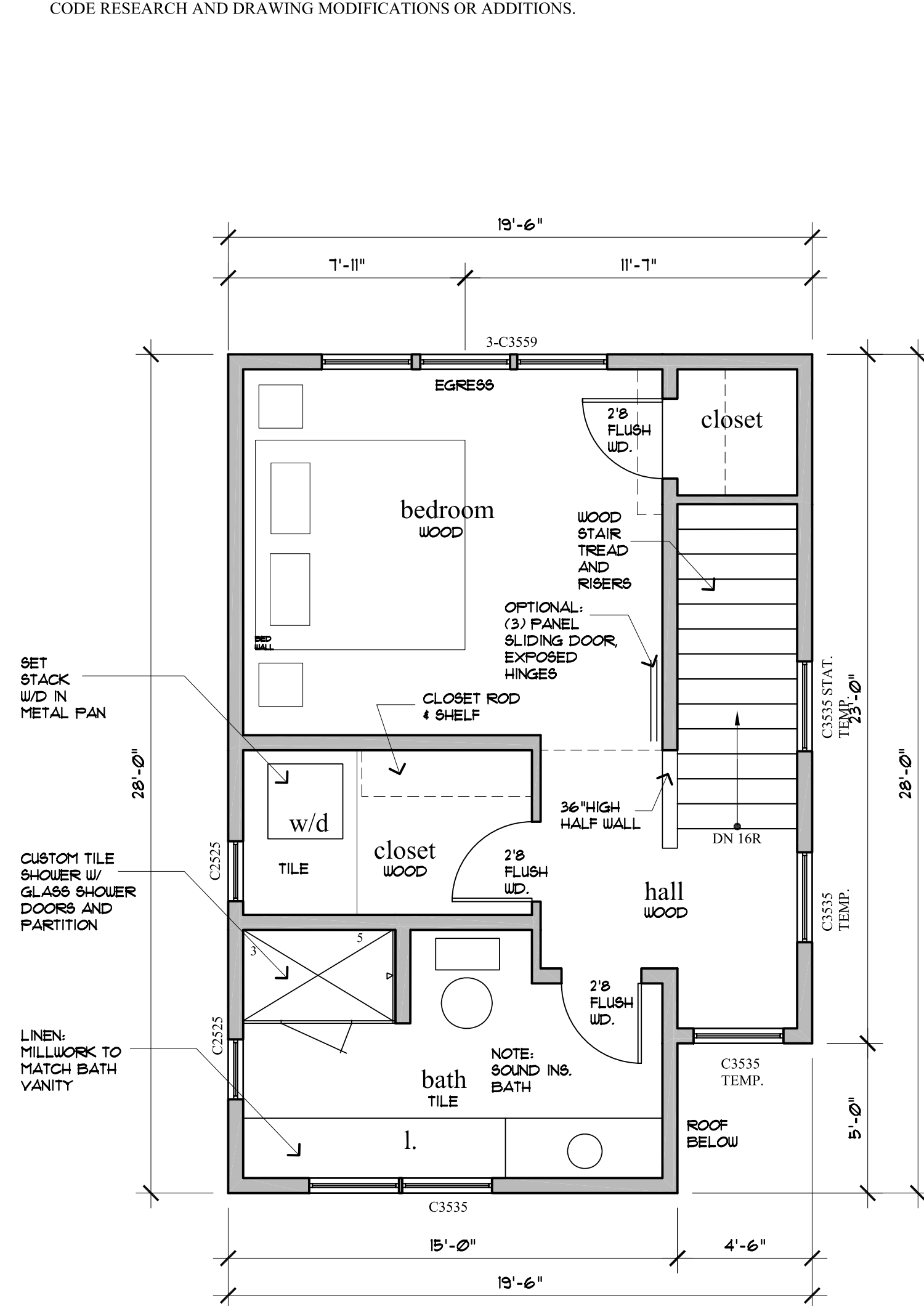
CODE DATA:

USE GROUP: R-2
 CONSTRUCTION TYPE: 5B
 BUILDING AREA: 1,569 SF
 BUILDING HEIGHT: 3 STORIES

* STUDIO BUILDING & MAIN BUILDING SHALL BE CONSIDERED ONE SINGLE BUILDING PER 705.3 AND MEETING CHAPTER 5 2009 IBC FOR SPACE & BULK

THE STUDIO BUILDING SHALL BE SPRINKLERED PER NFPA 13R AND THE CITY OF PORTLAND SPRINKLER ORDINANCE. PERMITS SHALL BE OBTAINED FROM THE STATE FIRE MARSHALS OFFICE BY THE SPRINKLER CONTRACTOR.

