

13-K-17

2006-0214

135 Sheridan Street
Sheridan Heights
Sheridan St., LLC.

on Spreadsheet
to be added to
prj. on G: Drive



GENERAL NOTES:

1. PLANS, BOOKS AND MAPS, REFERENCED IN THIS SURVEY, HAVE BEEN FILED IN THE OFFICE OF THE CLERK OF SUPREMACY, PORTLAND, MAINE. THE CITY OF PORTLAND HAS BEEN ADVISED OF THE LOCATION OF THESE RECORDS BY A LETTER DATED 07/15/2008.
2. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, PORTLAND, MAINE. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, PORTLAND, MAINE.
3. THE AREA OF EASEMENT SHOWN ON SHERIDAN STREET PARCEL, PARCELS 20 AND 21, REMAINS SUBJECT TO THE FOLLOWING EASEMENT:
4. EASEMENT TO MAINTAIN THE FOLLOWING EASEMENT:
5. SHERIDAN STREET, A QUARTER SECTION, DEVELOPMENT BY SHERIDAN STREET, LLC, 51 SHERIDAN STREET, PORTLAND, MAINE, 04101, 2007/2008, RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
6. THE SURVEY CONSIDERS SURVEY OF AGRICULTURAL EASEMENT LIE BUREAU LAND OF JAMES W. MCCORMACK AND CITY OF PORTLAND AT 2007/2008, SHERIDAN STREET, CITY OF PORTLAND, MAINE, PUBLIC ADMINISTRATION, 2007/2008, CITY MAP, PLAN 2007-001, PAGE 20.
7. EASEMENT TO MAINTAIN THE FOLLOWING EASEMENT, PARCELS 20 AND 21, DEVELOPED BY SHERIDAN STREET, LLC, 51 SHERIDAN STREET, PORTLAND, MAINE, 04101, 2007/2008, RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
8. SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS A PAVED PUBLIC WAY.
9. THE SURVEY OF THESE PROPERTIES WAS CONDUCTED ON 7/15/2008, CITY MAP, PLAN 2008-001, PAGE 174.
10. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
11. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
12. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
13. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
14. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
15. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
16. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
17. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
18. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
19. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.
20. THE PLAN OF SHERIDAN STREET, REFERENCED IN THIS SURVEY, IS RECORDED IN THE CLERK OF SUPREMACY, PORTLAND, MAINE, BOOK 1247, PAGE 174.

ZONING:

THE CITY OF PORTLAND HAS BEEN ADVISED OF THE LOCATION OF THESE RECORDS BY A LETTER DATED 07/15/2008.

FLOOD NOTE:

BY THE CITY OF PORTLAND, THIS PROPERTY IS IN ZONE D OF THE FLOOD INSURANCE RATE MAP, COUNTY OF MAINE, PORTLAND, MAINE, AND IS SUBJECT TO AN EFFECTIVE DATE OF 07/15/2008. THE FLOOD INSURANCE RATE MAP IS AVAILABLE AT THE CLERK OF SUPREMACY, PORTLAND, MAINE.

LEGEND:

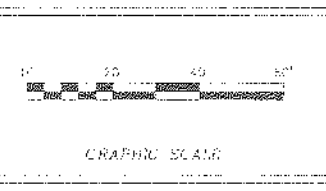
OFF 10	Capped 1 1/2" Water Line	(S-100)	Distance from reference line to stake
PH 0	Raw Pipe Found	A/C	Box to Community
SW 0	Water Valve	1234E/200	Date Survey Made at 1000 Feet
MS 0	Gas Valve		
CB 1	Water Box	(Z)	Marker Stake
- - -	Abutter Line	- - -	Edge of Garden Way
- - -	Property Line	- - -	Concrete Utility
- - -	Street Line	CF	Utility Pole
- - -	Setback Line	- - -	Direction of Survey
---	Contour Line	- - -	Indicates Gateway
Do Lot Line		Do Lot Line / New Easement Line	

BOUNDARY SURVEY/EXISTING CONDITIONS PLAN
AT 121 & 135 SHERIDAN STREET, PORTLAND, MAINE
FOR: SHERIDAN STREET LLC

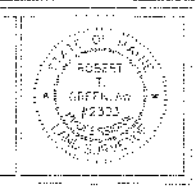
REVISIONS:

01-13-2008-REVISED PROPERTY LINES, UPDATED ABUTTERS, ADDED EASEMENT
 02-27-2008-REVISED PROPERTY LINES, ADDED ABUTTER LINES, NSIC
 03-16-2008-CHANGED NAME OF PLAN AND PROPERTY LINES TO REFLECT
 PURCHASED OWNERSHIP OF A PORTION OF PASSAGE WAY
 04-15-2008-ADDED CONTIGUOUS OF BANK ABOVE ELECTRONIC STA.
LOCATION: 121 & 135 SHERIDAN STREET PORTLAND, MAINE

STATE OF MAINE, CLERK OF SUPREMACY
 RECEIVED JULY 15, 2008
 AT 10:00 AM AND RECORDED IN
 PLAN BOOK 1247 PAGE 174



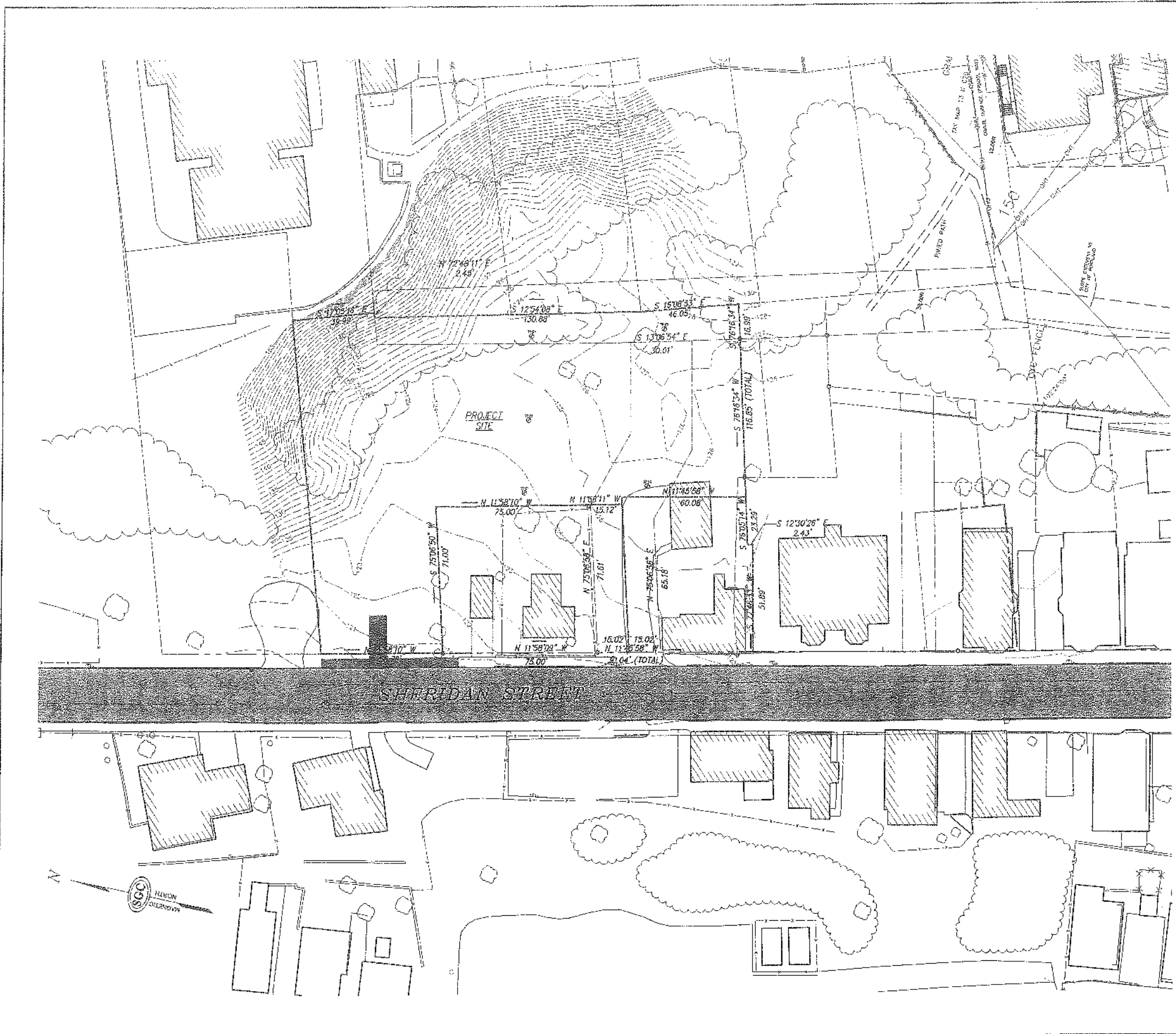
I HEREBY CERTIFY AND ACCEPTED BY ELECTRONIC SIGNATURE
 SIGNED & RECORDED 07/15/2008
 JULY 15, 2008



CERTIFICATION:
 I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF SURVEYING AND MAPPING STANDARDS OF PRACTICE AS ADOPTED APRIL 23, 2003 WITH THE FOLLOWING EXCEPTIONS:
 (A) NO WRITTEN ELECTION
 (B) NO NEW DESCRIPTION
 (C) NO NEW CORRECTIONS WITHIN 30'
 ROBERT T. GREEN, P.E., 10355
 1000 WINDSOR BACK BAY BOUNDARY, INC.
 DATE: 07/15/2008

BACK BAY BOUNDARY, INC.
 LAND SURVEYING
 845 FOREST AVENUE
 PORTLAND, MAINE 04105
 751 716 2222 FAX 751-243-4345

PREPARED BY:
 DRAWN BY: P.M.
 CHECKED BY: J.M.
 SCALE: 1" = 20'
 DATE OF SURVEY: 07/15/2008
 JOB NUMBER: 2008004
 SHEET 1 OF 1
 DRAWING: 0000 - 100 - 000



GENERAL NOTES:

1. SGC ENGINEERING, LLC HAS BEEN RETAINED PURSUANT TO A PROFESSIONAL SERVICES CONTRACT BETWEEN SHERIDAN STREET, LLC AND SGC ENGINEERING, LLC, DATED JAN 11, 2023.
2. ALL SURVEY WORK QUANTITIES BY DATA BY INSTRUMENT, AS NOTED IN THIS STATEMENT.
3. ALL SURVEYING INVESTIGATION AND REVISIONS PERFORMED BY SGC ENGINEERING, LLC. (2023-04-11) SHOULD BE CORRECTED PRIOR TO CONSTRUCTION AND REVISIONS. (2023-04-11)

MAP REFERENCES:

1. A PLAN ENTITLED "BOUNDARY SURVEY/EXISTING CONDITIONS PLAN" DATED 02-18-2023 PREPARED BY RICHARD BAY, SGC ENGINEERING, LLC.
2. A PLAN ENTITLED "SHERIDAN STREET PLAN & PROFILE" S.D. 4155, TO 3400' DATED 08-10-2022 PREPARED BY RICHARD BAY, SGC ENGINEERING, LLC.

REVISIONS:

NO.	DATE	DESCRIPTION

SGC ENGINEERING, LLC
 • Civil Design & Survey Engineering
 • Environmental & Regulatory Planning
 • Electrical Power Systems Engineering

SGC

REGISTERED PROFESSIONAL ENGINEER
 STATE OF MAINE
 JOHN RICHARD BAY
 NO. 4887

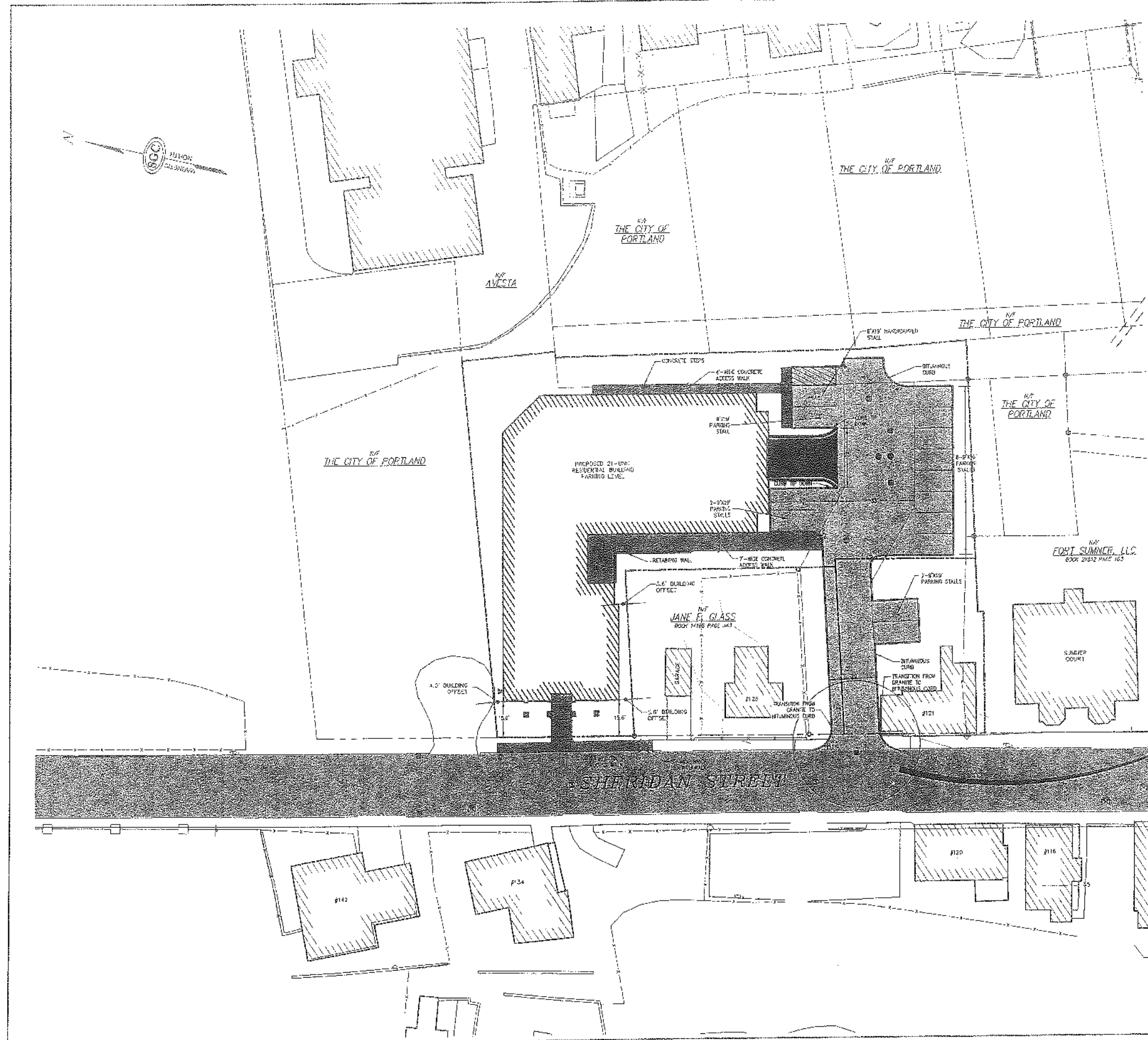
PREPARED FOR:
 SHERIDAN STREET, LLC.
 477 CONGRESS STREET
 PORTLAND, MAINE 04101
 207-523-3410

DATE: 04/11/23
 PROJECT: 23-011
 FILE: SITE_PLAN_SHEET1.DWG

TITLE:
 EXISTING CONDITIONS
 SHERIDAN HEIGHTS
 121 & 135 SHERIDAN STREET
 PORTLAND, MAINE 04101

SHEET:
 C1

EXISTING	LEGEND	PROPOSED
○ ○ ○ ○ ○	PROPOSED MONUMENT	○ ○ ○ ○ ○
○	STORM DRAIN LINE	○
—	SEWER LINE	—
—	WATER LINE	—
—	ELECTRIC	—
—	COMMUNICATIONS	—
—	GAS SERVICE	—
—	OVERHEAD WIRE	—
—	SWALE CENTERLINE	—
—	ROAD CENTERLINE	—
—	ROAD CORNER	—
—	EDGE OF WALKWAY	—
—	EDGE OF WATERCOURSE	—
—	SGC SEAL DISCONTINuity	—
—	LEGISLATIVE PROPERTY LINE	—
—	RECORDED PROPERTY LINE	—
—	FEHFP	—
—	TRAIL LINE	—
—	STONEWALL	—
—	PAVED SURFACE	—
—	GRAVEL SURFACE	—
—	CONCRETE SURFACE	—
—	SEWER MANHOLE	—
—	RAIN MANHOLE	—
—	CATCH BASIN	—
—	UTILITY POLE	—
—	WELL	—
—	HYDRANT	—
—	WATER METER VALVE	—
—	WATER SHUT OFF	—
—	GAS VALVE	—
—	VEGETATION SYMBOL	—
—	LIGHT POLE	—
—	SEWER	—
—	TREY PIT	—



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	ADJACENT PROPERTY LINE	---
---	PAVEMENT	---
---	ROOF OF PAV.	---
---	BUILDING CURB	---
---	PAVED SURFACE	---
---	WALKWAY	---
---	WALKWAY	---
---	WALKWAY	---
---	WALKWAY	---
---	WALKWAY	---
---	WALKWAY	---
---	WALKWAY	---

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

SGC ENGINEERING, LLC
 Civil Design & Survey Engineering
 Environmental & Regulatory Permitting
 Electrical, Power Systems Engineering

SGC

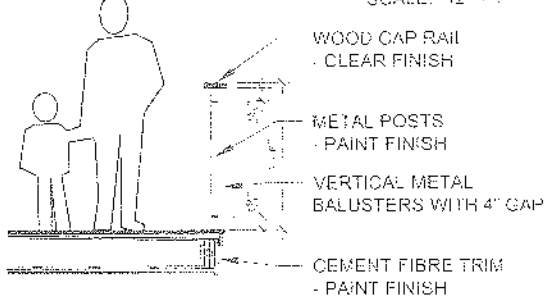
SHERIDAN STREET, LLC
 477 CONGRESS STREET
 PORTLAND, MAINE 04101
 207-523-3410

SITE PLAN
 SHERIDAN HEIGHTS
 121 & 135 SHERIDAN STREET
 PORTLAND, MAINE 04101

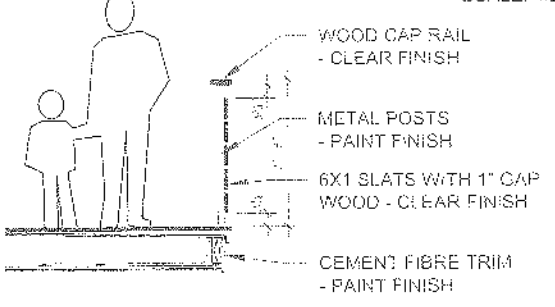
SCALE: 1" = 20'

SHEET: **C2**

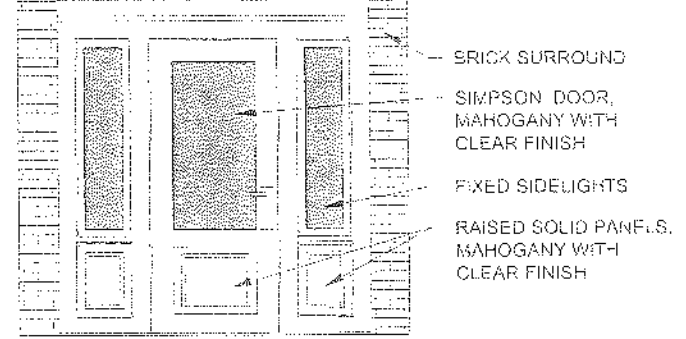
TYPICAL GUARD RAIL - 3RD. FLOOR
SCALE: 1/2" = 1'



TYPICAL GUARD RAIL - 1ST. & 2ND. FLOOR
SCALE: 1/2" = 1'



DETAIL OF FRONT DOOR
SCALE: 1/2" = 1'



8" EXPOSURE CEMENT FIBER CLAPBOARDS

METAL PROJECTED 'BROW'

5" EXPOSURE CEMENT FIBER CLAPBOARDS

GRANITE LINTEL BRICK COLUMN

SPLIT FACE BLOCK BASE

8" EXPOSURE CEMENT FIBER CLAPBOARDS

5" EXPOSURE CEMENT FIBER CLAPBOARDS

SPLIT-FACE BLOCK BASE

1ST. FLOOR TERRACES SCREENED WITH SLATTED WOOD & BRICK FENCE

LANDSCAPED ENTRANCE & RECESSED PORCH OFF SHERIDAN STREET

PROPERTY BOUNDARIES

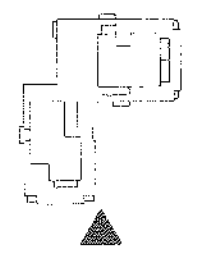
EXISTING BUILDINGS & TREES AT 125 SHERIDAN STREET SHOWN DASHED

SHERIDAN ST. WING

EAST WING BEYOND

WEST

SITE PLAN REVIEW



3. JUNE 17th ARCHITECTS

SHERIDAN HEIGHTS
PROPOSED CONDOMINIUMS AT
135 SHERIDAN STREET, PORTLAND MAINE
FOR SHERIDAN STREET LLC

3. JUNE 17th ARCHITECTS
100 CONVERSAL STREET
PORTLAND MAINE 04101
TEL: 603.233.8744
ARCHITECTURE PLANNING

CONSULTANTS

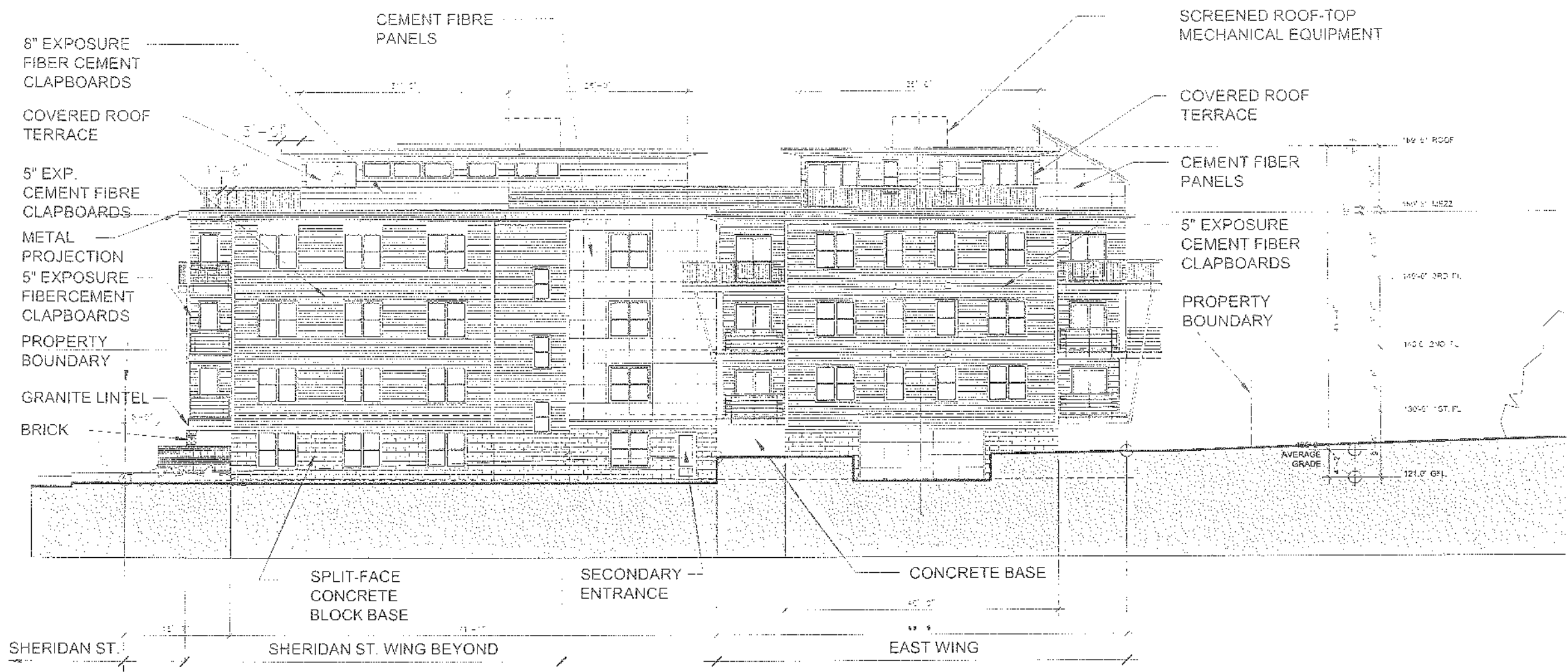
REVISED

DATE: OCTOBER 31, 2006
PROJECT NO.: 502
DRAWN BY: RLR/RS
CHECKED BY: TST
SCALE: 1/2" = 1'