THE WATER SERVICE FOR THE STUDIO BUILDING SHALL BE PIPED UNDERGROUND FROM THE MAIN BUILDING. VERIFY ACCESS WITH APPLICABLE ORDINANCES PRIOR TO WORK.



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43 CUMBERLAND AVE. APARTMENTS STUDIO BUILDING
 MARK SMITH AND STEPHANIE DUNN
 41 CUMBERLAND AVENUE PORTLAND, MAINE

PROPOSED PLANS
 REVISIONS
 DATE: JULY 24, 2012
 PROJECT: 43 STUDIO
 DRAWN BY: MLM
 CHECK BY: MLM

REVISED: OCTOBER 12, 2012
 DESIGN AMENDMENT SET: SEPTEMBER 13, 2012
 PERMIT SET: AUGUST 15, 2012

STUDIO A-1.0

- EXTERIOR ELEVATION LEGEND**
- [A] CEMENTITIOUS VERTICAL SIDING
7" TW, SMOOTH, PRE-FINISHED
 - [B] CEMENTITIOUS HORIZONTAL SIDING
7" TW, ROUGH, PRE-FINISHED
 - [C] CEMENTITIOUS PANELS
4' X 8' WIDE SHEETS, SMOOTH,
FIELD CUT, ISOLATE WITH MANUFACTURE
JOINT REGLETS AND FLASHING,
FACTORY PRE-FINISH
- AZEK EXTERIOR FINISH
SMOOTH, FRIEZE, FASCIA, SOFFITS AND RUNNING
TRIM, FIELD CUT, ISOLATE WITH MANUFACTURE,
CONTINUOUS WHITE ALUMINUM FLASHING,
FACTORY PRE-FINISH
- COMPOSITE DECKING;
FIBRON OR EQUAL

NOTES:
SIDING 'A', 'B' & 'C', PRE-FINISHED SIDING; ONE COAT
PRIMER AND FIRST PAINT COAT BY MANUFACTURE
FROM MANUFACTURE STANDARD COLORS, FINISH PAINT
COAT BY GENERAL CONTRACTOR

SIDING INSTALLATION AND FLASHING SHALL BE
INSTALLED PER THE MANUFACTURER'S
RECOMMENDATIONS TO INSURE A PROJECT WARRANTY

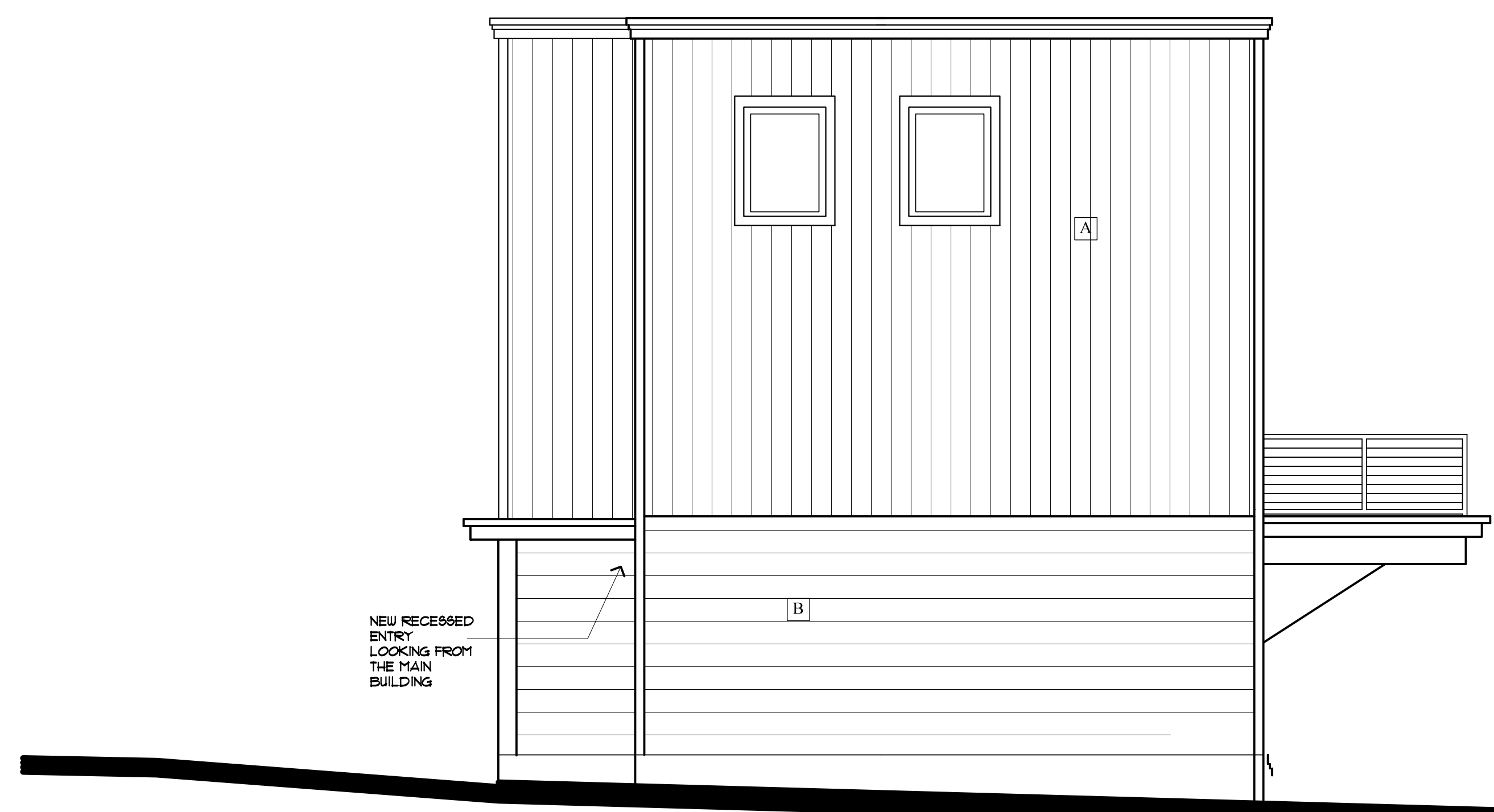
THE GENERAL CONTRACTOR AND MANUFACTURE
REPRESENTATIVE SHALL CONDUCT A SITE
INSTALLATION MEETING PRIOR TO WORK

ALL FASCIA, RAKE, SOFFIT & DECK TRIM SHALL BE AZEK
TRIM OR EQUAL.