SPEC. TITLE:
WEST ELEVATION

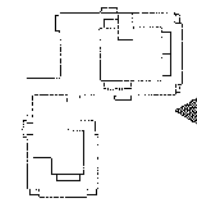
A2.3

25



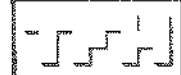
SOUTH

SITE PLAN REVIEW



© 2008 TRH ARCHITECTS

SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC



TRH ARCHITECTS
 45 CLAMOND STREET
 PORTLAND MAINE 04103
 TEL: 603.773.6741
 ARCHITECTURE PLANNING

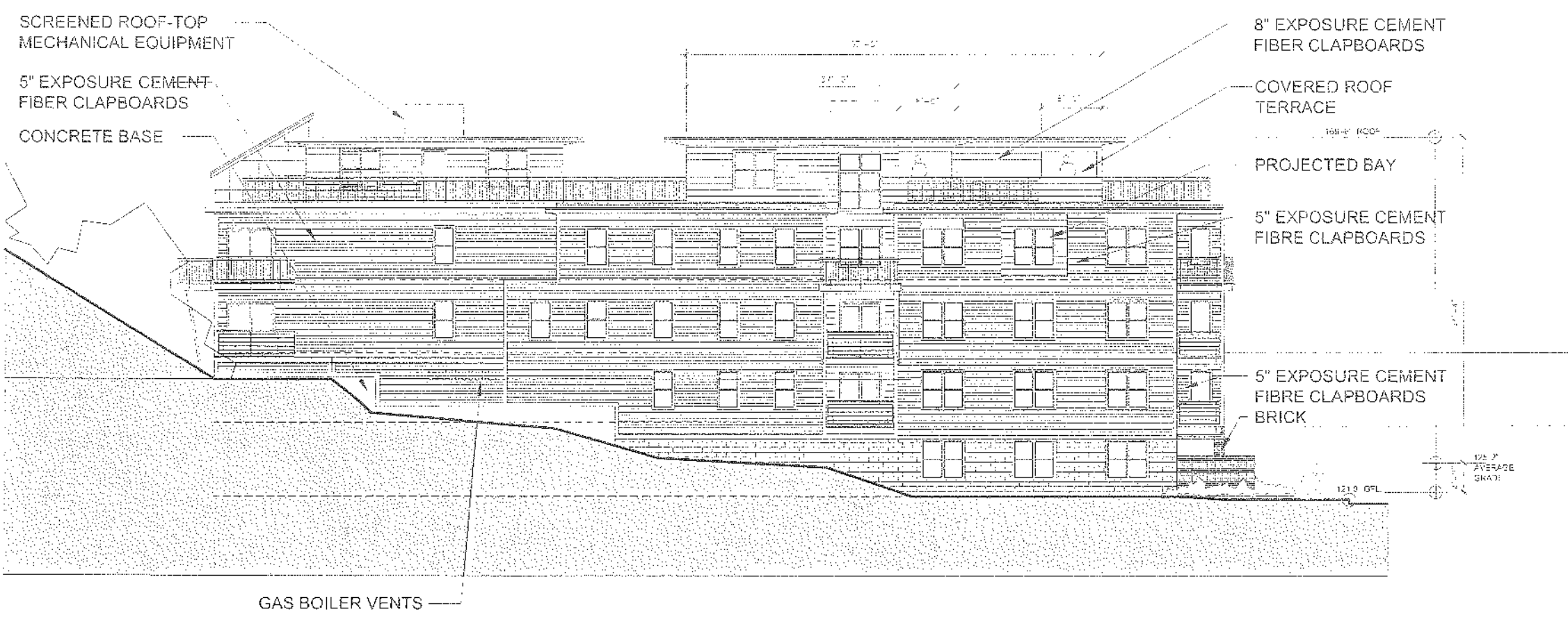
CONSULTANTS

REVISIONS

DATE: OCTOBER 31, 2008
 PROJECT NO.: 557
 DRAWN BY: HJL/RSJ
 CHECKED BY: JST
 SCALE: 1/8" = 1'

SHEET TITLE:
 SOUTH
 ELEVATION

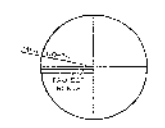
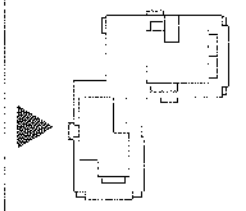
A2.2



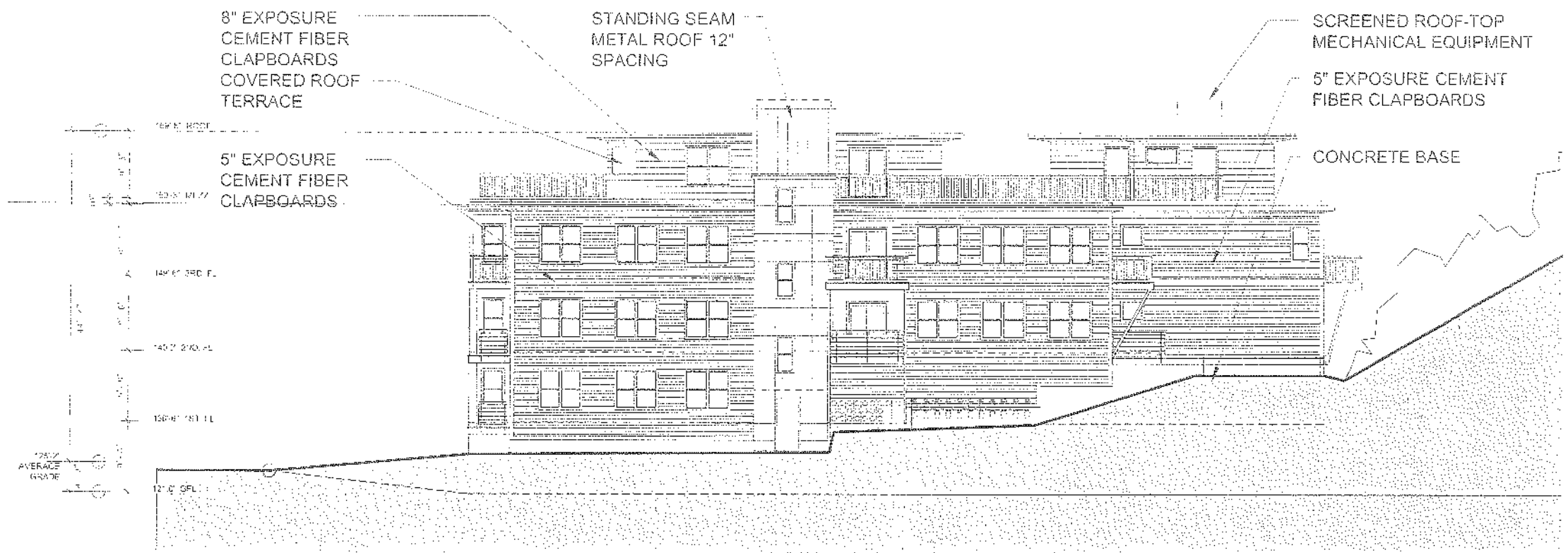
GAS BOILER VENTS

NORTH

SITE PLAN REVIEW

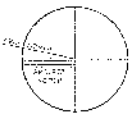
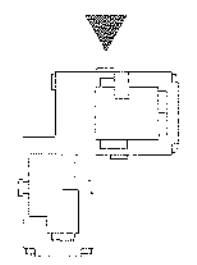


SHERIDAN HEIGHTS PROPOSED CONDOMINIUMS AT 135 SHERIDAN STREET, PORTLAND MAINE FOR SHERIDAN STREET LLC	
<p>TTH ARCHITECTS INC. COMMERCIAL 5" BEECH PORTLAND MAINE 04107 TELEPHONE 603 775 5111 ARCHITECTURE PLANNING</p>	
CONSULTANTS	
REVISIONS	
DATE:	OCTOBER 31, 2006
PROJECT NO.	507
DRAWN BY:	RT, HJS
CHECKED BY:	ET
SCALE:	1/8" = 1'
SHEET TITLE: NORTH ELEVATION	
A2.0	



EAST

SITE PLAN REVIEW



© 2008 TFK ARCH. 0115

SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND, MAINE
 FOR SHERIDAN STREET LLC

TFK ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TEL: 603.751.4341
 ARCHITECTURE PLANNING

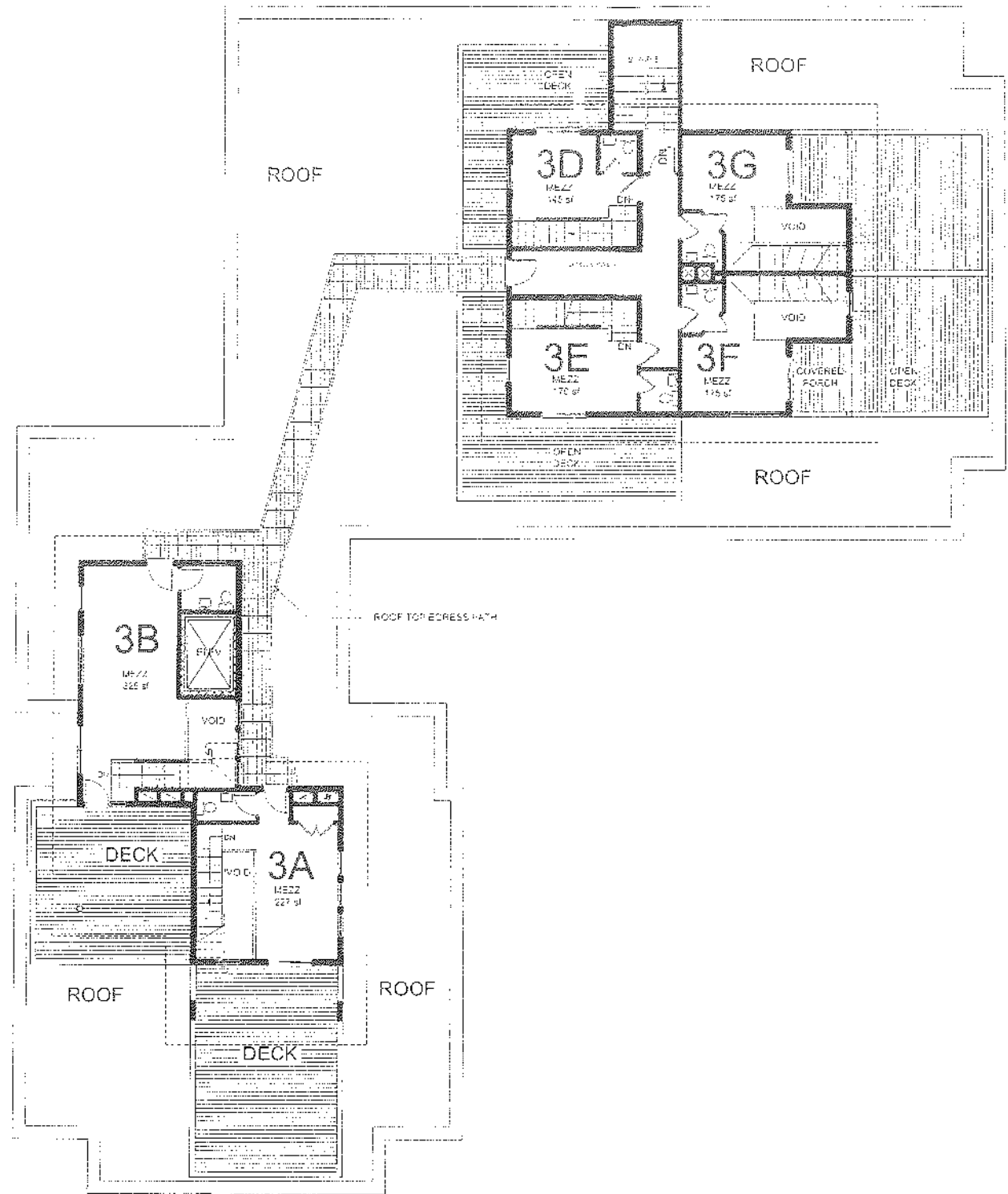
CONSULTANTS

REVISIONS:

DATE: OCTOBER 31, 2008
 PROJECT #: 607
 DRAWN BY: TFL/MLK
 CHECKED BY: TFL
 SCALE: 1/8" = 1'

SHEET TITLE:
 EAST
 ELEVATION

A2.1



SITE PLAN REVIEW

© 2006 TPA ARCHITECTS

SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND, MAINE
 FOR SHERIDAN STREET LLC

TPA ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TELEPHONE: 207 774 4141
 FAX: 207 774 4111

CONSULTANT

REVISIONS

DATE: OCTOBER 31, 2006

SUBJECT No: M7

DRAWN BY: RT, RLS

CHECKED BY: TBT

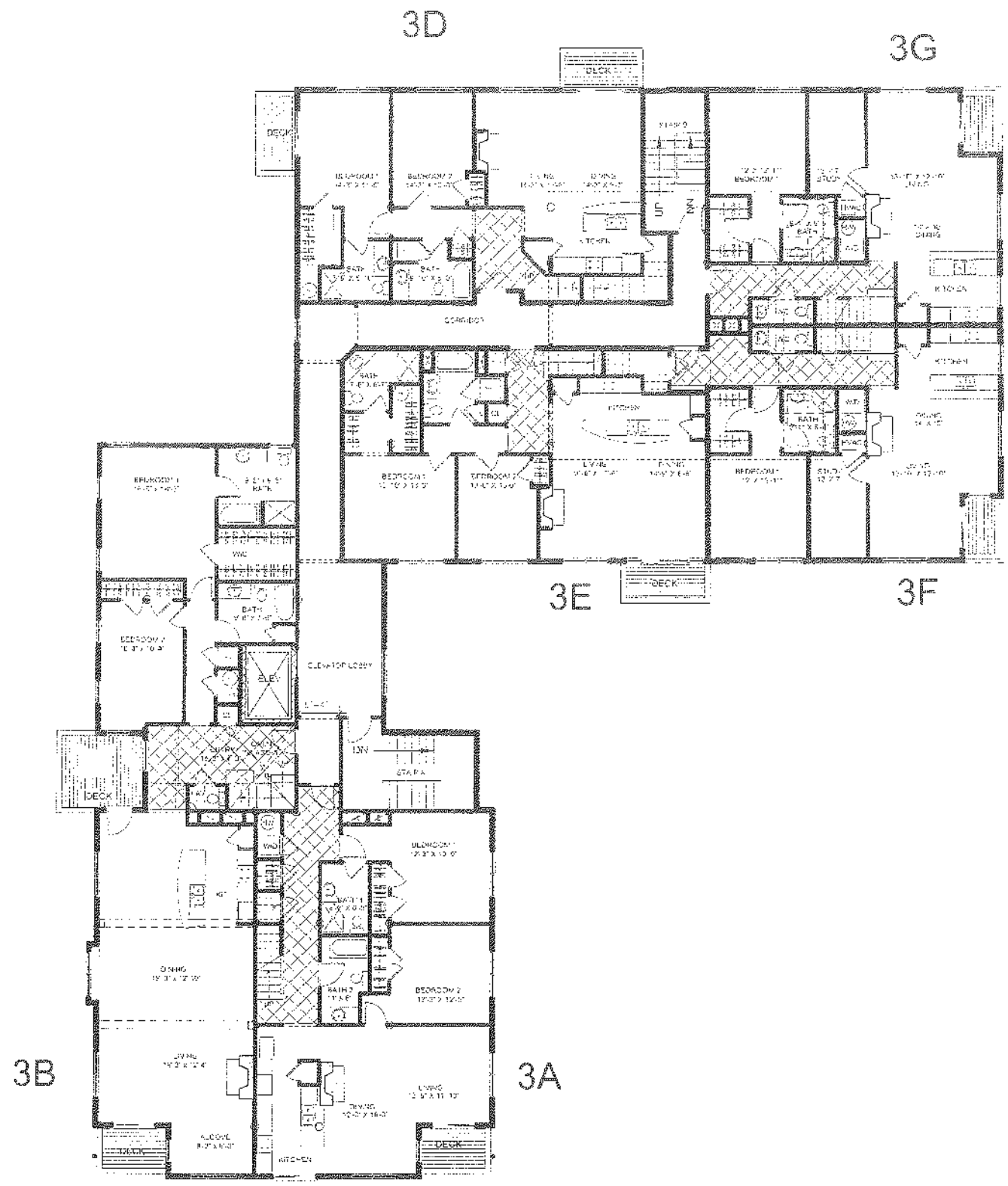
SCALE: 1/8"=1'

SHEET NO: F
MEZZANINE FLOOR



A1.4

27



SITE PLAN REVIEW

SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC

TFH ARCHITECTS
 100 COMMERCE STREET
 PORTLAND MAINE 04101
 TEL: 603.233.7111
 ARCHITECTURE PLANNING

CONSULTANTS

REVIEWS

DATE: OCTOBER 3, 2007

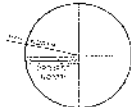
PROJECT NO.: 077

DRAWN BY: RTH, RLS

CHECKED BY: RST

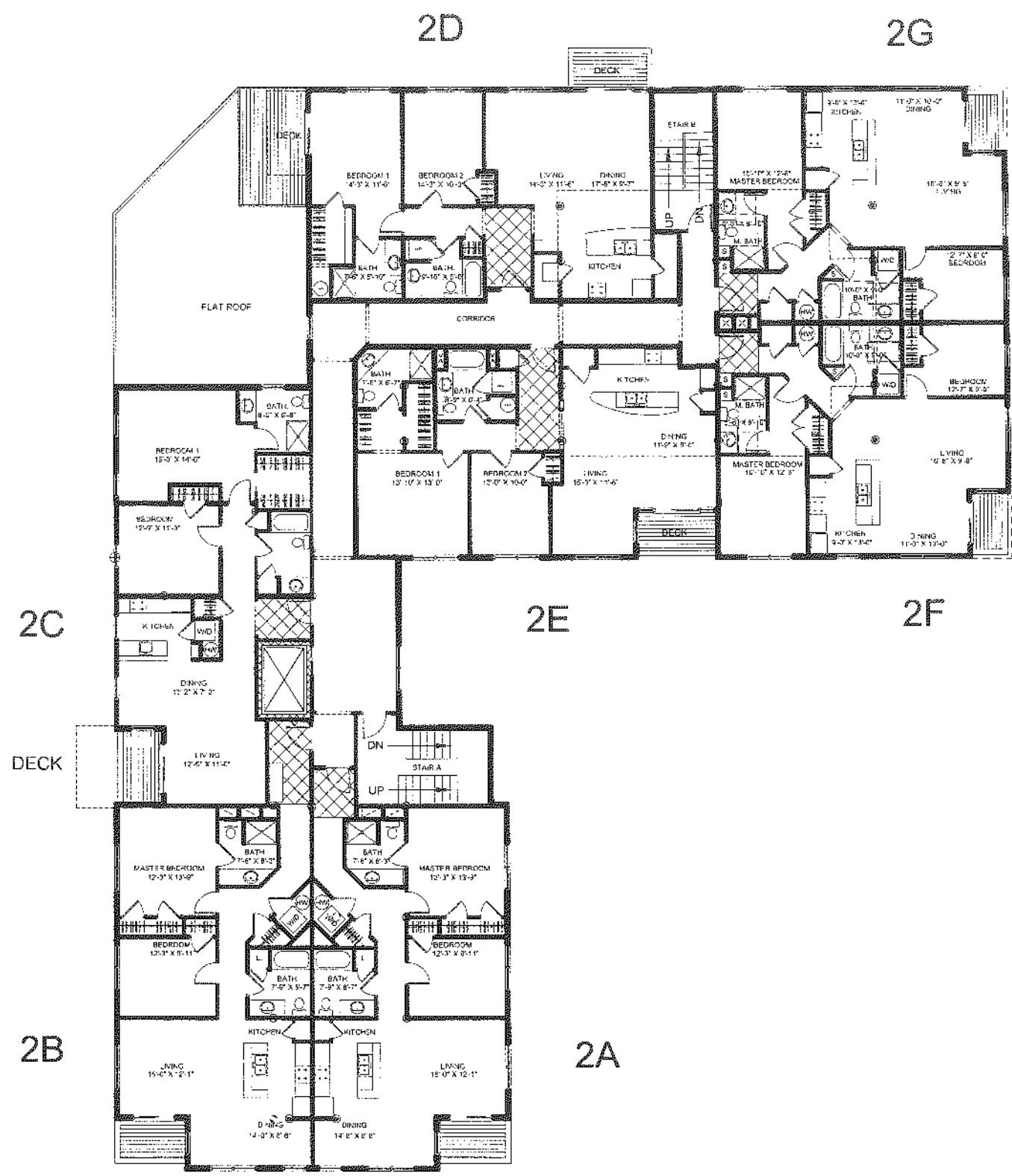
SCALE: 1/8" = 1'