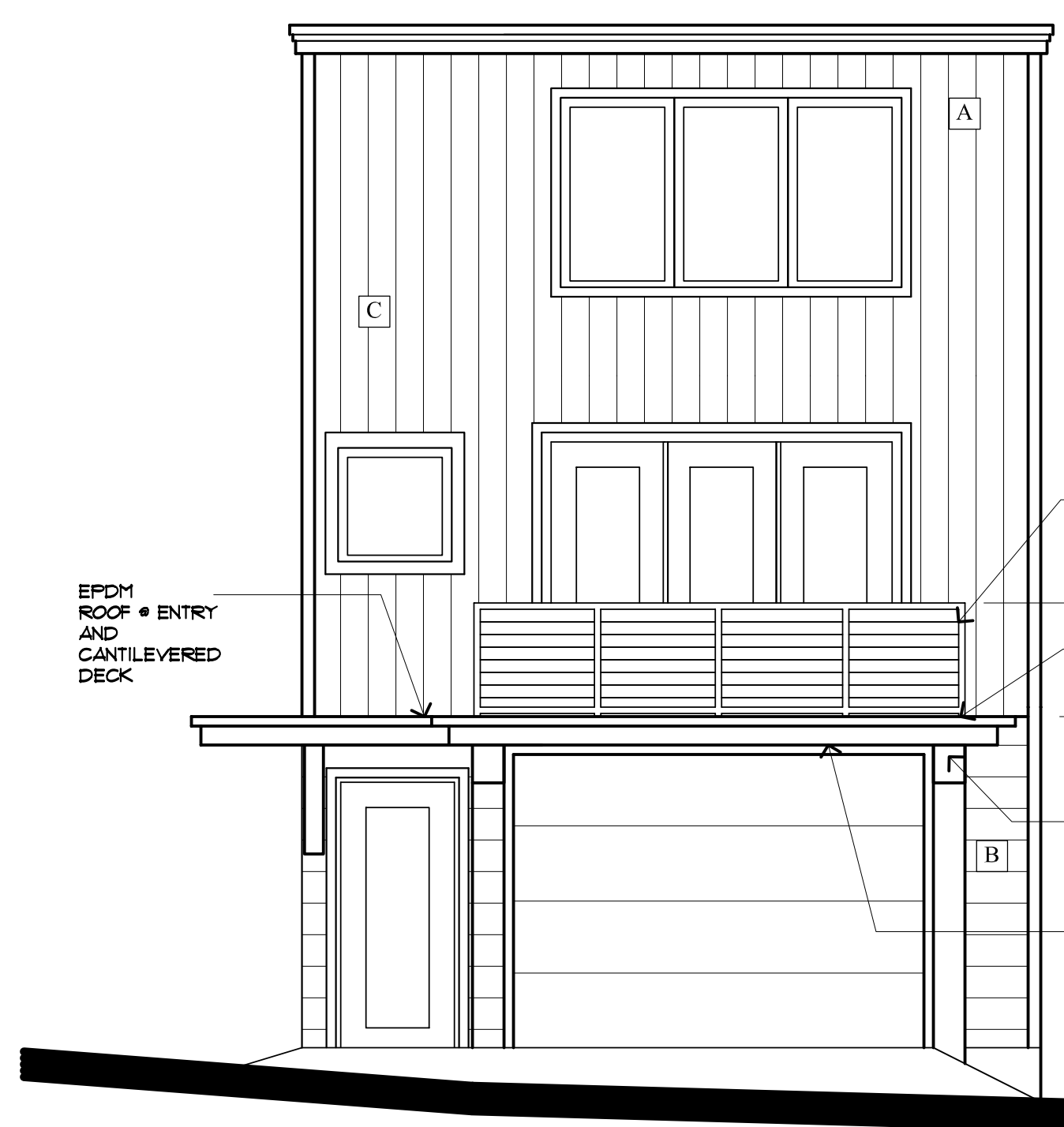
ALL CORNER BOARDS, WINDOW & DOOR TRIM SHALL BE
BY HARDPLANK, CONCEALED FASTENERS

FLASHING:
-INSTALL ALUM. HEAD FLASHING AT ALL WINDOWS
AND DOORS
-V-COR FLASHING (4) SIDES ALL WINDOWS & DOORS
-PAN FLASH ALL DECK DOOR SILL
-INTEGRATE WITH RAIN SCREEN
PER MANUFACTURER DETAILS

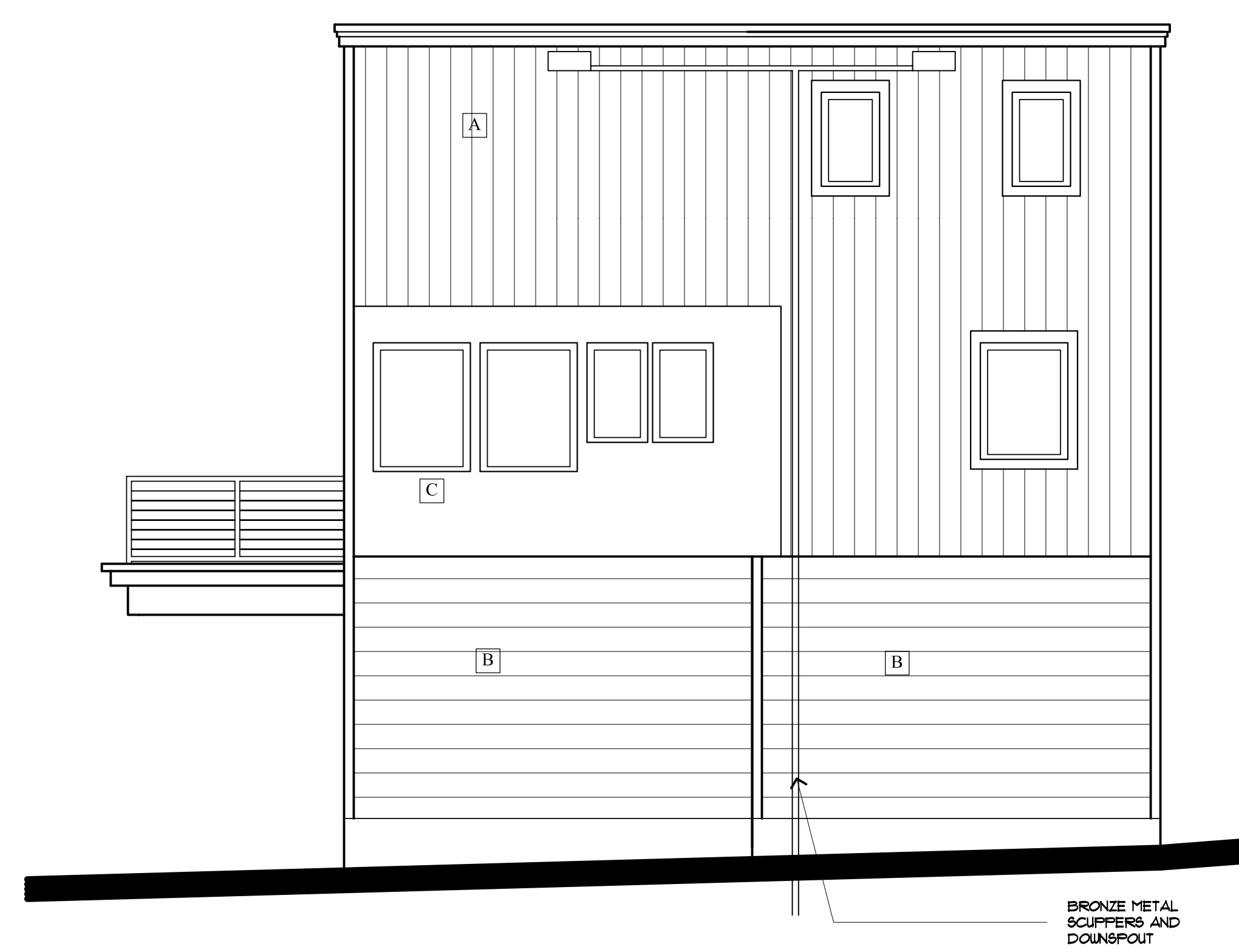
ICE AND WATER SHIELD FLASHING:
-COVER ALL PITCHED ROOFS W/ ICE & WATER SHIELD
-FLASH ALL ROOF/WALL JUNCTURES W/ ICE & WATER SHIELD,
2 COURSES @ FASCIAS
-SEPARATE ALL EPDM FROM ICE & WATER SHIELD W/ ALUM. SHEET BOND
BREAKER
-TURN ALL EPDM UP WALLS 24"