SHEET TITLE:
 THIRD FLOOR



A1.3

2m



SITE PLAN REVIEW



© 2000 TFH ARCHITECTS

SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

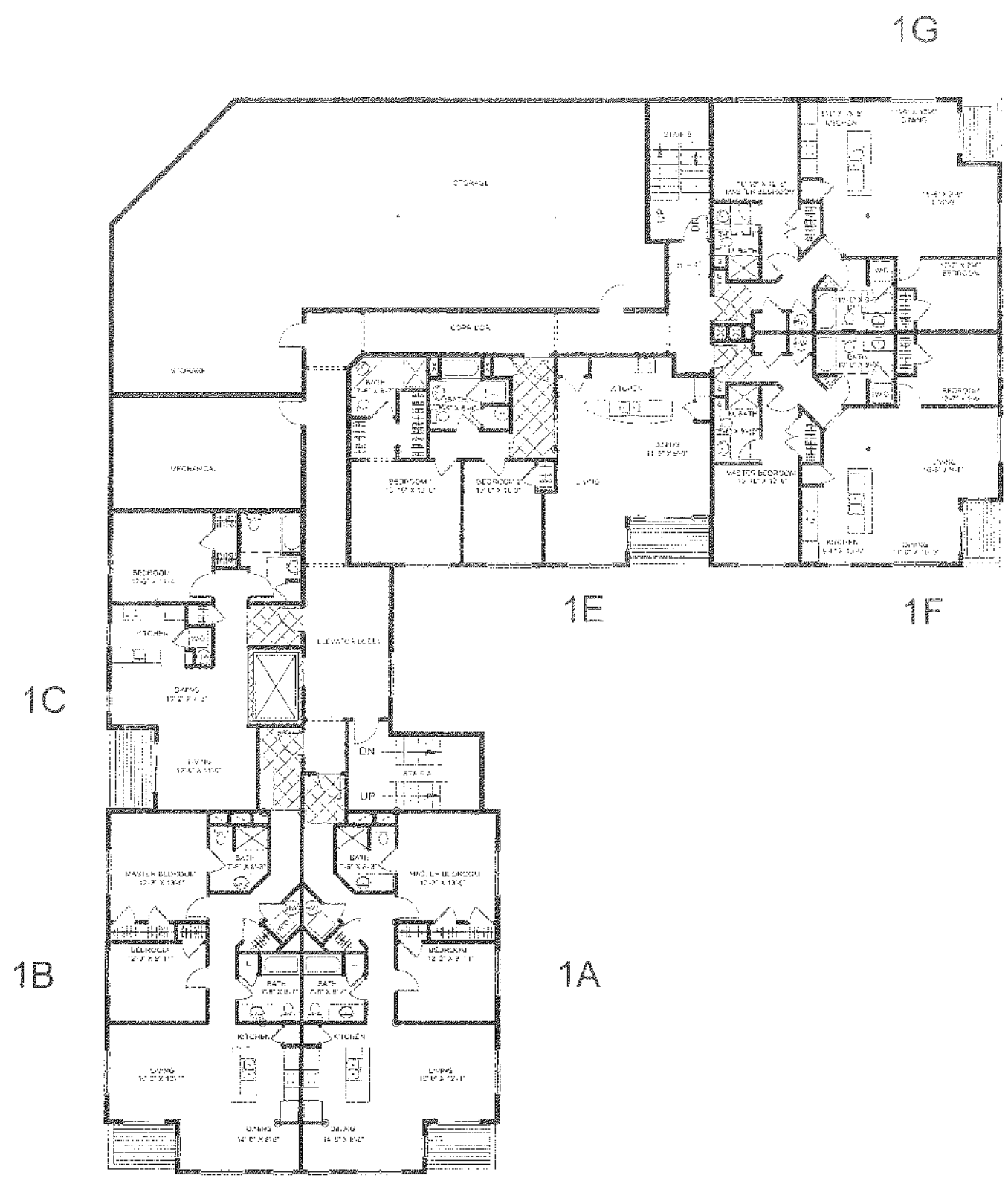
REVISIONS:

DATE: OCTOBER 31, 2008
 PROJECT No: 527
 DRAWN BY: RTL,RJS
 CHECKED BY: TST
 SCALE: 1/8" = 1'

SHEET TITLE:
 SECOND FLOOR

A1.2

2L

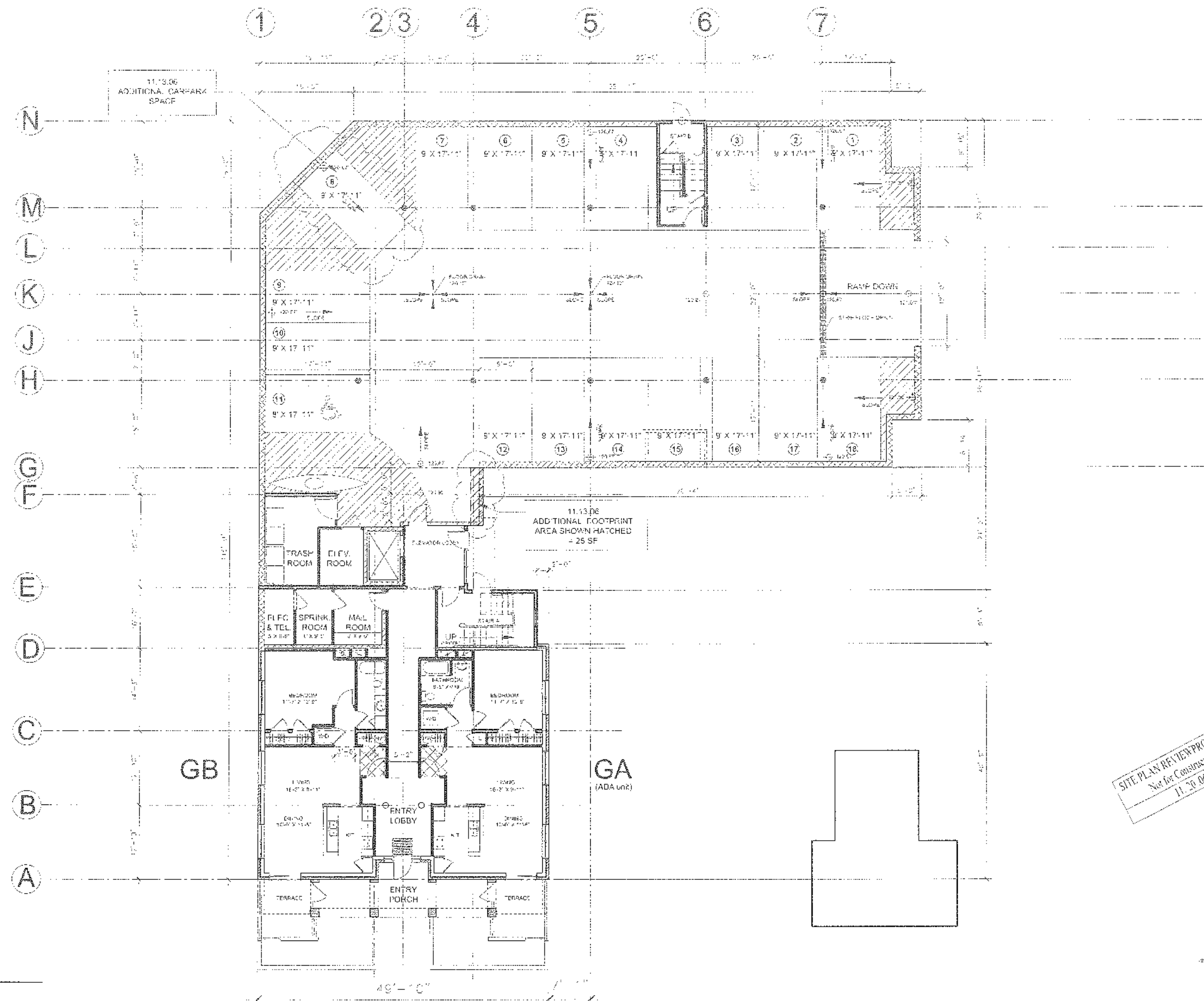


SITE PLAN REVIEW



SHERIDAN HEIGHTS PROPOSED CONDOMINIUMS AT 135 SHERIDAN STREET, PORTLAND MAINE FOR SHERIDAN STREET LLC	
TFH ARCHITECTS 100 COMMERCIAL STREET PORTLAND, MAINE 04101 TELEPHONE 207 776 6144 ARCHITECTURE PLANS & INTERIORS	
DATE:	OCTOBER 31, 2001
PROJECT NO.:	307
DRAWN BY:	REL/AS
CHECKED BY:	TST
SCALE:	1/8" = 1'
SHEET TITLE: FIRST FLOOR	
A1.1	

2K

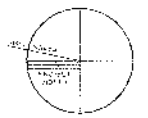


11,15.06
ADDITIONAL CARPARK
SPACE

11.13.06
ADDITIONAL FOOTPRINT
AREA SHOWN HATCHED
= 25 SF

SITE PLAN REVIEW PROGRESS
Not for Construction
11.20.06

1 GROUND FLOOR PLAN
A1.0 1/8" = 1'-0"



SHERIDAN HEIGHTS
PROPOSED CONDOMINIUMS AT
135 SHERIDAN STREET, PORTLAND MAINE
FOR SHERIDAN STREET LLC

TFH ARCHITECTS
100 THOMAS STREET
PORTLAND, MAINE 04101
TEL: 603.875.7100
ARCHITECTURE PLANNING

CONSULTANTS
STRUCTURAL: T&B ENGINEERS
MECHANICAL/ELECTRICAL/PLUMBING: T&B ENGINEERS
LANDSCAPE ARCHITECTURE: T&B ENGINEERS

REVISIONS
DATE
PROJECT NO. 307
DRAWN BY: AT, EUS
CHECKED BY: ISL
SCALE: AS NOTED
SHEET TITLE GROUND FLOOR PLAN

A1.0

21

SHERIDAN HEIGHTS

138 Sheridan Street
Portland, ME 04101

Developer:

SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, ME 04101
207 523 3410

Landscape Architect:

MRLD, LLC
27 Main Street
Yarmouth, ME 04096
207 646 4066

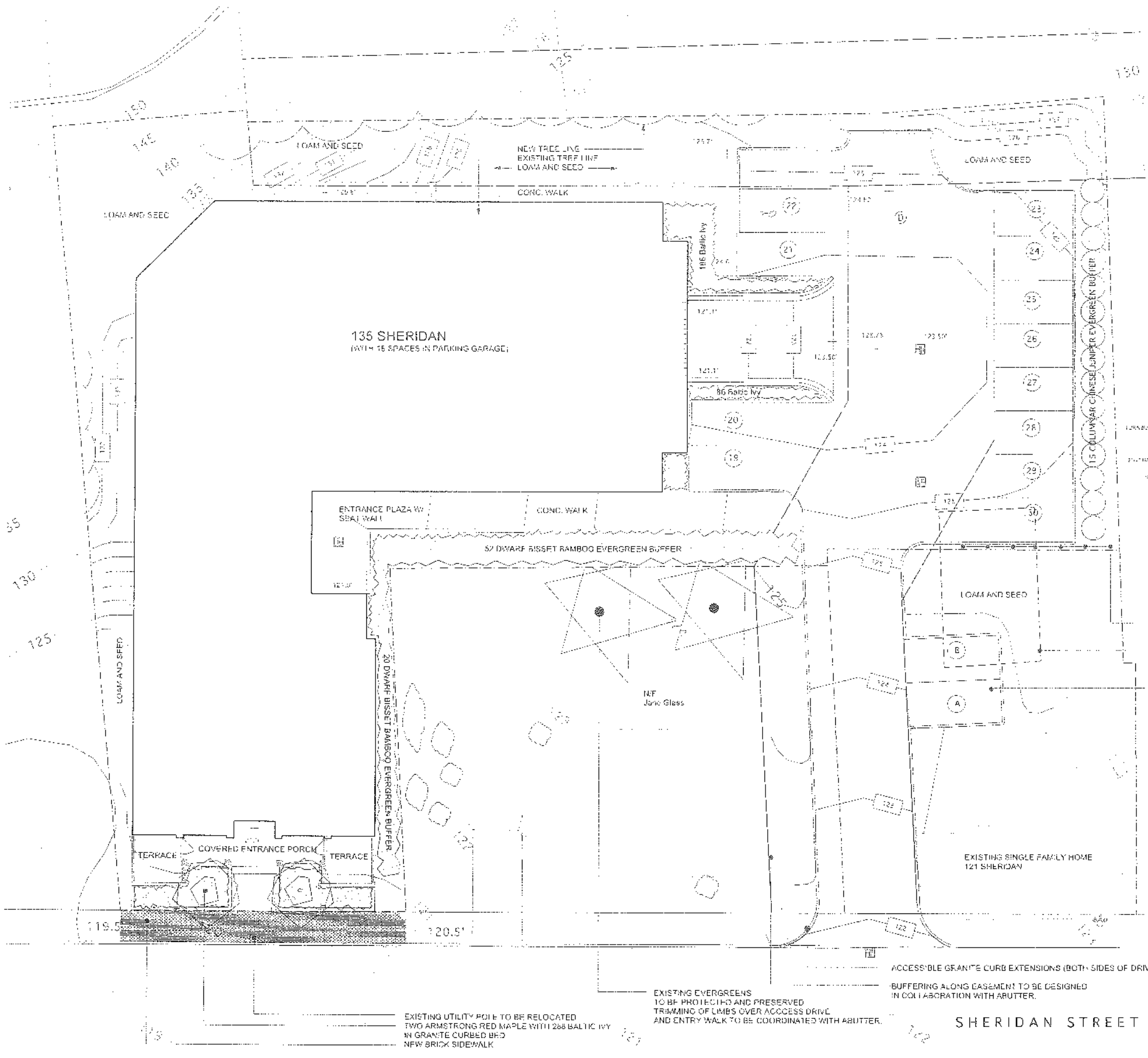
Architect:

TFH ARCHITECTS
100 Commercial Street
Portland, ME 04101
207 775 6141

Civil Engineer:

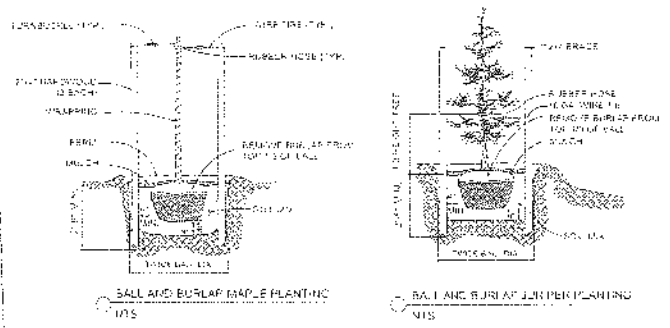
SGC ENGINEERING, LLC
501 County Road
Westbrook, ME 04092
207 347 8100

PERMITTING PLAN
NOT FOR CONSTRUCTION



PLANTING SPECIFICATIONS

- A. All Dig Site shall be fully excavated open. The location of existing underground utilities shall be marked.
- B. The location of all trees and shrubs shall be marked and approved by the Landscape Architect prior to planting.
- C. Flag the eastern side of trees in this buffer and maintain stakes to the top.
- D. No plant material shall be brought and left on property. The location of existing trees shall be marked and approved by the Landscape Architect.
- E. Employ only customer and permit to function with root protection.
- F. If additional trees are planted in lot, they shall be spaced with an 8' or greater spacing between trees.
- G. Landscaping installation shall include:
 - 1. 100lb bags of Boronite or Spring 4-1-1 20-20-20 and Ferti-Lite 16-16-16.
 - 2. Allow 100lb bags of Boronite or Spring 4-1-1 20-20-20 per 1000 sq ft of area.
- H. Special soil conditions shall be addressed by a landscape architect with material and approval from the Landscape Architect.
- I. All plant material shall be protected for a period of one year after the date of installation. All plant material shall be protected with a minimum of 100lb bags of Boronite or Spring 4-1-1 20-20-20 and Ferti-Lite 16-16-16. All plant material shall be protected with a minimum of 100lb bags of Boronite or Spring 4-1-1 20-20-20 and Ferti-Lite 16-16-16.
- J. Planting shall be completed by 10/15/2009. All plant material shall be protected with a minimum of 100lb bags of Boronite or Spring 4-1-1 20-20-20 and Ferti-Lite 16-16-16.
- K. Add fertilizer to planting holes at a rate of 1 lb per cubic foot of soil. Fertilizer shall be applied at an even rate over the 20' x 20' planting area with a 5-10-10 fertilizer. After planting, the fertilizer shall be applied at a rate of 1 lb per cubic foot of soil. Fertilizer shall be applied at an even rate over the 20' x 20' planting area with a 5-10-10 fertilizer.
- L. Mulch shall be applied to all planting holes at a rate of 2" deep in all areas and to a depth of 4" in all areas. Mulch shall be applied to all planting holes at a rate of 2" deep in all areas and to a depth of 4" in all areas.
- M. Tree wrap shall be removed within 4 weeks of installation of trees and shrubs.
- N. Loam and seed lawn shall be installed by 10/15/2009.



- SCREENING FENCE/TRELLIS
- EXISTING GARAGE TO BE REMOVED
- TWO SURFACE PARKING SPACES FOR 121 SHERIDAN

LANDSCAPE PLAN

PLANTS	#	SIZE
Acer rubrum "Armstrong" Armstrong Red Maple	2	2.5" cal. B&B
Hedera helix "Baltica" Baltic Ivy	560	3 1/2" Pots / 12" o.c.
Juniperus chinensis "letzi Columnar" Columnar Chinese Juniper	15	6" B&B
Phyllostachys hispidula "Dwarf" Dwarf David Bisset Bamboo	72	5 gal.

*Install with 24" hoop root "Bamboo Barrier" by Deep Root (800) 458 7668

EXISTING UTILITY POLE TO BE RELOCATED TO BE PROTECTED AND PRESERVED. TRIMMING OF LIMBS OVER ACCESS DRIVE AND ENTRY WALK TO BE COORDINATED WITH ARBITER.

EXISTING EVERGREENS TO BE PROTECTED AND PRESERVED. TRIMMING OF LIMBS OVER ACCESS DRIVE AND ENTRY WALK TO BE COORDINATED WITH ARBITER.

ACCESSIBLE GRANITE CURB EXTENSIONS (BOTH SIDES OF DRIVEWAY) BUFFERING ALONG EASEMENT TO BE DESIGNED IN COLLABORATION WITH ARBITER.

SHERIDAN STREET



L1

SCALE 1" = 10'

2j

SHERIDAN HEIGHTS

135 Sheridan Street
Portland, ME 04101

Developer:

SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, ME 04101
207 523 3470

Landscape Architect:

MRLO, LLC
87 Main Street
Yarmouth, ME 04096
207 846 4986






Architect

TFH ARCHITECTS
100 Commercial Street
Portland, ME 04101
207 775 6141

Civil Engineer

SGC ENGINEERING, LLC
501 County Road
Westbrook, ME 04092
207 347 8100

LEGEND

-  POLE MOUNTED/PARKING LIGHT
FULL CUT-OFF WITH HOUSESIDE SHIELD
KIRA SAR3/HS
175 WATT/METAL HALIDE
16' HEIGHT
-  POLE MOUNTED/PARKING LIGHT
FULL CUT-OFF WITH HOUSESIDE SHIELD
KIM AR4/HS
250 WATT/METAL HALIDE
16' HEIGHT
-  LANDSCAPE BOLLARD
180 DOWN LIGHT
KIM SL1
70 WATT/METAL HALIDE
42" HEIGHT
-  WALL LIGHT
FULL CUT-OFF
KIM SW1
50 WATT/METAL HALIDE
8' HEIGHT
-  RECESSED DOWN LIGHT
FULL CUT-OFF
LITHONIA LF6
42 WATT CFL
10' HEIGHT

NOTES

1. LIGHTING DESIGNED WITH A MINIMUM SITE FOOT CANDLE OF 0.2 AND A MAXIMUM PROPERTY LINE TRESSPASS OF 0.1 FOOT CANDLES OR LOWER.
2. "NA" NOTES AREA ON THE SITE WHERE PHOTOMETRICS CANNOT BE CLEARLY CALCULATED BECAUSE OF THE PRESENCE OF ARCHITECTURAL COMPONENTS BLOCKING LIGHT THROW.
3. DEVELOPER OWNS 121 SHERIDAN. LIGHT TRESSPASS STANDARDS DO NOT APPLY

PERMITTING PLAN
NOT FOR CONSTRUCTION

Re: Date Revision

LIGHTING PLAN

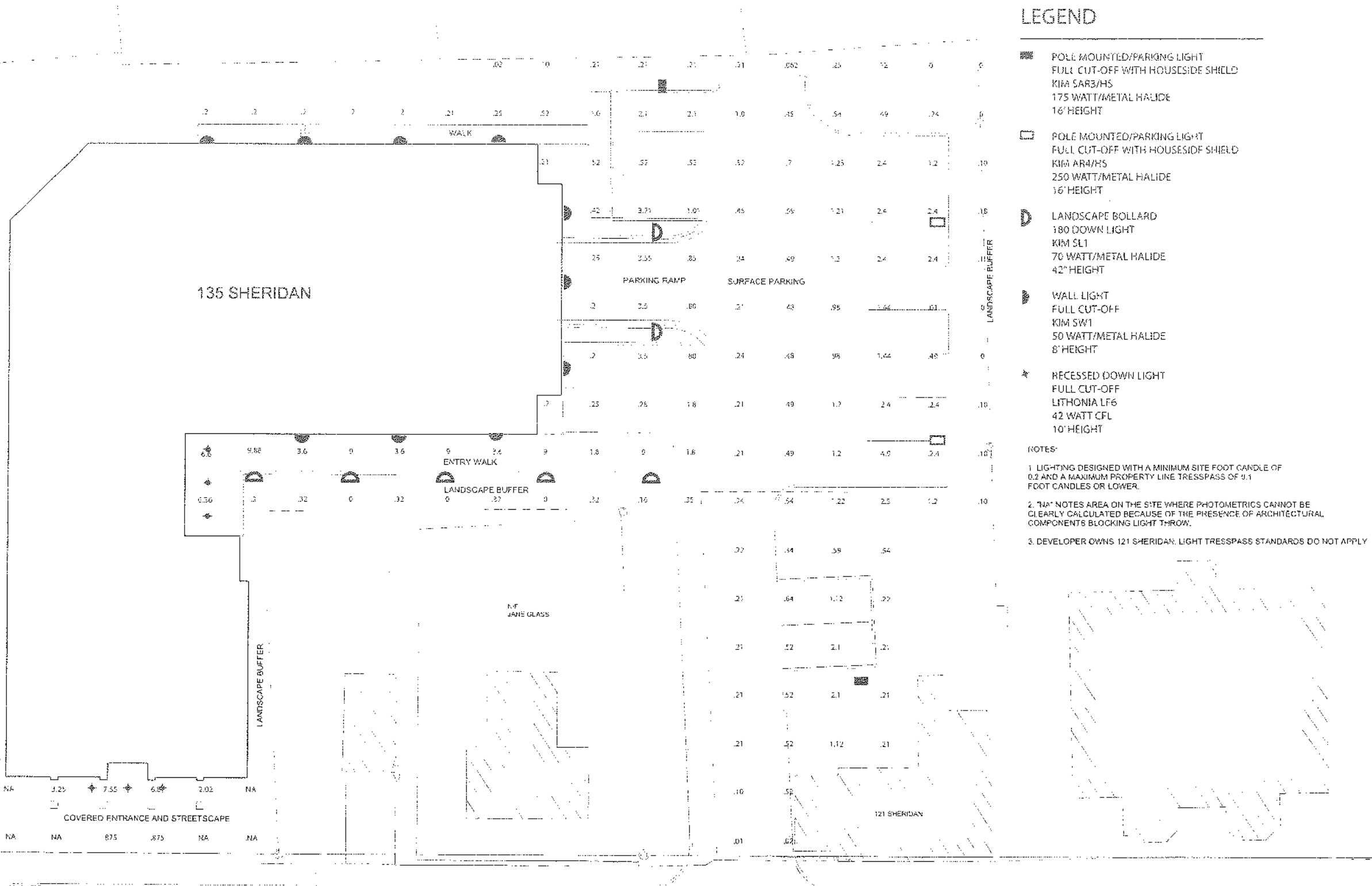
JOB NUMBER: 2005 31
DRAWN BY: KB
CHECKED BY: MHR
DATE ISSUED: 31 October 2006