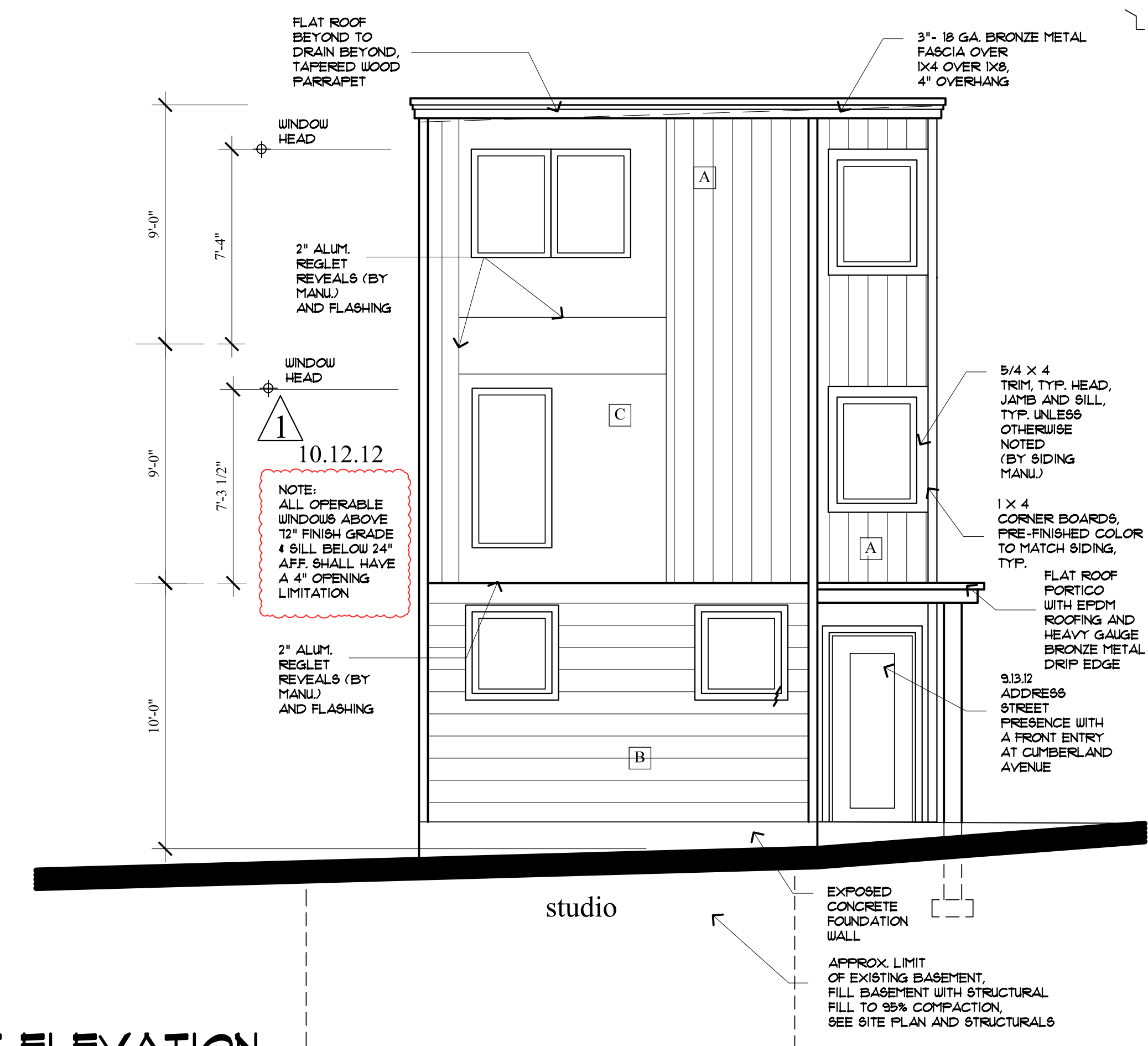
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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**43 CUMBERLAND AVE. APARTMENTS
STUDIO BUILDING**

MARK SMITH AND STEPHANIE DUNN
41 CUMBERLAND AVENUE PORTLAND, MAINE

PROPOSED PLANS

REVISIONS

DATE: JULY 24, 2012

PROJECT: 43 STUDIO

DRAWN BY: MLM

CHECK BY: MLM

REVISED: OCTOBER 12, 2012
DESIGN AMENDMENT SET: SEPTEMBER 13, 2012
PERMIT SET: AUGUST 15, 2012

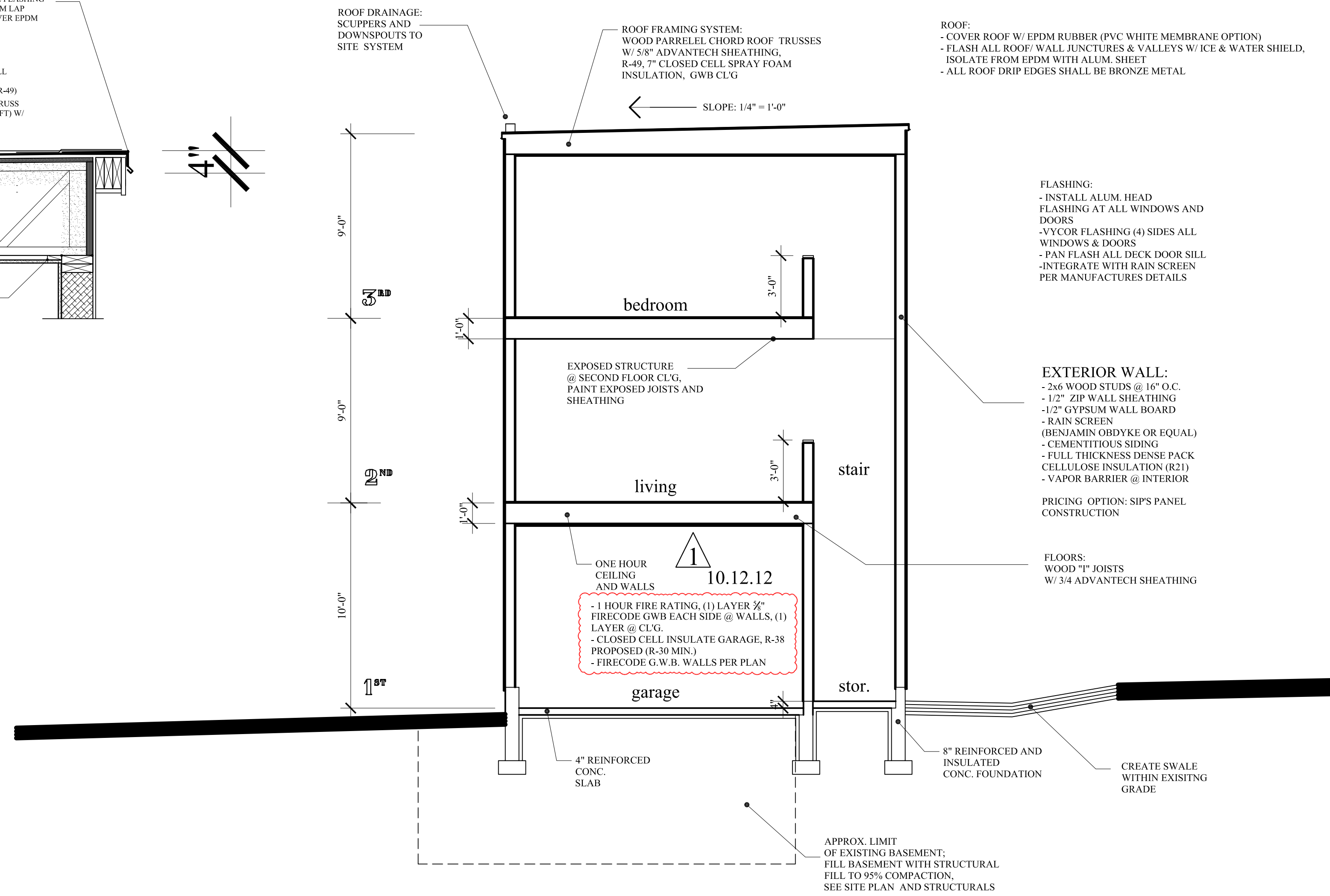
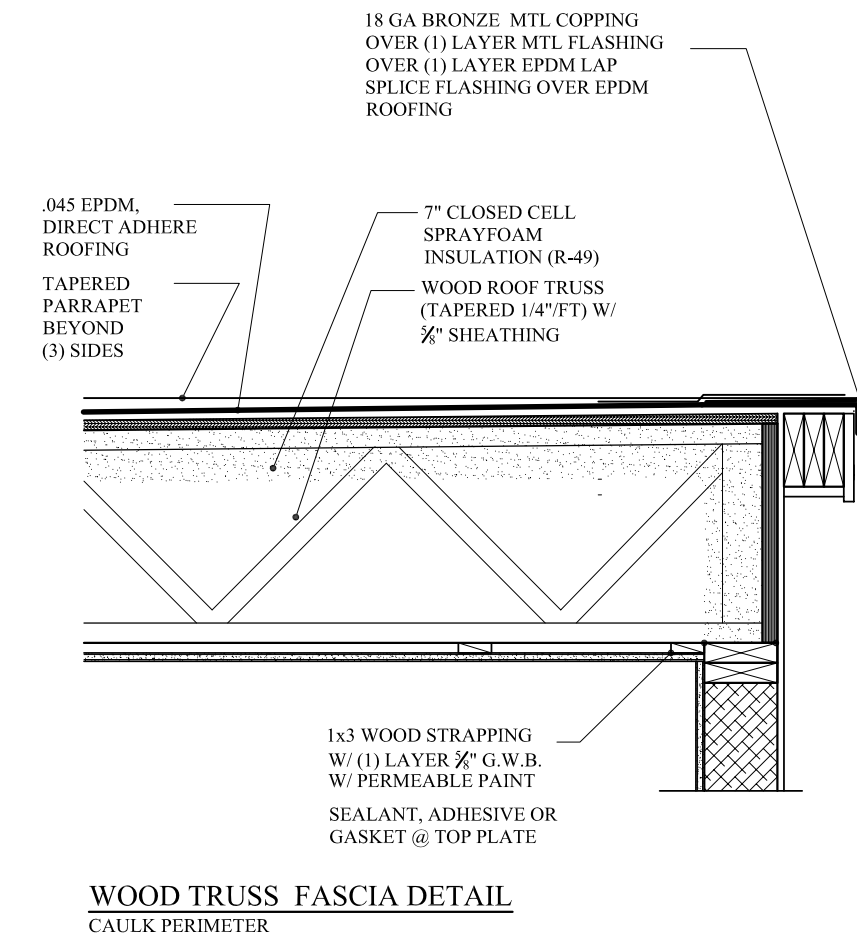
**STUDIO
A-2.0**