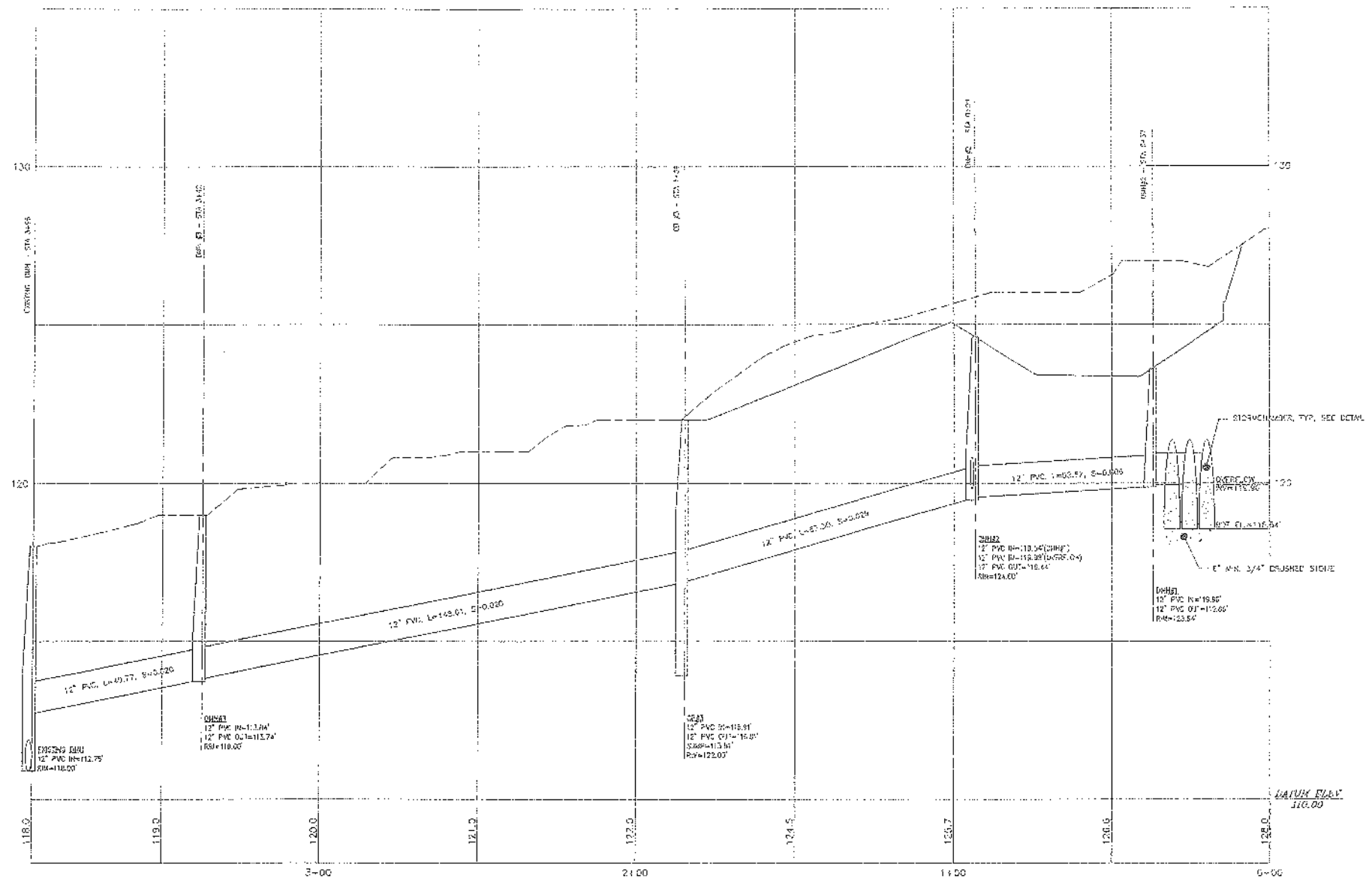
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SCALE: 1" = 10'

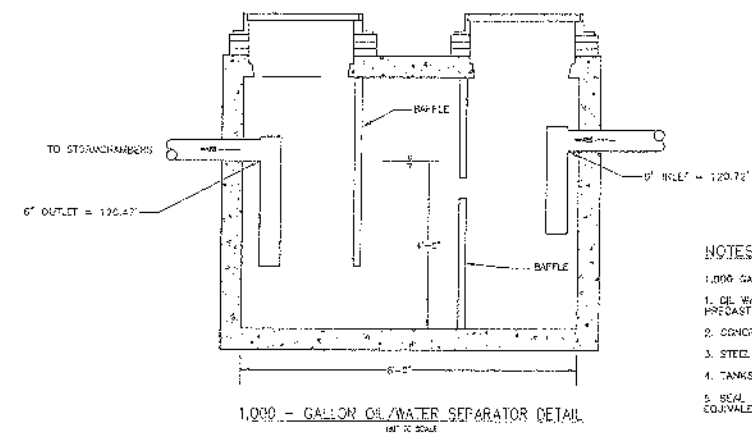
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SHERIDAN STREET



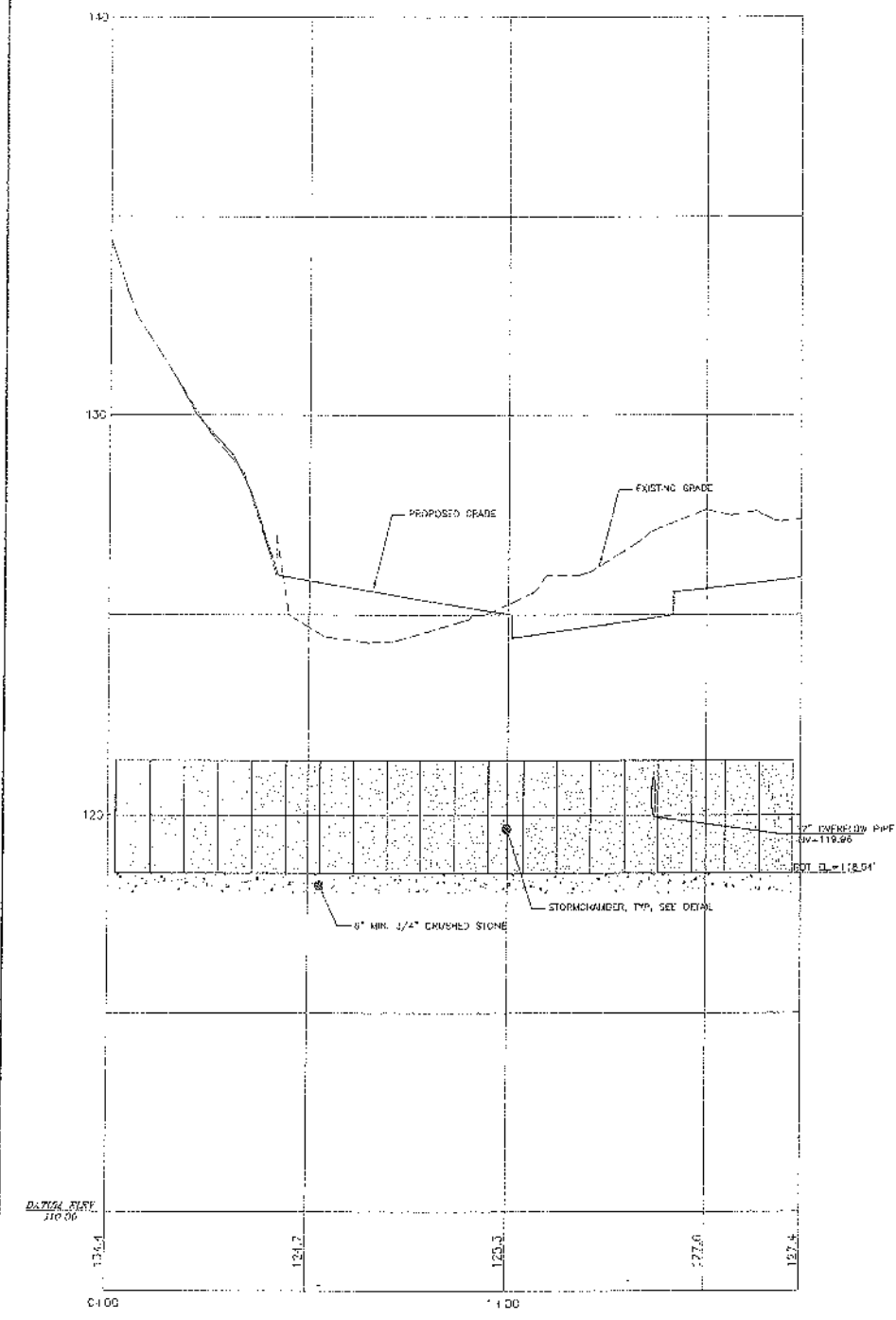
STORM DRAIN SYSTEM PROFILE
 SCALE: HOR. 1"=20'
 VERT. 1"=2'



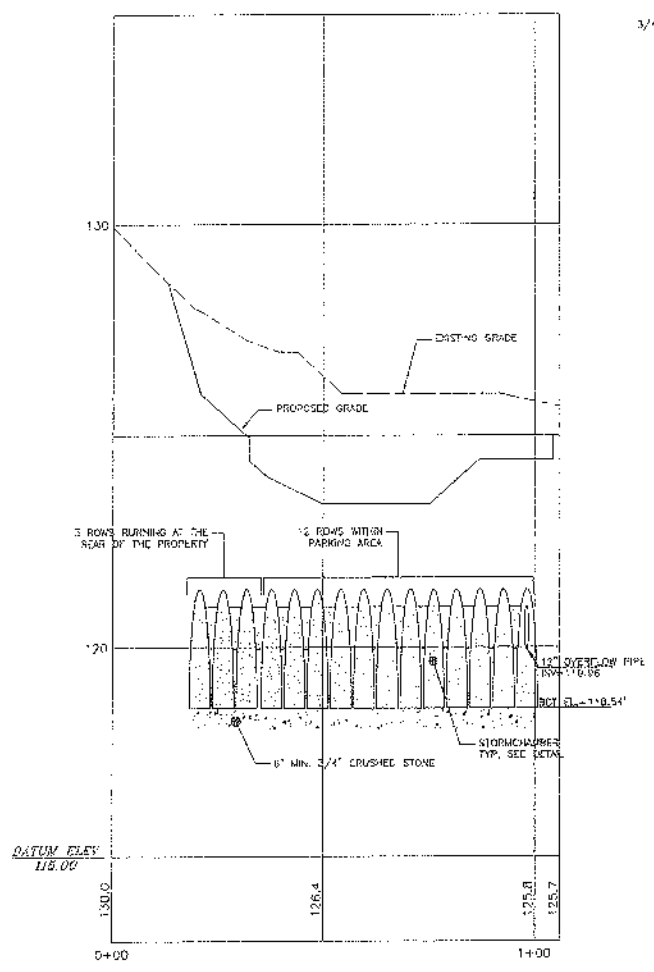
- NOTES:
- 1,000 GALLON OIL/WATER SEPARATOR TANK
 1. OIL/WATER SEPARATOR TANK TO BE PRECAST CONCRETE MODEL NO. 48-CPS OR SIMILAR.
 2. CONCRETE 5,000 PSI AFTER 28 DAYS.
 3. STEEL REINFORCING - ASTM A-615, GRADE 60
 4. TANKS TO BE 11-20' LOADING.
 5. SEAL ALL JOINTS WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT.

TITLE: DRAINAGE PROFILES SHERIDAN HEIGHTS 121 & 135 SHERIDAN STREET PORTLAND, MAINE 04101	SHEET: C7
	SCALE: 1" = 20' 0 20 40
PREPARED FOR: SHERIDAN STREET, LLC. 477 CONGRESS STREET PORTLAND, MAINE 04101 207-523-3410	DATE: 11/27/18 DESIGNER: CHECKER:
PROJECT: 620013 FILE: DRAINAGE_PROFILES_2018.DWG	ONLY VALID FOR CONCRETE TANKS
SGC ENGINEERING, LLC 5 CIRCULAR DRIVE PORTLAND, MAINE 04101 TEL: 207-523-3410 WWW.SGCENR.COM	REVISIONS: NO. 1 DATE: 11/27/18
JOHN M. RICHARD REG. PROFESSIONAL ENGINEER NO. 4881	STORMWATER/SEWER REGULATORY SUBMISSION

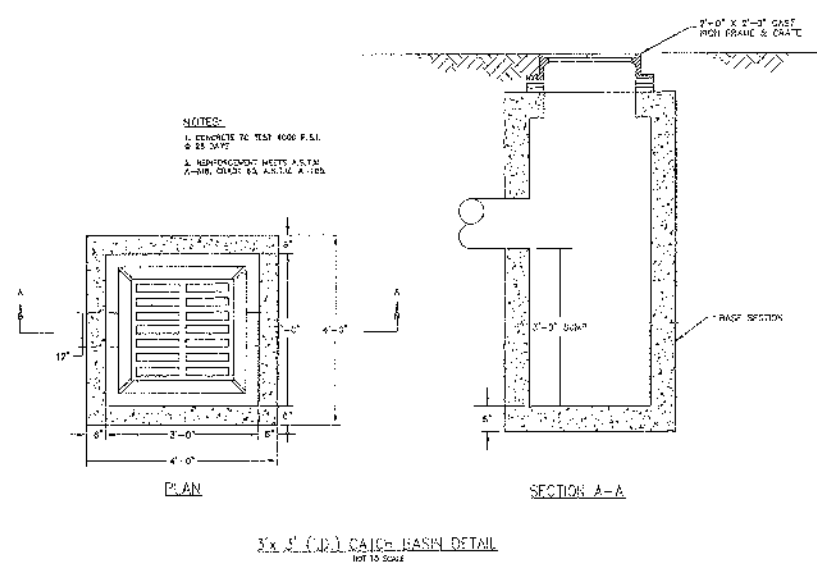
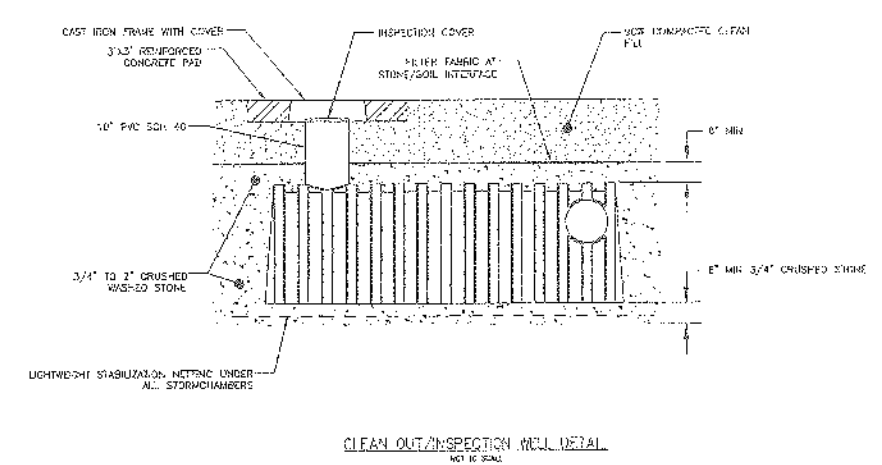
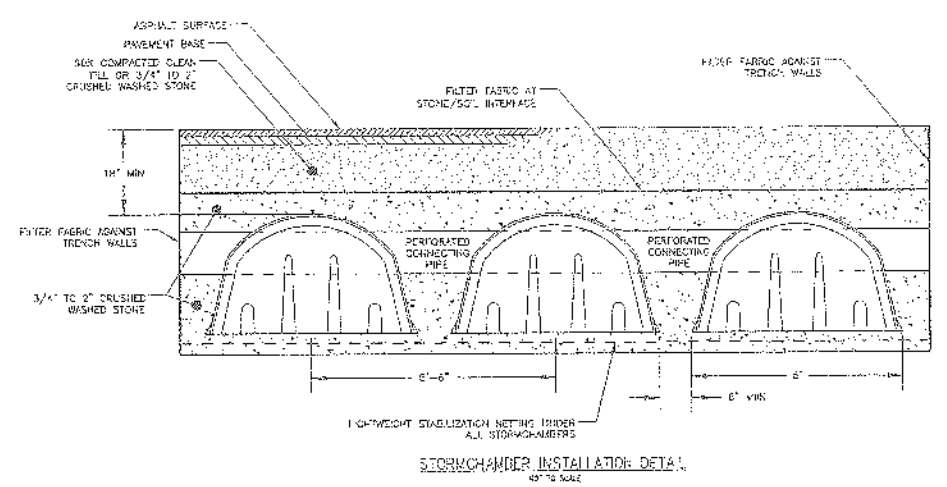
Attn. 29



REAR STORM TANKS PROFILE
SCALE: HOR. 1"=20'
VERT. 1"=2'

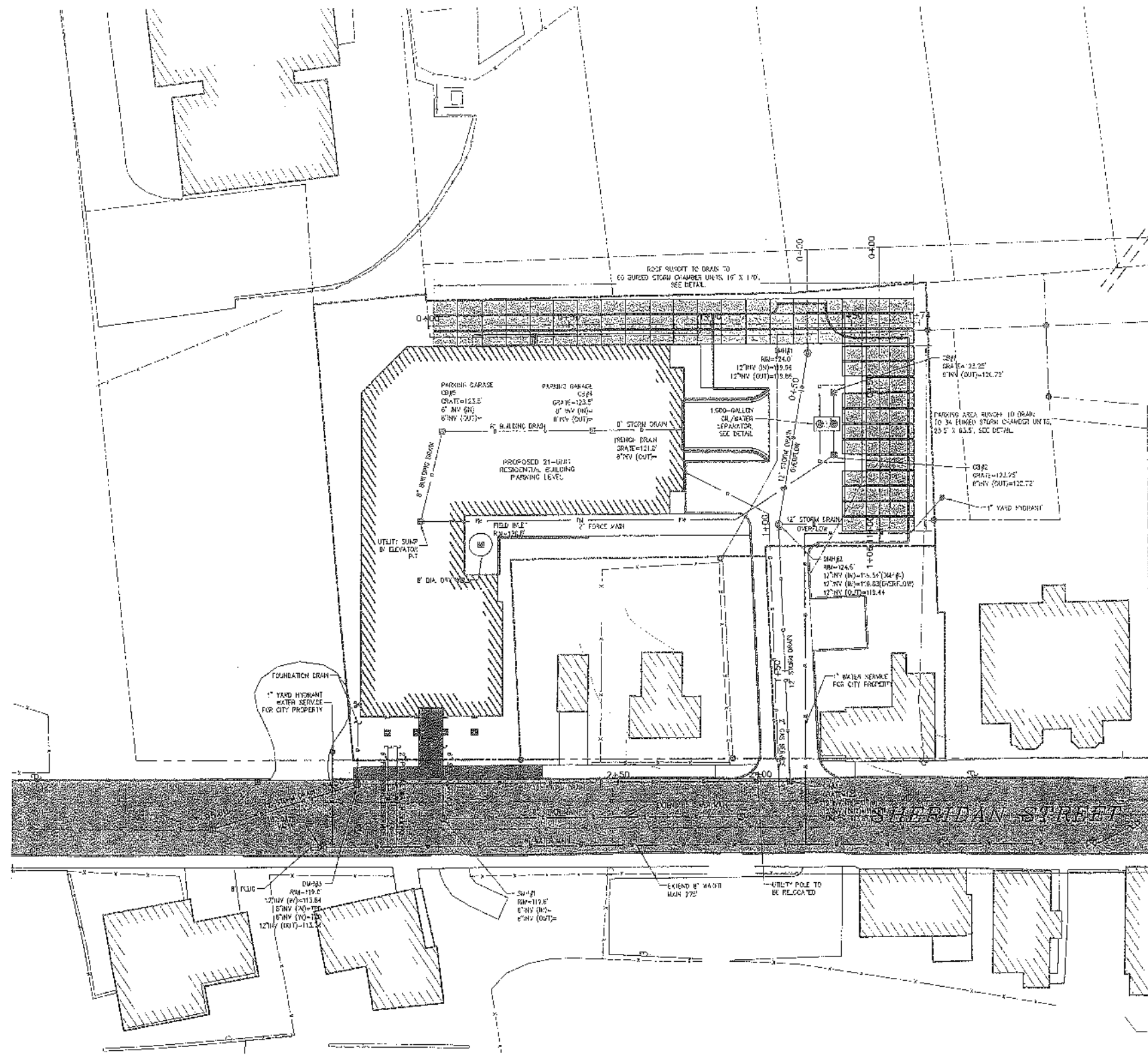
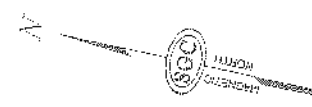


PARKING AREA STORM TANKS PROFILE
SCALE: HOR. 1"=20'
VERT. 1"=2'



- NOTES:
1. CONCRETE TO TEST 4000 P.S.I. @ 28 DAYS
 2. NONFERROUS METALS A.S.T.M.
 3. MIN. GRAD. AS SHOWN ABOVE

<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION					
<p>SGC ENGINEERING, LLC • Civil Design & Survey Engineering • Environmental & Regulatory Permitting • Electrical Power Systems Engineering</p> <p>2000 State Street Portland, ME 04101 Tel: 207.471.8100 Fax: 207.471.8101</p>							
<p>SGC</p>							
<p>PREPARED FOR:</p> <p>SHERIDAN STREET, LLC. 477 CONGRESS STREET PORTLAND, MAINE 04101 207-523-3410</p>							
<p>TITLE:</p> <p>DRAINAGE PROFILES SHERIDAN HEIGHTS 121 & 135 SHERIDAN STREET PORTLAND, MAINE 04101</p>							
<p>SHEET:</p> <p>C6</p>							



EXISTING	LEGEND	PROPOSED
—	STORMSEWER LINE	—
—	SEWER LINE	—
—	WATER LINE	—
—	ELECTRIC	—
—	CUMBERGATIONS	—
—	GAS SERVICE	—
—	OVERHEAD WIRE	—
—	SEWER MANHOLE	—
—	WATER MANHOLE	—
—	GAS MANHOLE	—
—	UTILITY POLE	—
—	WEL	—
—	HYDRANT	—
—	WATER MAIN VALVE	—
—	WATER SHUT OFF	—
—	GAS VALVE	—

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/13/2020	ISSUED FOR PERMIT
2	11/13/2020	ISSUED FOR PERMIT

SGC ENGINEERING, LLC
 400 Main Street
 Portland, Maine 04101
 Tel: 207-523-3410
 Fax: 207-523-3410

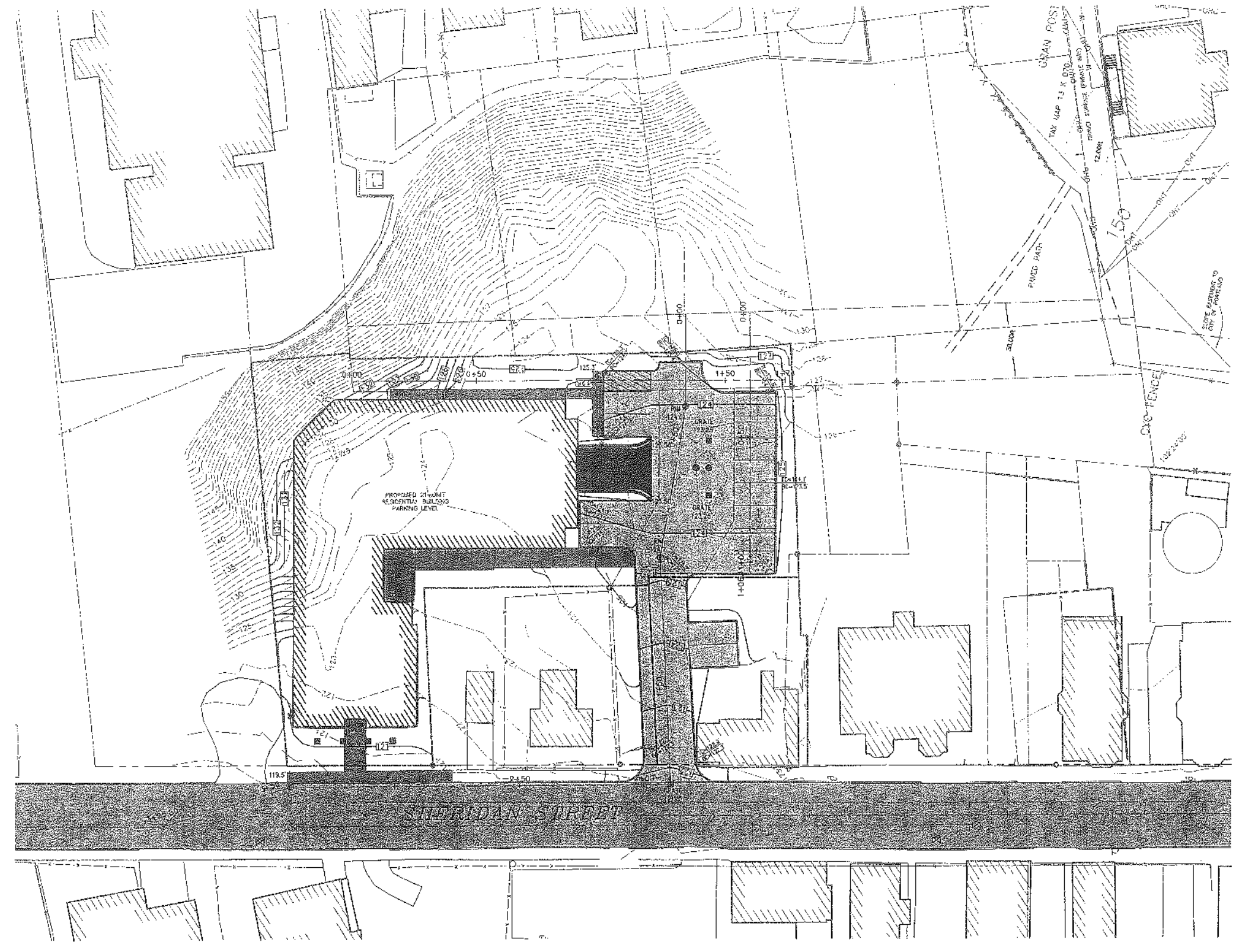
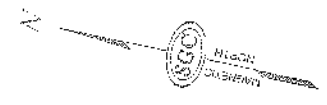
PREPARED FOR:
SHERIDAN STREET, LLC.
 477 CONGRESS STREET
 PORTLAND, MAINE 04101
 207-523-3410