WINDOW NOTES:

1. ALL WINDOWS & DOORS SHALL BE PELLA 'PRO-LINE' SERIES.
2. COLOR:
 INTERIOR: NATURAL PINE
 EXTERIOR: MATCH THE MAIN BUILDING
3. GRILLS: NONE
4. EXTENSION JAMBS:
 VARIES - APPLY PER WALL THICKNESS
5. GLAZING
 HIGH PERFORMANCE LOW-E GLASS W/ ARGON
6. CASINGS:
 INTERIOR: NO CASING
 EXTERIOR: CASING BY G.C. PER PLAN
7. SCREENS: (SHIP/ PACKAGE SEPARATE FROM WINDOWS)
 HIGH TRANSLUCENT ALUMINUM MESH INSECT SCREENS OR EQUAL
 DOUBLE HUNG TO BE HALF SCREEN - COLOR TO MATCH EXTERIOR
 CASEMENTS & AWNINGS TO HAVE INTERIOR METAL SURROUND - FINISH TO MATCH INTERIOR
8. HARDWARE:
 COASTAL APPLICATION HARDWARE
 SATIN NICKEL - VERIFY W/ OWNER
 STYLE : MANUFACTURE STANDARD
9. G.C. TO VERIFY WINDOW R.O. W/ WINDOW SUBMITTAL PRIOR TO CONSTRUCTION.
10. G.C. SHALL SUBMIT WINDOW SPECIFICATIONS TO ARCHITECT FOR APPROVAL PRIOR TO ORDER.
11. ADD FOR ALL AVAILABLE DP UPGRADES FOR COASTAL APPLICATIONS.
12. ALL FACTORY MULLS SHALL BE LVL REINFORCED.
13. VYCOR FLASHING @ ALL WINDOW & DOOR, HEAD, JAMB & SILLS.



Cumberland Avenue project
 elevation



BUILDING SECTION
 SCALE: 1/4" = 1'-0"

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