TITLE:
UTILITY PLAN
 SHERIDAN HEIGHTS
 121 & 135 SHERIDAN STREET
 PORTLAND, MAINE 04101

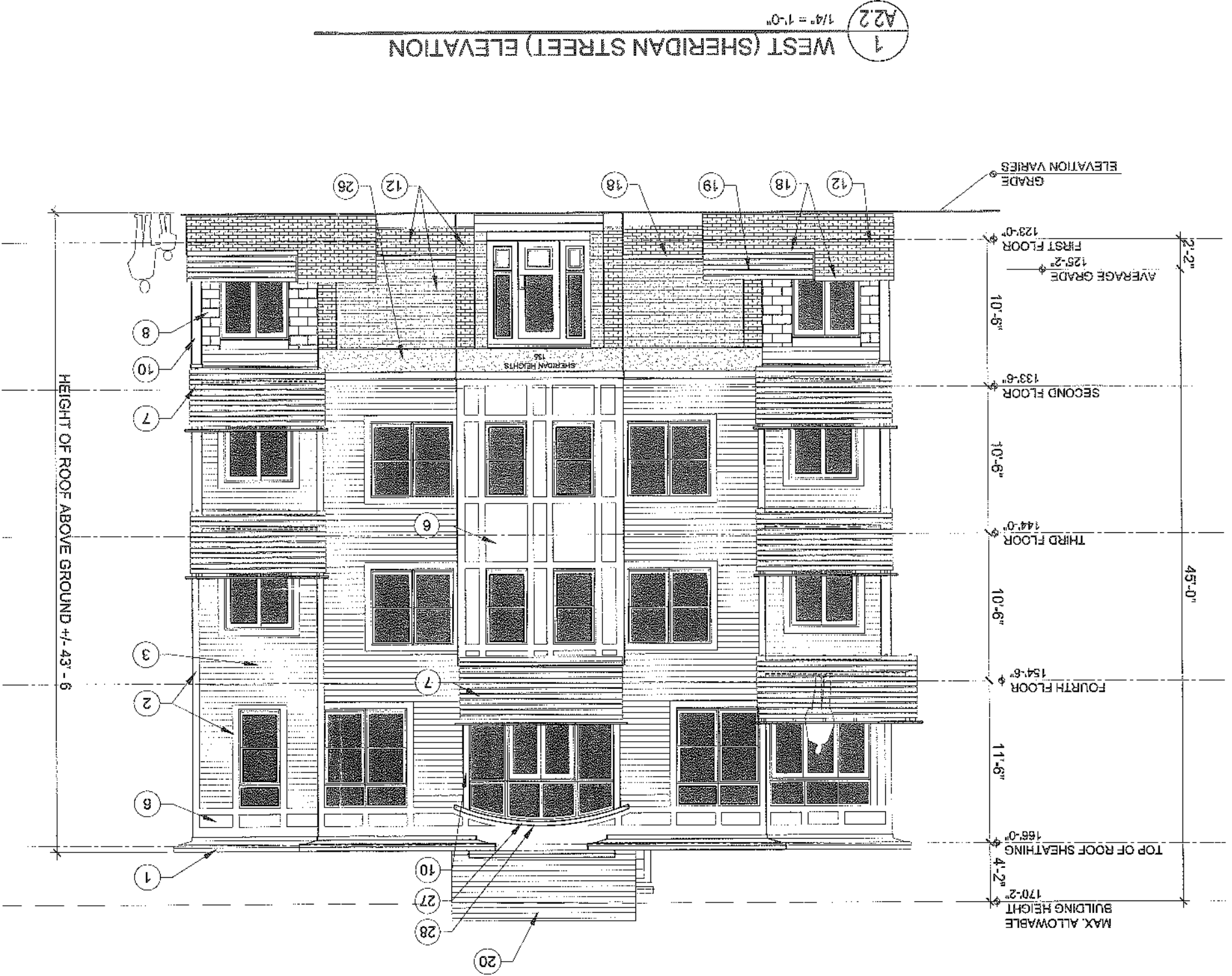
SHEET:
C4

SCALE: 1" = 20'

DATE: 08/20/20
DESIGNER: [Signature]
CHECKER: [Signature]



TITLE: GRADING PLAN SHERIDAN HEIGHTS 121 & 136 SHERIDAN STREET PORTLAND, MAINE 04101	DATE: 04/10/14 DRAWN BY: J. J. J. CHECKED BY: J. J. J. DESIGN: J. J. J.	PREPARED FOR: SHERIDAN STREET, LLC. 477 CONGRESS STREET PORTLAND, MAINE 04101 207-623-3410	PROJECT: GRADING FULL SITE PLAN, 04/01/14/14	STATE OF MAINE PROFESSIONAL ENGINEER JOHN J. J. NO. 0817 EXPIRES 12/31/17 CIVIL ENGINEER	SGC ENGINEERING, LLC Civil Design & Survey Engineering Environmental & Regulatory Permitting Electrical Power Systems Engineering SERVISING OUR CLIENTS IN THE U.S.A. & CANADA 51 Commercial Street, 3rd Floor Portland, ME 04101 Tel: 207-623-3410	REVISIONS: NO. 1 DATE: 04/10/14
						SHERIDAN HEIGHTS GRADING PLAN
SHEET: C3	SCALE: 1" = 20' DATE: 04/10/14 DESIGN: J. J. J.					



1 WEST (SHERIDAN STREET) ELEVATION
 1/4" = 1'-0"
 A2.2

CODE	DESCRIPTION	MATERIAL / COLOR
1	ROOF EDGE STRIP	PRE-FINISHED METAL - (COLOR)
2	6/4 X 6 TRIM	FIBERCEMENT - (COLOR)
3	LAP SIDING (5' EXPOSURE)	FIBERCEMENT - (COLOR 1)
4	LAP SIDING (6' EXPOSURE)	FIBERCEMENT - (COLOR 2)
5	LAP SIDING (8' EXPOSURE)	FIBERCEMENT - (COLOR X)
6	FRAMED PANEL	FIBERCEMENT - (COLOR X)
7	DECK RAILING	WOOD - (CLEAR FINISH)
8	CMU - SPLIT FACE	COLOR X
9	WATER TABLE TRIM	FIBERCEMENT - (COLOR X)
10	POST	FIBERCEMENT - (COLOR X)
11	WINDOW SILL	PRECAST CONCRETE - (COLOR X)
12	BRICK	COLOR X
13	DIAGONAL DECK BRACE	COLOR X
14	GAS METERS	
15	ELECTRICAL METERS	
16	PROJECTED BAY	
17	CONCRETE	
18	PRECAST CAP	PRECAST CONCRETE - (COLOR X)
19	SCREEN	WOOD - (CLEAR FINISH)
20	ROOFTOP MECHANICAL SCREEN	XXXXX - (CLEAR FINISH)
21	ELEVATOR PENTHOUSE	FIBERCEMENT - (COLOR X)
22	BAY WINDOW	
23	ACCESS DOOR IN SLAT ENCLOSURE	
24	SMOOTH FACE CMU BEYOND IN RECESS	
25	ENTRY CANOPY	
26	PRECAST CONCRETE LINTEL	COLOR X
27	FIBERCEMENT CANOPY TRIM	COLOR X
28	STANDING SEAM METAL ROOF	COLOR X
29	EXHAUST FAN FROM GARAGE	
30	BOILER INTAKE / EXHAUST VENT	
31	GARAGE DOOR - 16 PANEL	COLOR X

EXTERIOR ELEVATION MATERIALS LEGEND

A2.2

ELEVATIONS
EXTERIOR
SHEET TITLE

SCALE: AS NOTED

CHECKED BY: TST

DRAWN BY: RFL, JLS

PROJECT NO: 607

DATE:

REVISIONS:

SHIBERTY
 67 COMMERCIAL STREET, PORTLAND, ME 04101
 TEL: 207.253.4410
 OWNERS REPRESENTATIVE

CONSULTANTS:
 ARCHITECTURE PLANNING
 100 COMMERCIAL STREET, PORTLAND, ME 04101
 TEL: 207.775.6141

TFH ARCHITECTS
 135 SHERIDAN STREET, PORTLAND, ME 04 101

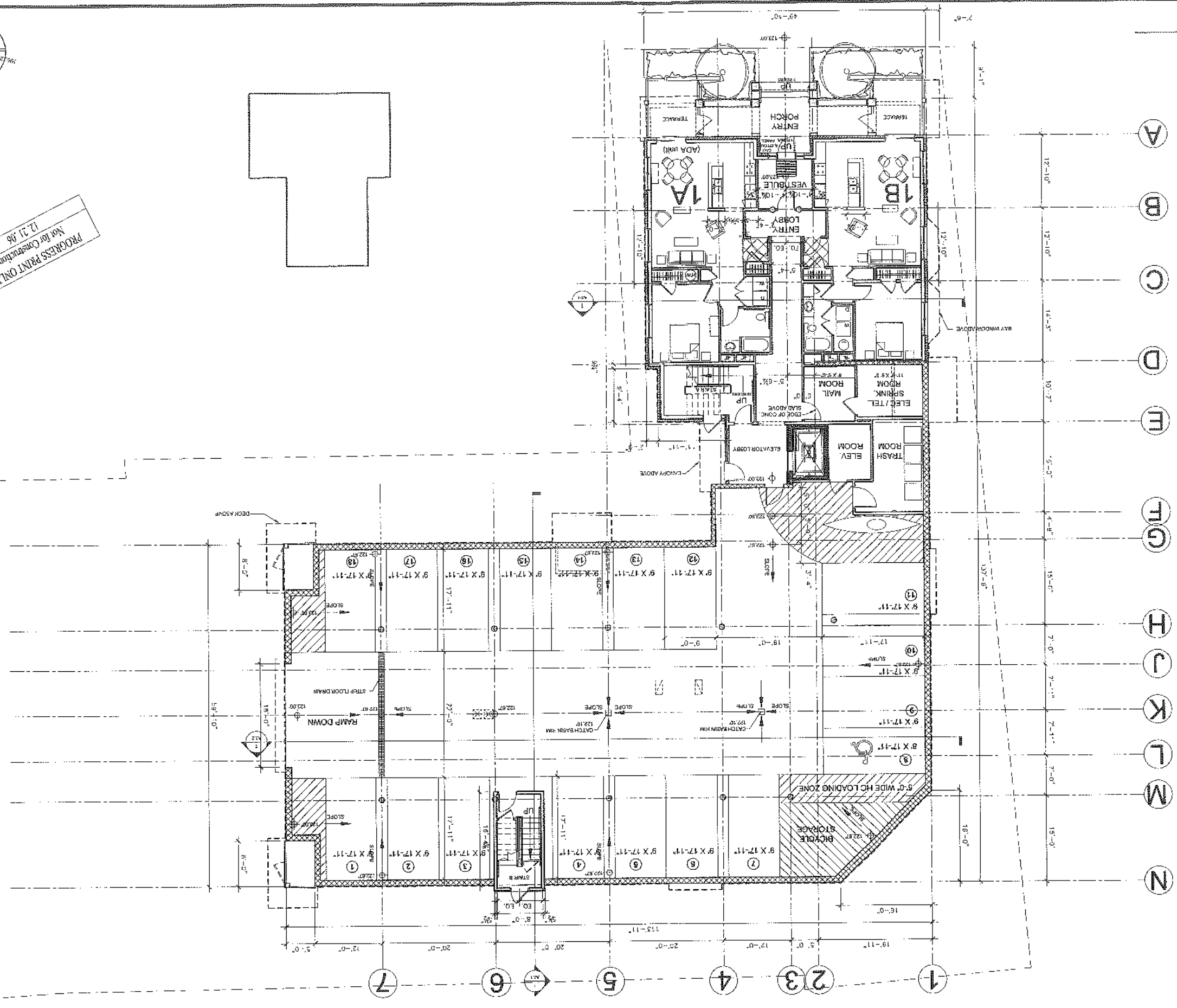
SHERIDAN HEIGHTS
 SHERIDAN STREET, LLC.

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 12.21.06



PROGRESS PRINT ONLY
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12.21.06



A1.0

FLOOR PLAN
FIRST
SHEET TITLE
SCALE: AS NOTED
CHECKED BY: TST
DRAWN BY: MLC/RJS
PROJECT NO: 507
DATE:

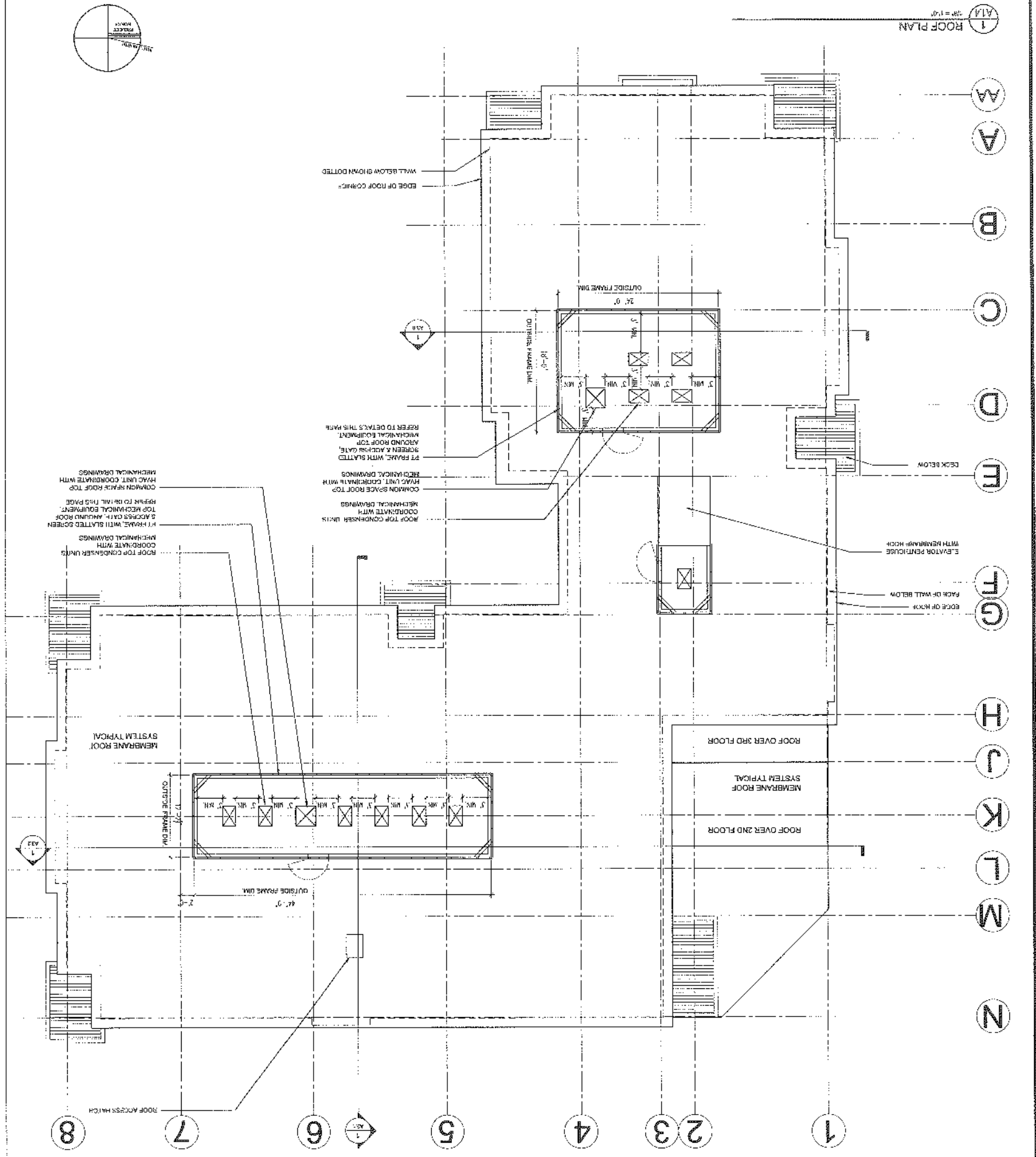
REVISIONS:
CONSULTANTS:
ARCHITECTURE PLANNING
TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
FAX 207 775 6142



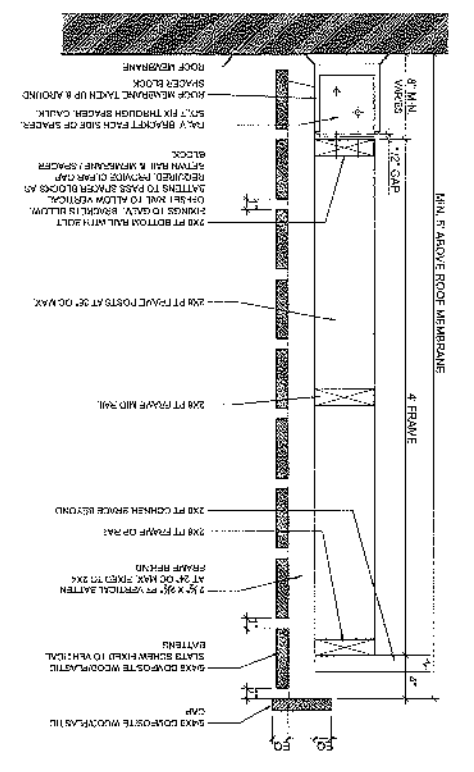
SHERIDAN HEIGHTS
PROPOSED CONDOMINIUMS AT
135 SHERIDAN STREET, PORTLAND MAINE
FOR SHERIDAN STREET LLC

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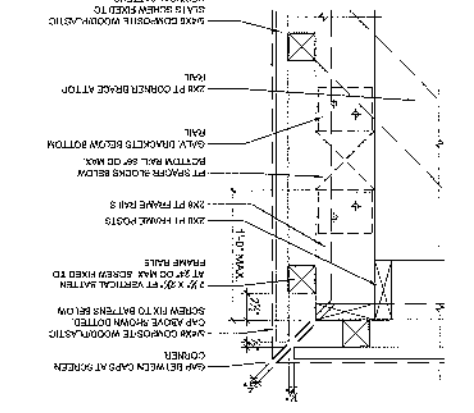
26



X ROOF TOP MECH. SCREEN SECTION DETAIL
 1/4" = 1'-0"



X ROOF TOP MECH. SCREEN PLAN DETAIL
 1/4" = 1'-0"



A1.4

DATE: _____
 PROJECT NO. 507
 DRAWN BY: RLLJUS
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE: ROOF PLAN AND DETAILS

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 01.02.07

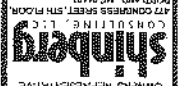
Revisions:

NO.	DATE	DESCRIPTION
1	01/02/07	ISSUE FOR CONSTRUCTION

Consultants:
 TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING

SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC

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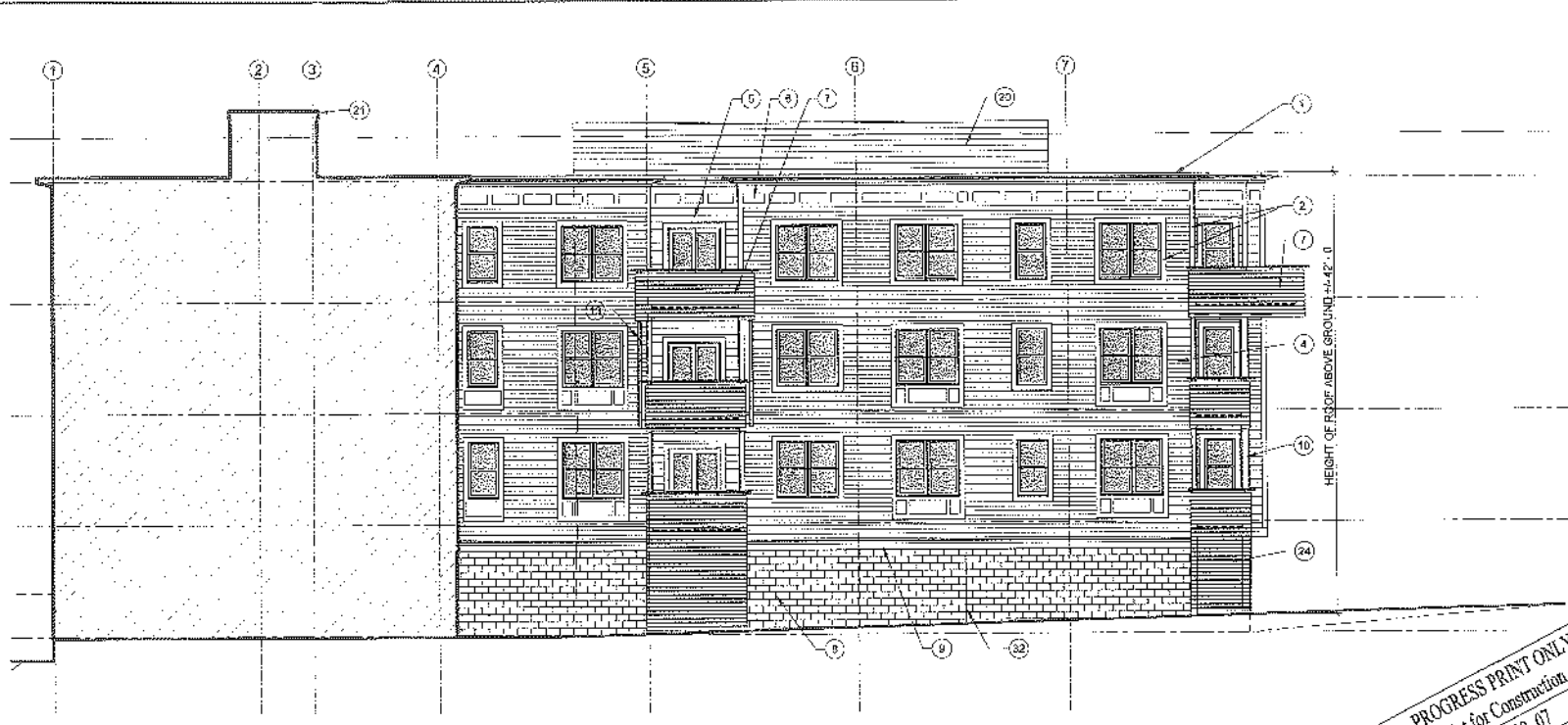
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SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC

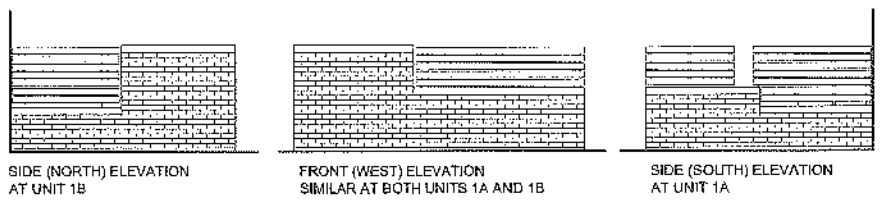


1 WEST (SHERIDAN STREET) ELEVATION
 A2.0 1/8" = 1'-0"



3 WEST (REAR WING) ELEVATION
 A2.0 1/8" = 1'-0"

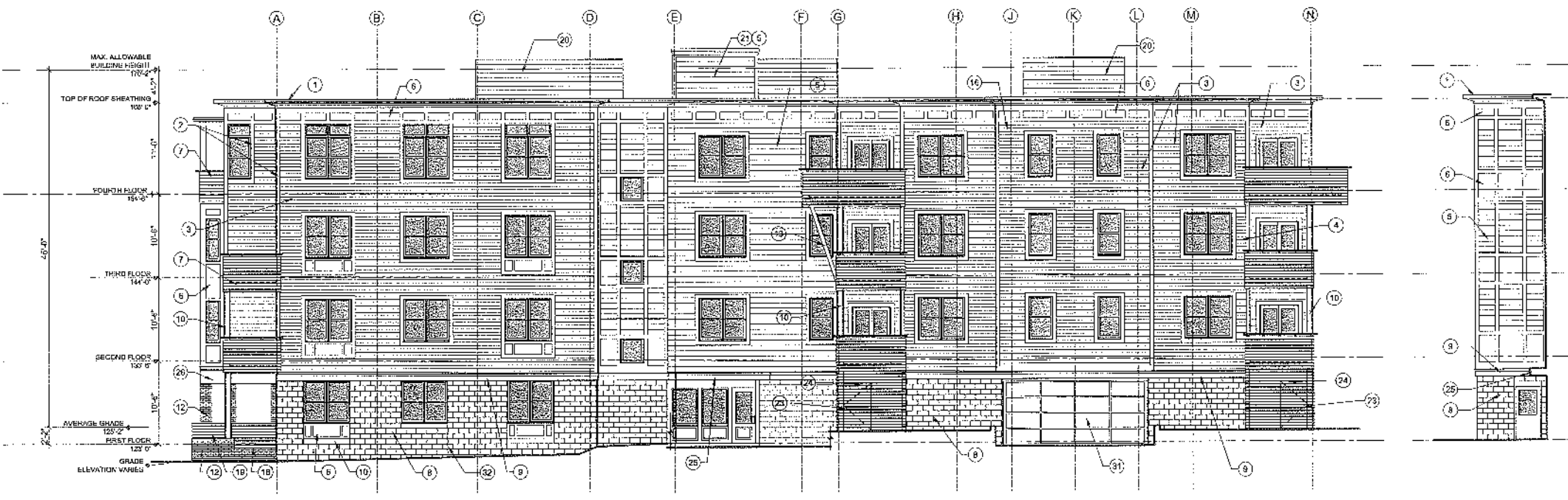
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 01.02.07



2 ENLARGED BRICK PATION WALL ELEVATIONS
 A2.0 1/4" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND

SYMBOL	DESCRIPTION	MATERIAL / COLOR
1	ROOF EDGE STRIP	PRE-FINISHED METAL - (COLOR)
2	5/4 X 6 TRIM	FIBERCEMENT - (COLOR)
3	LAP SIDING (5" EXPOSURE)	FIBERCEMENT - (COLOR 1)
4	LAP SIDING (6" EXPOSURE)	FIBERCEMENT - (COLOR 2)
5	LAP SIDING (8" EXPOSURE)	FIBERCEMENT - (COLOR X)
6	FRAMED PANEL	FIBERCEMENT - (COLOR X)
7	DECK RAILING	WOOD - (CLEAR FINISH)
8	CMU - SPLIT FACE	COLOR X
9	WATER TABLE TRIM	FIBERCEMENT - (COLOR X)
10	POST	FIBERCEMENT - (COLOR X)
11	WINDOW SILL	PRECAST CONCRETE - (COLOR X)
12	BRICK	COLOR X
13	DIAGONAL DECK BRACE	COLOR X
14	GAS METERS	
15	ELECTRICAL METERS	
16	PROJECTED BAY	
17	CONCRETE	
18	PRECAST CAI	PRECAST CONCRETE - (COLOR X)
19	SCREEN	WOOD SLATS - (CLEAR FINISH)
20	ROOFTOP MECHANICAL SCREEN	WOOD/PLASTIC COMPOSITE SLATS - (WINCHESTER GREY)
21	ELEVATOR PENTHOUSE	FIBERCEMENT - (COLOR X)
22	BAY WINDOW	
23	ACCESS DOOR IN SLAT ENCLOSURE	
24	SMOOTH FACE CMU BEYOND IN RECESS	
25	ENTRY CANDY	
26	PRECAST CONCRETE LINTEL	COLOR X
27	FIBERCEMENT CANOPY TRIM	COLOR X
28	STANDING SEAM METAL ROOF	COLOR X
29	EXHAUST FAN FROM GARAGE	
30	BOILER INTAKE / EXHAUST VENT	
31	GARAGE DOOR - 16 PANEL	COLOR X
32	MASONRY CONTROL JOINT	



3 SOUTH ELEVATION
 A2.0 1/8" = 1'-0"

4 EAST ELEVATION OF EGRESS STAIR
 A2.0 1/8" = 1'-0"

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04103
 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING

CONSULTANTS:
 SHINBERG
 477 CONGRESS STREET, 5TH FLOOR
 PORTLAND, ME 04103
 TEL: 207 525 8410

REVISIONS:
 DATE:
 PROJECT No. 507
 DRAWN BY: RTL/KJS
 CHECKED BY: TST
 SCALE: AS NOTED

SHEET TITLE:
 EXTERIOR ELEVATIONS

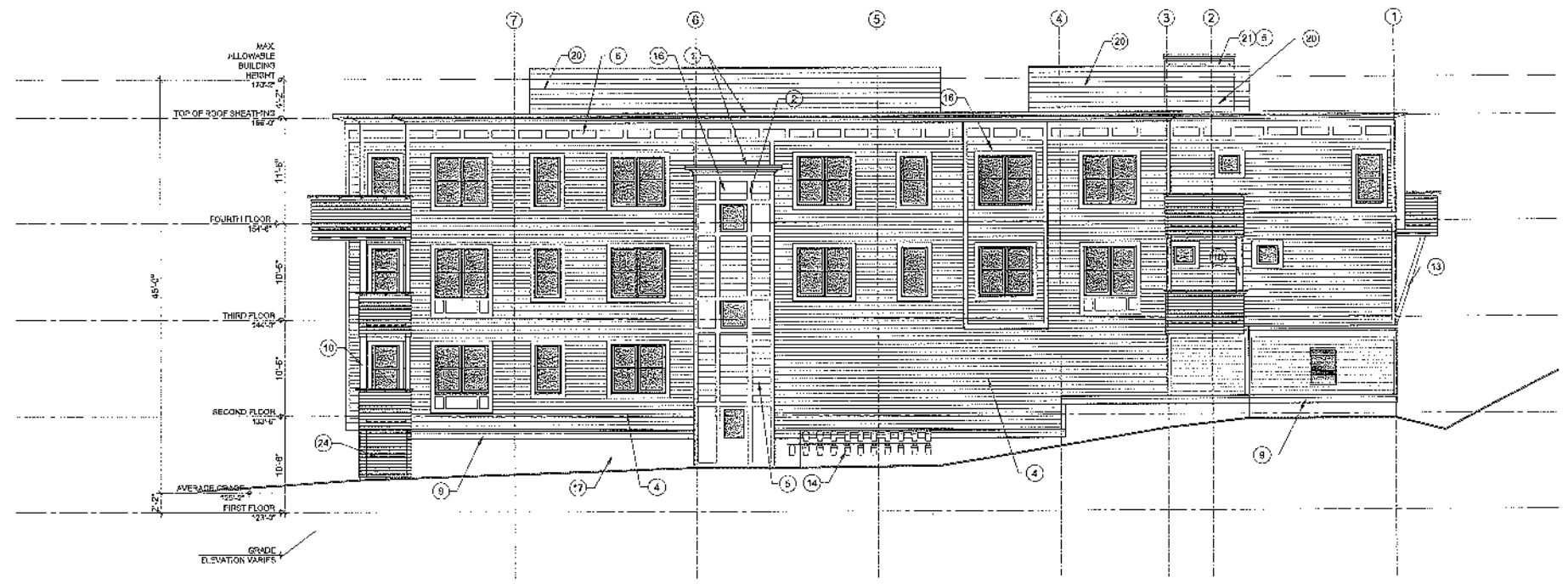
A2.0

2e

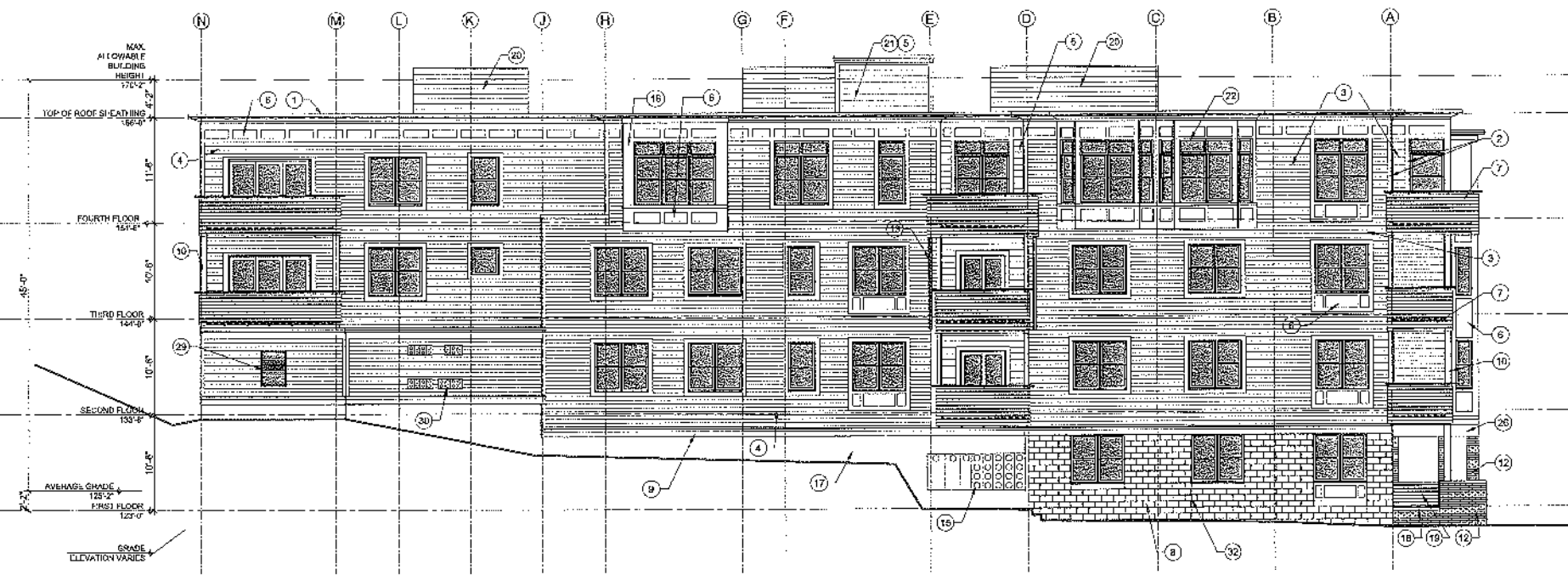
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SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC

PROGRESS PRINT ONLY
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 01.02.07



1 EAST ELEVATION
 A2.1 1/8" = 1'-0"



1 NORTH ELEVATION
 A2.1 1/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND

CODE	DESCRIPTION	MATERIAL / COLOR
1	ROOF EDGE STRIP	PRE-FINISHED METAL - (COLOR)
2	6/4 X 6 TRIM	FIBERCEMENT - (COLOR)
3	LAP SIDING (5" EXPOSURE)	FIBERCEMENT - (COLOR 1)
4	LAP SIDING (5" EXPOSURE)	FIBERCEMENT - (COLOR 2)
5	LAP SIDING (8" EXPOSURE)	FIBERCEMENT - (COLOR X)
6	FRAMED PANEL	FIBERCEMENT - (COLOR X)
7	DECK RAILING	WOOD - (CLEAR FINISH)
8	CMU - SPLIT FACE	COLOR X
9	WATER TABLE TRIM	FIBERCEMENT - (COLOR X)
10	POST	FIBERCEMENT - (COLOR X)
11	WINDOW SILL	PRECAST CONCRETE - (COLOR X)
12	BRICK	COLOR X
13	DIAGONAL DECK BRACE	COLOR X
14	GAS METERS	
15	ELECTRICAL METTERS	
16	PROJECTED BAY	
17	CONCRETE	
18	PRECAST CAP	PRECAST CONCRETE - (COLOR X)
19	SCREEN	WOOD SLATS - (CLEAR FINISH)
20	ROOFTOP MECHANICAL SCREEN	WOOD/PLASTIC COMPOSITE SLATS - (WINCHESTER GREY)
21	ELEVATOR PENTHOUSE	FIBERCEMENT - (COLOR X)
22	BAY WINDOW	
23	ACCESS DOOR IN SLAT ENCLOSURE	
24	SMOOTH FACE CMU BEYOND IN RECESS	
25	ENTRY CANOPY	
26	PRECAST CONCRETE LINTEL	COLOR X
27	FIBERCEMENT CANOPY TRIM	COLOR X
28	STANDING BEAM METAL ROOF	COLOR X
29	EXHAUST FAN FROM GARAGE	
30	BOILER INTAKE / EXHAUST VENT	
31	GARAGE DOOR - 18 PANEL	COLOR X
32	MASONRY CONTROL JOINT	

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING

CONSULTANTS:
 STRUCTURAL: [unreadable]
 MECHANICAL: [unreadable]
 ELECTRICAL: [unreadable]
 LANDSCAPE ARCHITECT: [unreadable]

OWNER'S REPRESENTATIVE
shinberg
 CONSULTING, LLC
 477 CONGRESS STREET, 6TH FLOOR
 PORTLAND, ME 04101
 TEL: 207 923 3410

REVISIONS:

DATE:
 PROJECT No. 607
 DRAWN BY: RTL/JS
 CHECKED BY: TSJ
 SCALE: AS NOTED

SHEET TITLE:
 EXTERIOR
 ELEVATIONS

2e.1

© 2008 TFH ARCHITECTS

SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC



TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:
 STRUCTURAL: Pine Structures Engineers
 11 Farm Edge Road
 South Portland, ME 04106
 (207) 886-8888
 MECHANICAL: NOT BY CONTRACT
 ELECTRICAL: NOT BY CONTRACT
 LANDSCAPE ARCHITECT: NOT BY CONTRACT

OWNER'S REPRESENTATIVE
shinberg
 CONSULTING LLC
 477 DAWBERRY STREET, 5TH FLOOR
 PORTLAND, ME 04101
 TEL: 207 525 9410

REVISIONS:

DATE:	
PROJECT No:	507
DRAWN BY:	RTL,RJS
CHECKED BY:	1ST
SCALE:	AS NOTED
SHEET TITLE:	EXTERIOR ELEVATIONS

A2.2



EXTERIOR ELEVATION MATERIALS LEGEND

CODE	DESCRIPTION	MATERIAL / COLOR
1	ROOF EDGE STRIP	PRE-FINISHED METAL - (COLOR)
2	5/4 X 6 TRIM	FIBERCEMENT - (COLOR)
3	LAP SIDING (5" EXPOSURE)	FIBERCEMENT - (COLOR 1)
4	LAP SIDING (5" EXPOSURE)	FIBERCEMENT - (COLOR 2)
5	LAP SIDING (8" EXPOSURE)	FIBERCEMENT - (COLOR X)
6	FRAMED PANEL	FIBERCEMENT - (COLOR X)
7	DECK HAULING	WOOD - (CLEAR FINISH)
8	CMU - SPLIT FACE	COLOR X
9	WATER TABLE TRIM	FIBERCEMENT - (COLOR X)
10	POST	FIBERCEMENT - (COLOR X)
11	WINDOW SILL	PRECAST CONCRETE - (COLOR X)
12	BRICK	COLOR X
13	DIAGONAL DECK BRACE	COLOR X
14	GAS METERS	
15	ELECTRICAL METERS	
16	PROJECTED BAY	
17	CONCRETE	
18	PRECAST CAP	PRECAST CONCRETE - (COLOR X)
19	SCREEN	WOOD SLATS - (CLEAR FINISH)
20	ROOFTOP MECHANICAL SCREEN	WOOD/PLASTIC COMPOSITE SLATS - (WINCHESTER GREY)
21	ELEVATOR PENTHOUSE	FIBERCEMENT - (COLOR X)
22	BAY WINDOW	
23	ACCESS DOOR IN SLAT ENCLOSURE	
24	SMOOTH FACE CMU BEYOND IN RECESS	
25	ENTRY CANOPY	
26	PRECAST CONCRETE LINTEL	COLOR X
27	FIBERCEMENT CANOPY TRIM	COLOR X
28	STANDING SEAM METAL ROOF	COLOR X
29	EXHAUST FAN FROM GARAGE	
30	BOILER INTAKE / EXHAUST VENT	
31	GARAGE DOOR - 16 PANEL	COLOR X
32	MASONRY CONTROL JOINT	

1 WEST (SHERIDAN STREET) ELEVATION
 A2.0 1/4" = 1'-0"

PROGRESS PRINT ONLY
 Not for Construction
 01.02.07

27

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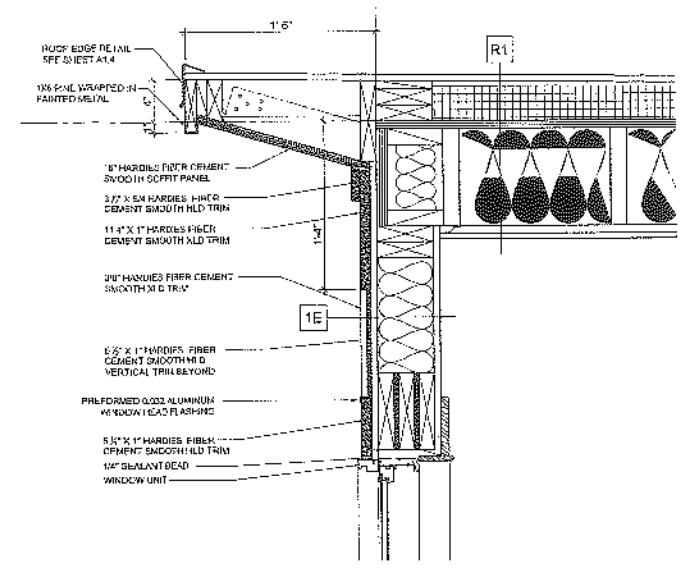
SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC

TFM ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6144
 ARCHITECTURE PLANNING

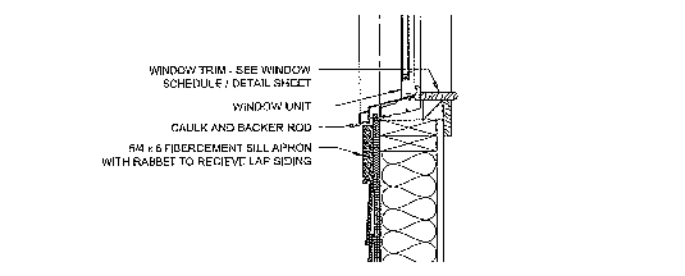
CONSULTANTS:
 OWNERS REPRESENTATIVE
shinberg
 CONSULTING, LLC
 477 CONGRESS STREET, 5TH FLOOR
 PORTLAND, ME 04101
 TEL: 207 523 3413

REVISIONS:
 DATE:
 PROJECT No. 807
 DRAWN BY: RJS
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE:
 DETAILS

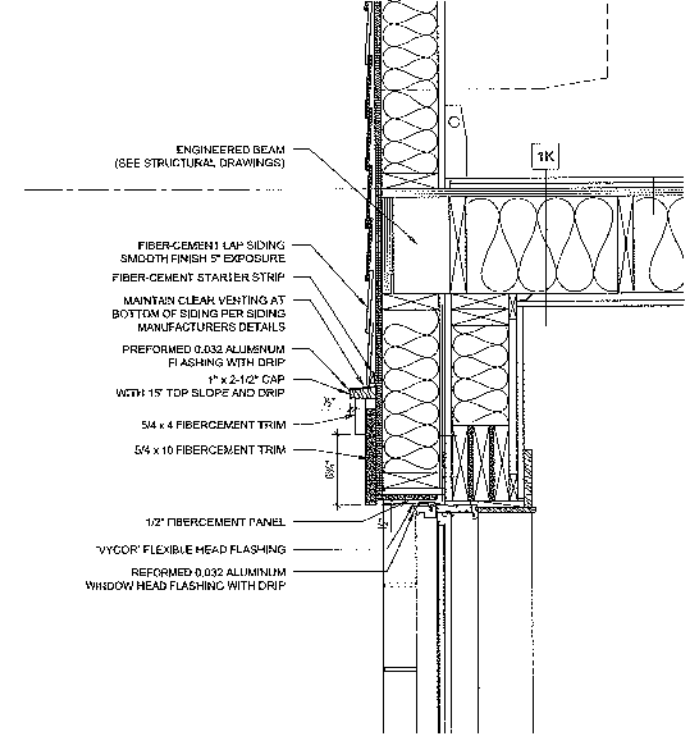
A5.0



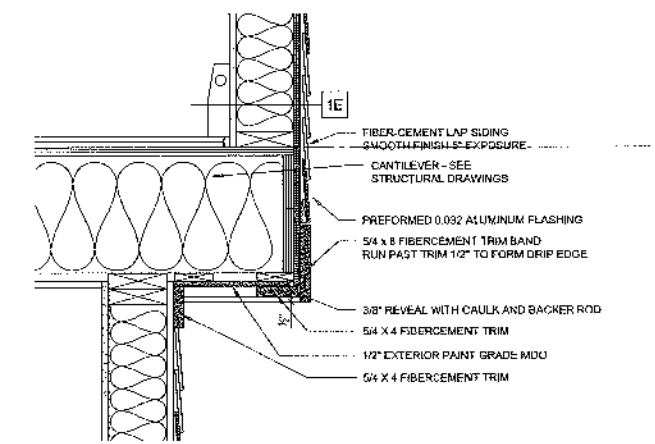
4 DETAIL AT LOWER ROOF EAVE
 A5.0 1/4" = 1'-0"



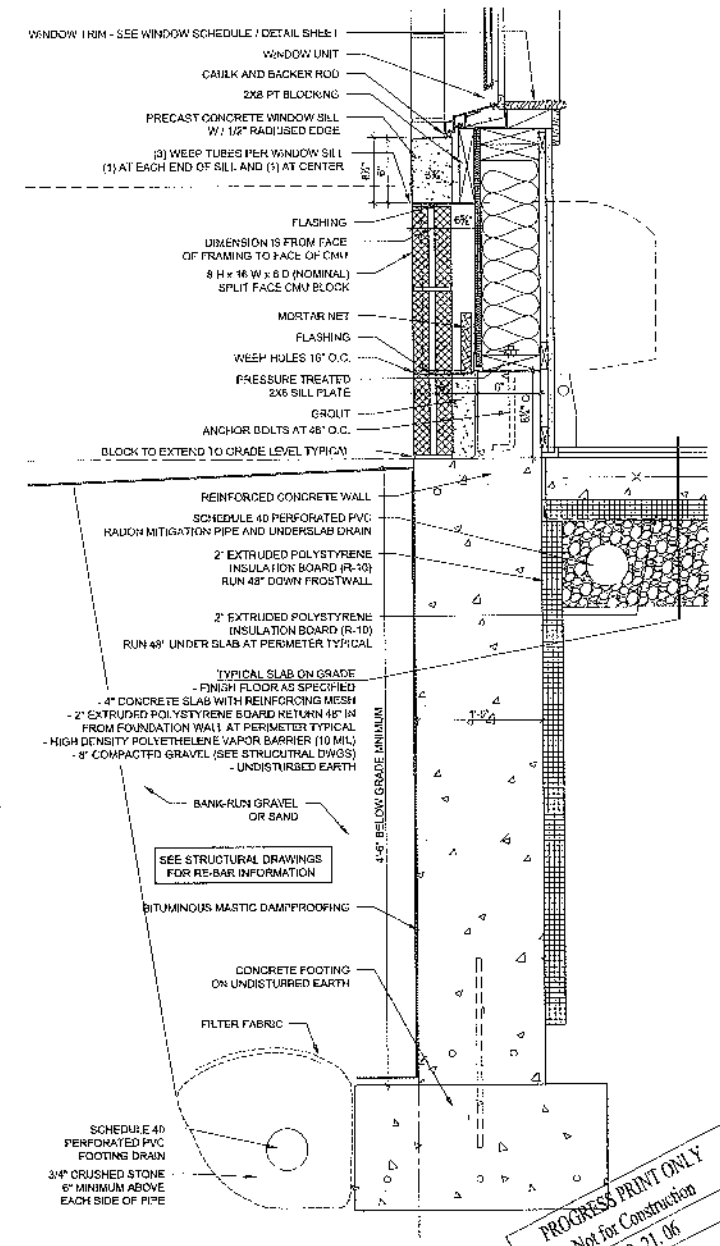
3 DETAIL AT SECOND FLOOR
 A5.0 1/4" = 1'-0"



2 DETAIL AT FIRST FLOOR WATER TABLE AT BLOCK VENEER
 A5.0 1/4" = 1'-0"

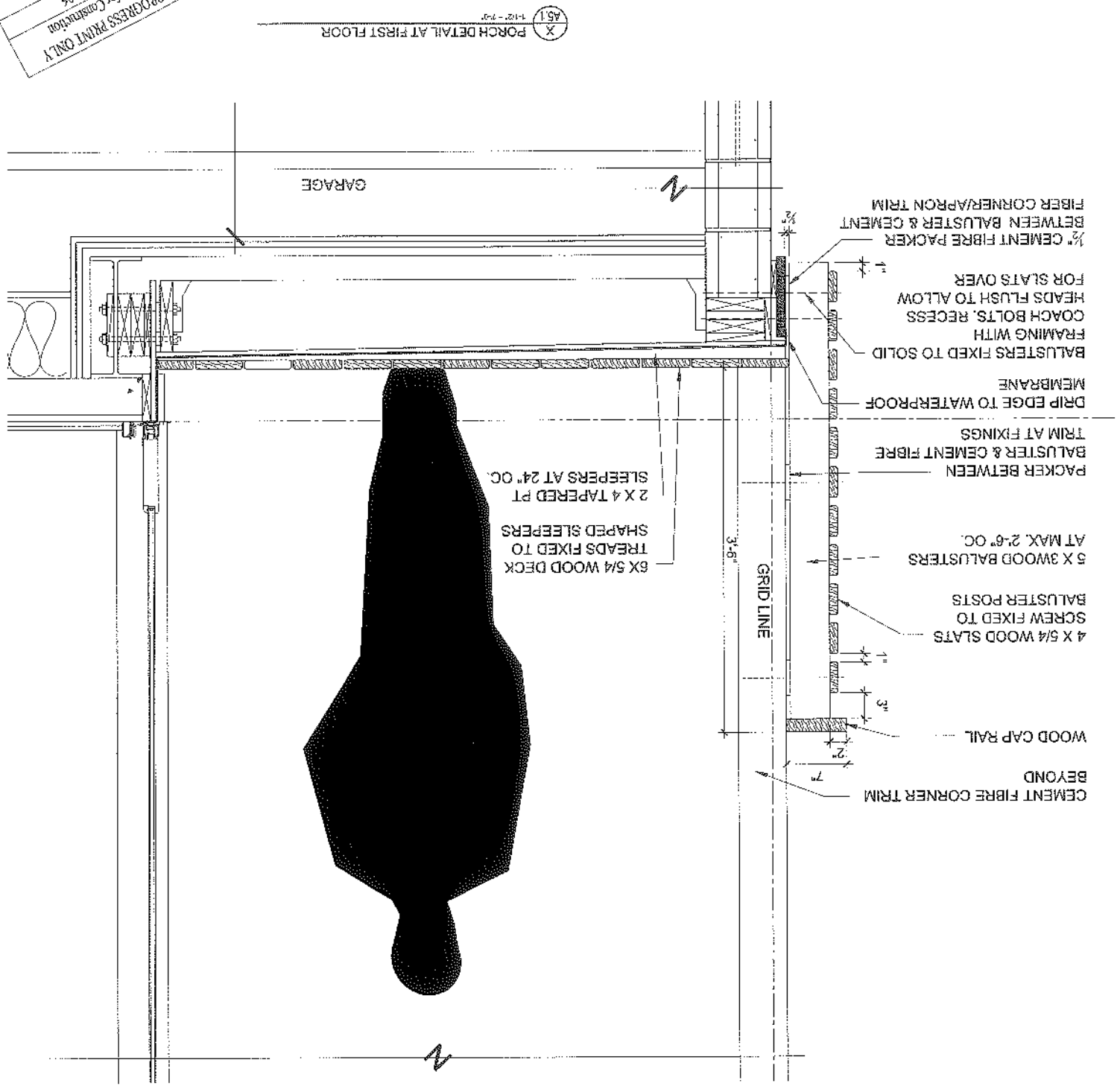
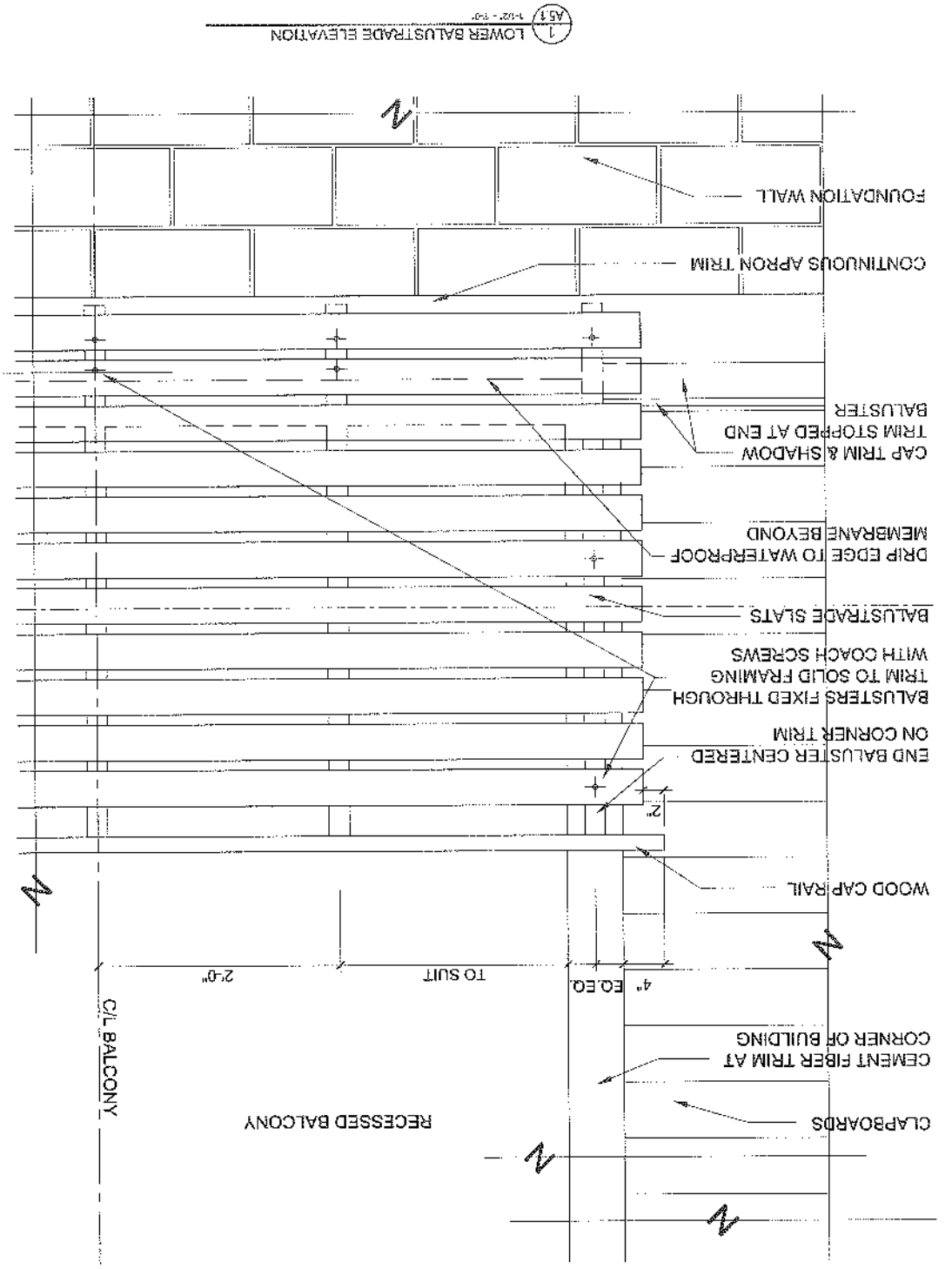


5 DETAIL AT BAY PROJECTION
 A5.0 1/4" = 1'-0"



1 FOUNDATION FROST WALL DETAIL
 A5.0 1/4" = 1'-0"

PROGRESS PRINT ONLY
 Not for Construction
 12.21.06



PROGRESS PRINT ONLY
Not for Construction
12.21.06

A5.3

SHERIDAN HEIGHTS
PROPOSED CONDOMINIUMS AT
135 SHERIDAN STREET, PORTLAND MAINE
FOR SHERIDAN STREET LLC

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TEL: 603.755.8141
FLEXING 207.775.8141

CONSULTANTS:
Shimberg
OWNERS REPRESENTATIVE
ARCHITECTURE PLANNING
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TEL: 603.755.8141

REVISIONS:

DATE:

PROJECT NO. 507

DRAWN BY: PJS

CHECKED BY: TST

SCALE: AS NOTED

SHEET TITLE: DETAILS

© 2006 TFH ARCHITECTS

29

2h

- GENERAL NOTES:**
- 1) SGC ENGINEERING, LLC HAS BEEN RETAINED PURSUANT TO A PROFESSIONAL SERVICES CONTRACT BETWEEN SHERIDAN STREET, LLC AND SGC ENGINEERING, LLC, DATED JUNE 17, 2024.
 - 2) ALL SURVEY WORK COMPLETED BY BACK BAY BOUNDARY P.C. AS NOTED IN MAP REVISIONS.
 - 3) NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY SGC ENGINEERING, LLC. ITS SAFE SHOULD BE CONTACTED PRIOR TO COMMENCING ANY EXCAVATION. (389-344-1233).

- MAP REFERENCES:**
- 1) A PLAN ENTITLED "BOUNDARY SURVEY/EXISTING DIMENSIONS PLAN" DATED JULY 19, 2024 PREPARED BY BACK BAY BOUNDARY INC.
 - 2) A PLAN ENTITLED "SHERIDAN STREET PLAN & PROFILE STA. 94+00 TO 96+00" DATED APRIL 1997 PREPARED BY WOODWARD & CLARK INC.



EXISTING	LEGEND	PROPOSED
○ □ △	PROPERTY MONUMENTS	○ □ △
—	SEWER LINE	—
—	WATER LINE	—
—	ELECTRIC	—
—	COMMUNICATIONS	—
—	GRASS	—
—	OVERHEAD WIRES	—
—	ON-PAVE CENTERLINE	—
—	ROAD CENTERLINE	—
—	BRIDGE CENTERLINE	—
—	EDGE OF WETLAND	—
—	EDGE OF WATERBOUNDS	—
—	SGS SETL BOUNDARY	—
—	LOGIC PROPERTY LINE	—
—	ADJACENT PROPERTY LINE	—
—	PROPOSED PROPERTY LINE	—
—	FENCE	—
—	TREELINE	—
—	SIDEWALK	—
—	PAVED SURFACE	—
—	GRAVEL SURFACE	—
—	CONCRETE SURFACE	—
—	SPRINKLER HEADS	—
—	OPEN MANHOLE	—
—	CATCH BASIN	—
—	UTILITY POLE	—
—	WELL	—
—	PROVAH	—
—	WATER GATE VALVE	—
—	WATER SHUT OFF	—
—	BAR VALVE	—
—	WELDED SYMBOL	—
—	LIGHTPOLE	—
—	CURB VERT	—
—	TEST PIT	—

REVISIONS:

NO.	DATE	DESCRIPTION

SGC ENGINEERING, LLC
 Civil Design & Survey Engineering
 Environmental & Regulatory Permitting
 Electrical Power Systems Engineering

SGC

SERVING OUR CLIENTS IN THE U.S. & CANADA
 100 COURT ST. PORTLAND, ME 04101
 207-523-3410

PREPARED FOR:
 SHERIDAN STREET, LLC.
 477 CONGRESS STREET
 PORTLAND, MAINE 04101
 207-523-3410

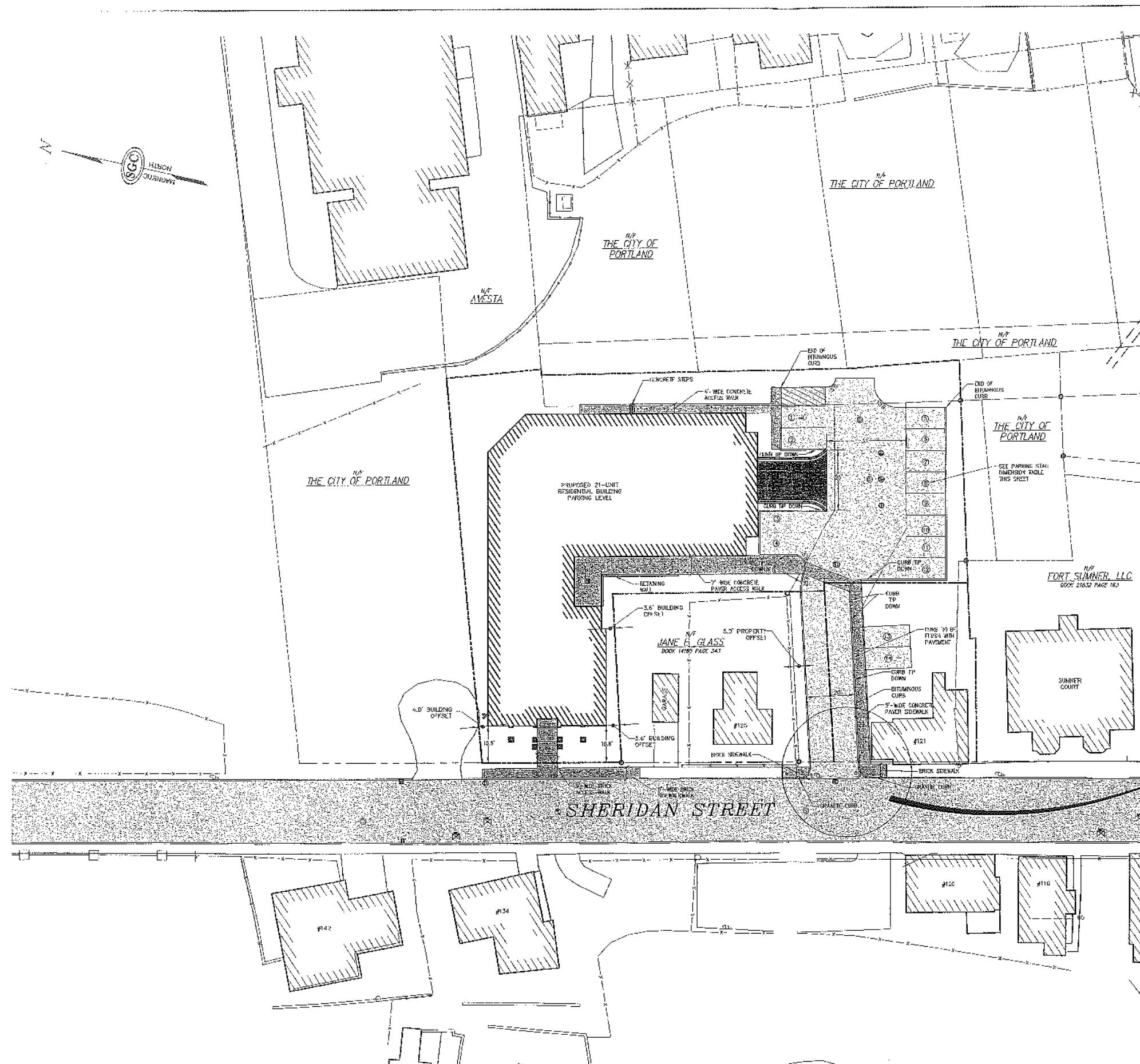
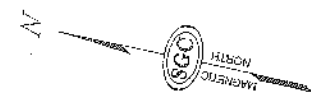
EXISTING CONDITIONS
 SHERIDAN HEIGHTS
 121 & 135 SHERIDAN STREET
 PORTLAND, MAINE 04101

TITLE:
SHEET:

DATE: 06/20/24
 DESIGNED BY: J. M. MURPHY
 CHECKED BY: J. M. MURPHY
 FILE: SITE_PLAN_SHERIDAN.DWG
 PROJECT: 48001025
 SCALE: 1" = 20'

ONLY VALID WITH ORIGINAL TITLE

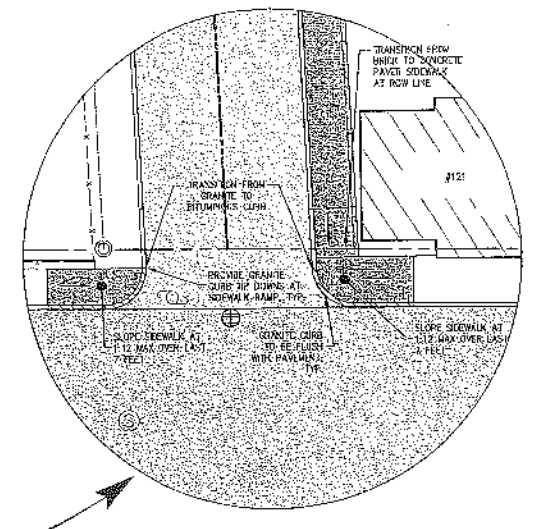
21



LEGEND

EXISTING	PROPOSED
---	---
---	---
---	---
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---	---
---	---
---	---
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---	---

PARALLEL STAIR	EMERGENCY
1	9'x19' HANDICAPPED
2-4	9'x19'
5-7	9'x19'
13-14	9'x19'



DRIVEWAY ENTRANCE DETAIL
SCALE: 1" = 20'

REVISIONS:

NO.	DATE	DESCRIPTION
1	02/26/2008	ISSUE FOR PERMIT
2	03/04/2008	REVISED BUILDING LAYOUT
3	03/04/2008	REVISED SITE PLAN SUBMISSION
4	03/04/2008	REVISED SITE PLAN SUBMISSION
5	03/04/2008	REVISED SITE PLAN SUBMISSION

SEC. ENGINEERING, LLC
 Civil Design & Survey Engineering
 Environmental & Regulatory Permitting
 Environmental Permit Systems Engineering

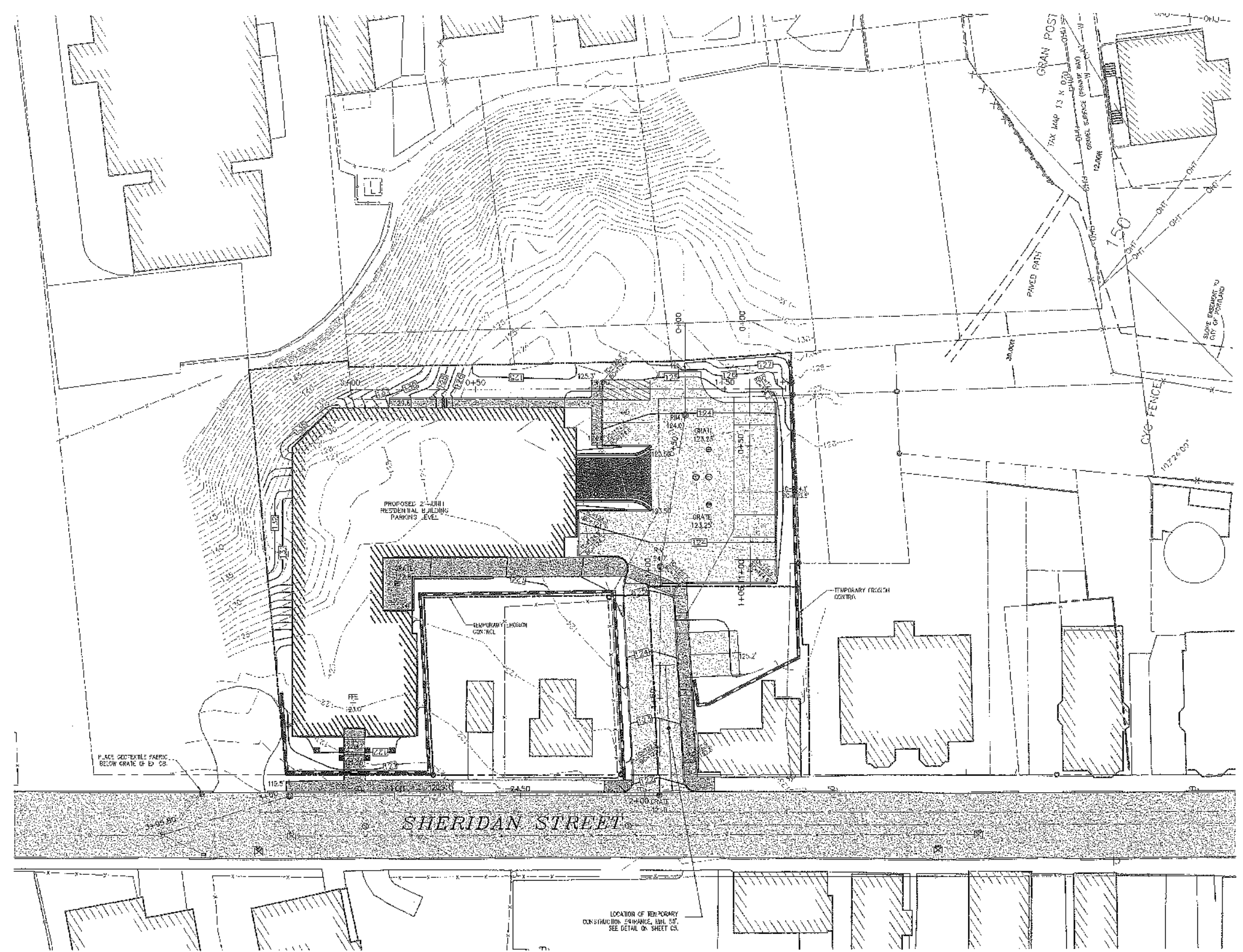
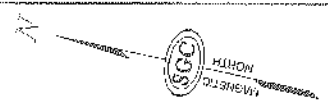
SGC
 SERVING OUR CLIENTS IN THE U.S.A. & CANADA
 100 Main Street
 Portland, Maine 04101
 Tel: 207-523-3410
 Fax: 207-523-3411

SHERIDAN STREET, LLC.
 477 CONGRESS STREET
 PORTLAND, MAINE 04101
 207-523-3410

SITE PLAN
 SHERIDAN HEIGHTS
 121 & 135 SHERIDAN STREET
 PORTLAND, MAINE 04101

SCALE: 1" = 20'

SHEET: C2



PLACE GEOTEXTILE FABRIC
BELOW GRADE OF EX. CS.

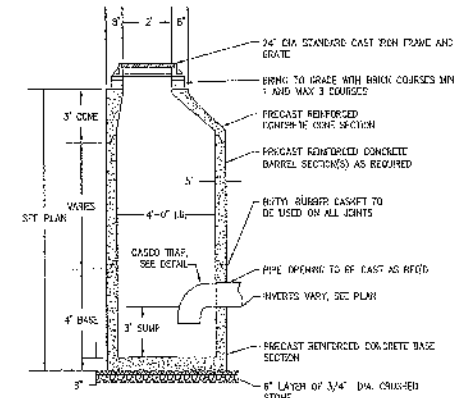
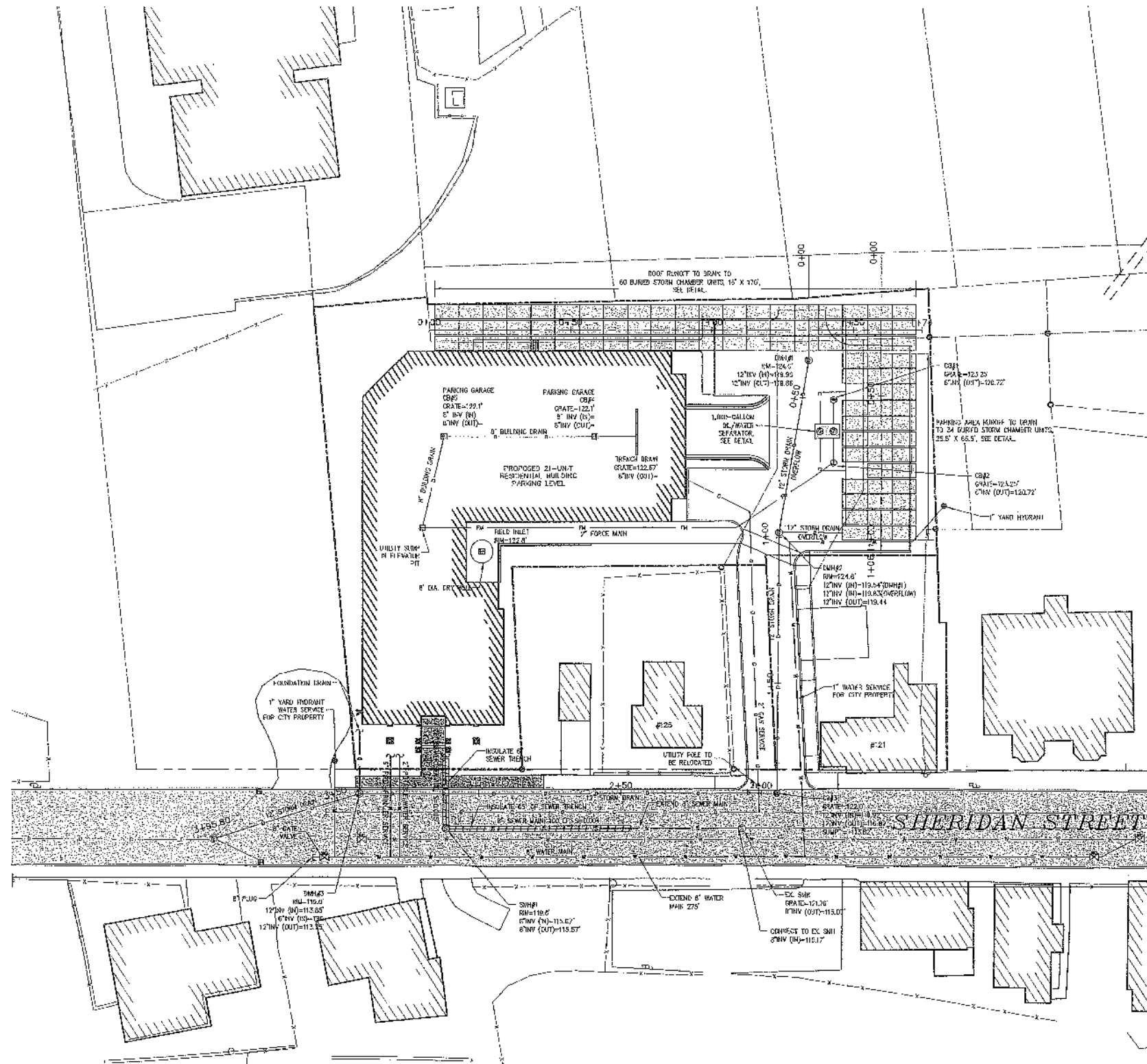
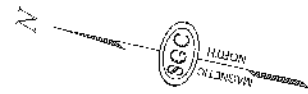
LOCATION OF TEMPORARY
CONSTRUCTION ENTRANCE, UNL. 50'
SEE DETAIL ON SHEET C5.

TITLE: GRADING PLAN SHERIDAN HEIGHTS 121 & 135 SHERIDAN STREET PORTLAND, MAINE 04101	SCALE: 1" = 20' 	PREPARED FOR: SHERIDAN STREET, LLC. 477 CONGRESS STREET PORTLAND, MAINE 04101 207-523-3410		SGC ENGINEERING, LLC • Civil Design & Survey Engineering • Environmental & Regulatory Permitting • Electrical Power Systems Engineering SERVING OUR CLIENTS IN THE U.S.A. & CANADA 200 WASHINGTON ST., SUITE 200 PORTLAND, ME 04101 TEL: 207-523-3410 FAX: 207-523-3411 WWW.SGCENGINEERING.COM	REVISIONS:
					DATE: _____ NO. 1 _____ NO. 2 _____ NO. 3 _____ NO. 4 _____ NO. 5 _____

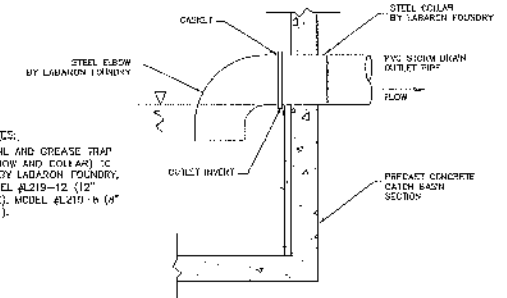
22

SHEET:
C3

2K



PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE



CASCO TRAP
NOT TO SCALE

EXISTING	LEGEND	PROPOSED
—○—	STORM SEWER LINE	—○—
—○—	SEWER LINE	—○—
—○—	WATER LINE	—○—
—○—	ELECTRIC	—○—
—○—	COMMUNICATIONS	—○—
—○—	GAS SERVICE	—○—
—○—	OVERHEAD WIRE	—○—
—○—	SEWER MANHOLE	—○—
—○—	DRAIN MANHOLE	—○—
—○—	CATCH BASIN	—○—
—○—	UTILITY POLE	—○—
—○—	WELL	—○—
—○—	HYDRANT	—○—
—○—	WATER GATE VALVE	—○—
—○—	WATER SHUT OFF	—○—
—○—	GAS VALVE	—○—

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		

SGC ENGINEERING, LLC
 Civil Design & Survey Engineering
 Environmental & Regulatory Permitting
 Electrical Power Systems Engineering

SGC

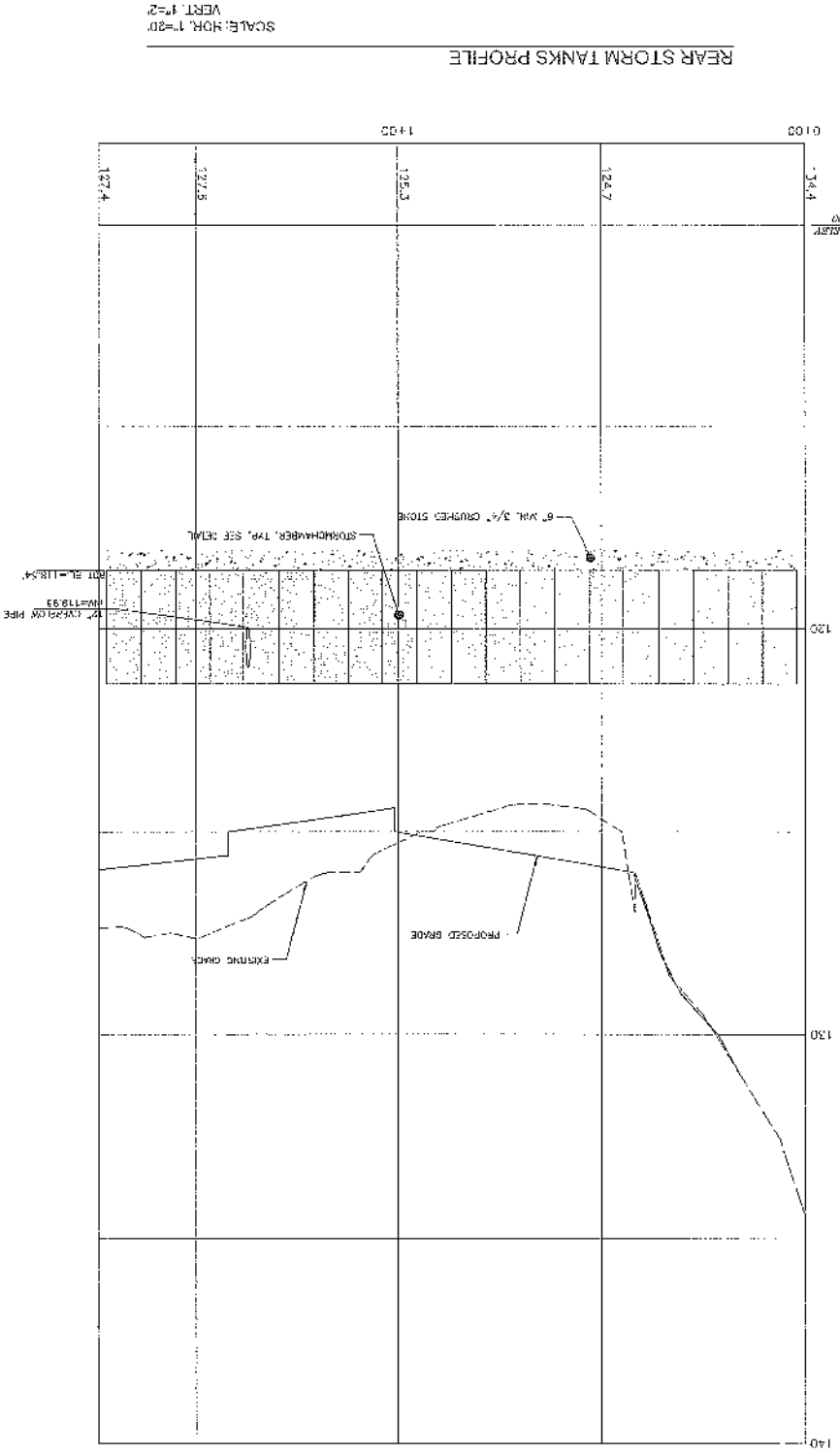
PREPARED FOR:
 SHERIDAN STREET, LLC
 477 CONGRESS STREET
 PORTLAND, MAINE 04101
 207-633-3410

TITLE:
 UTILITY PLAN
 SHERIDAN HEIGHTS
 121 & 136 SHERIDAN STREET
 PORTLAND, MAINE 04101

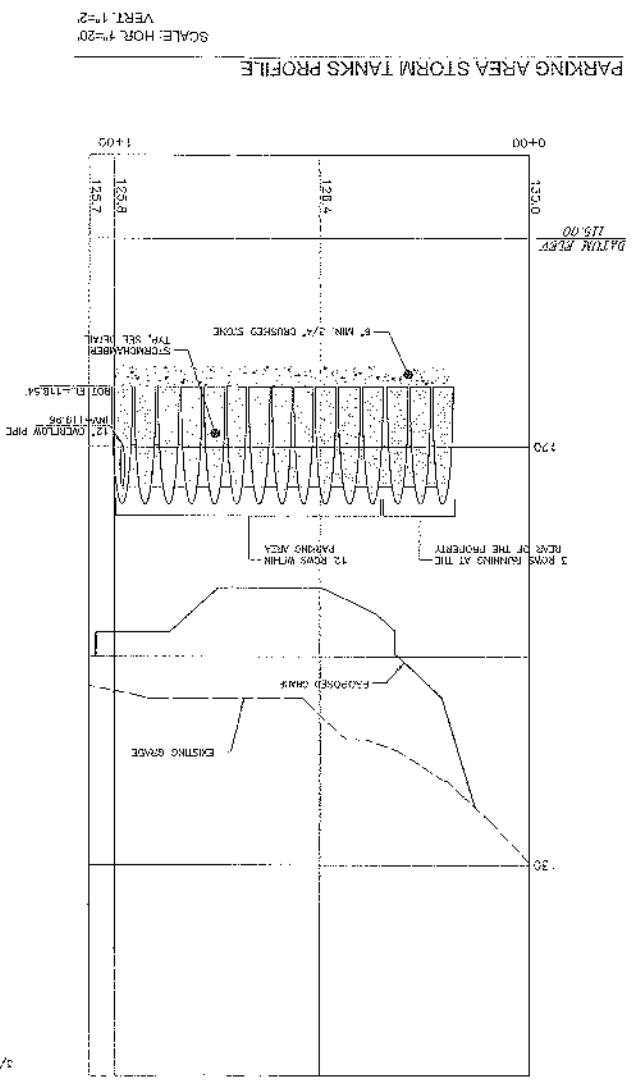
SHEET:
 C4

DATE: 08/08/22
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: 4807-22
 FILE: SITE_PLAN_4807-22

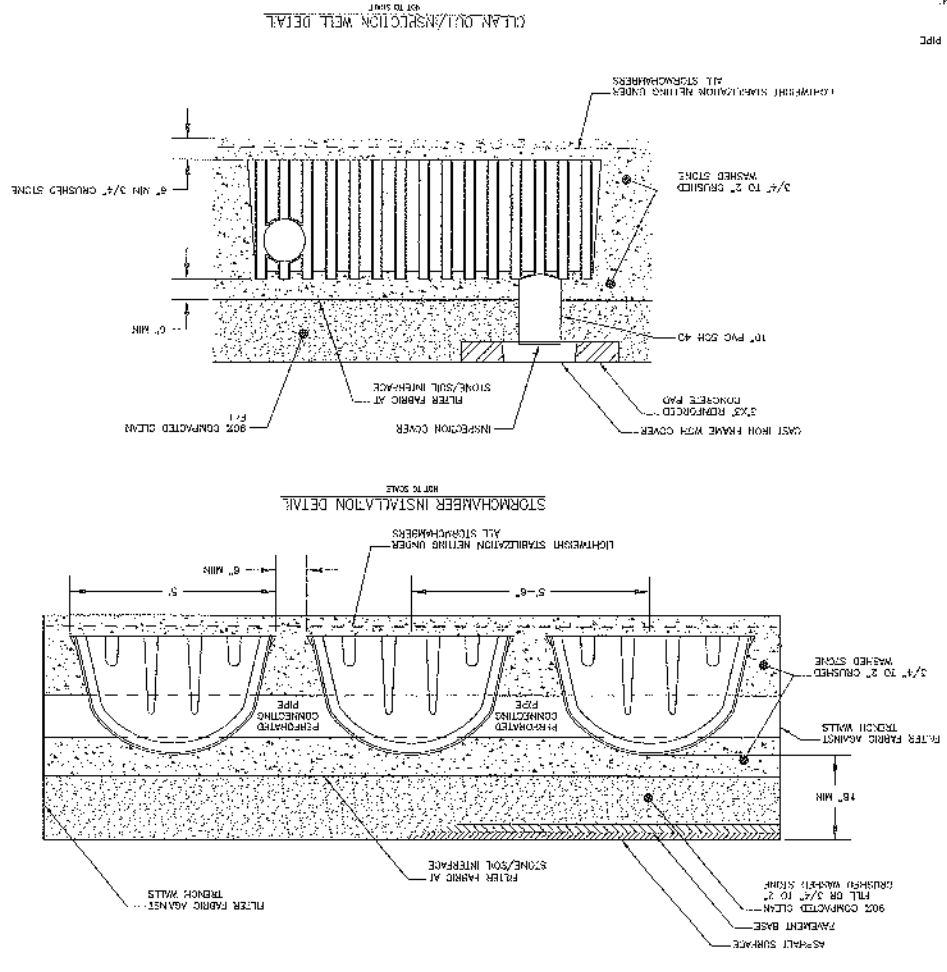
SCALE: 1" = 20'



SCALE: HOR. 1"=20'
VERT. 1"=2'

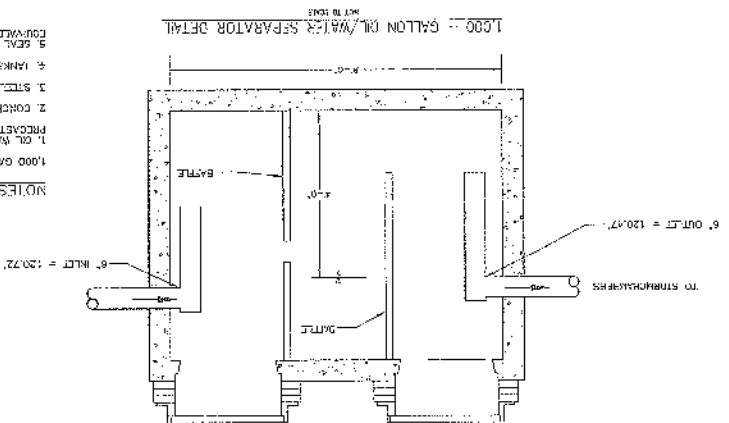


SCALE: HOR. 1"=20'
VERT. 1"=2'

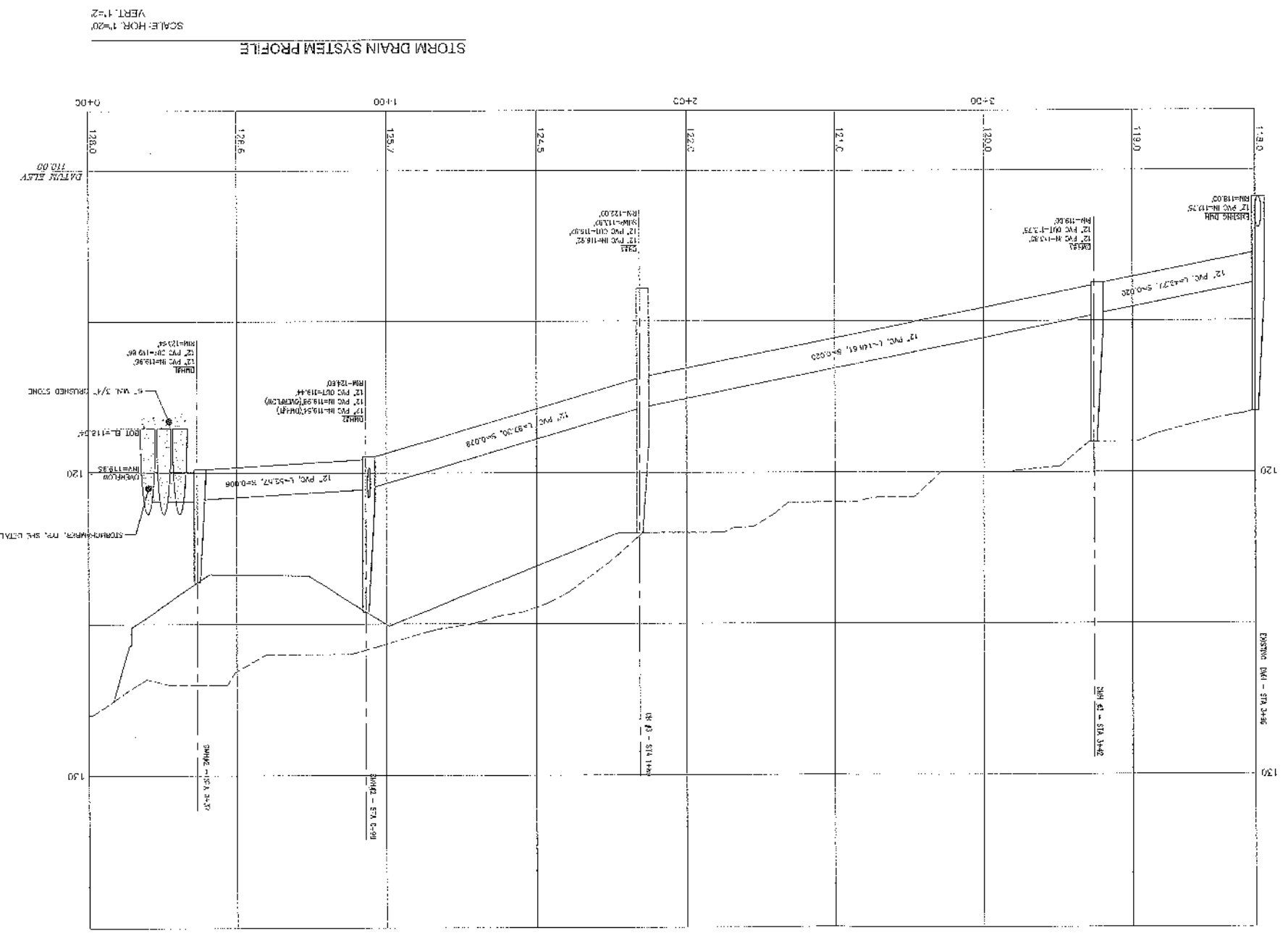


8	TITLE: DRAINAGE PROFILES SHERIDAN HEIGHTS 121 & 136 SHERIDAN STREET PORTLAND, MAINE 04101	PREPARED FOR: SHERIDAN STREET, LLC. 477 CONGRESS STREET PORTLAND, MAINE 04101 207-628-3410	DATE: 11/08/08 DESIGN: JMR CHECK: JMR PROJECT OFFICE: FILE, DRAWING, PERMITS, ADMIN, CIVIL
SGC ENGINEERING, LLC Civil Design & Survey Engineering Environmental & Regulatory Permitting Electrical Power Systems Engineering	SERVING OUR CLIENTS IN THE U.S.A. & CANADA 121 Commercial Street Portland, Maine 04101 Tel: 207-628-3410 Fax: 207-628-3421 www.sgc-engineering.com		
REVISIONS:			
NO.	DATE	DESCRIPTION	

dm

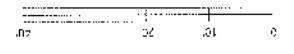


- NOTES:
1. OIL/WATER SEPARATOR TAKES TO BE QUICCASTLE PRECAST MODEL NO. 48 OPS OR SIMILAR.
 2. CONCRETE 5,000 PSI AFTER 28 DAYS.
 3. SITE MONITORING - AS PER A-013, CRD 60
 4. TANKS TO BE H-20 LOADING.
 5. SEAL ALL JOINTS WITH 1\"/>



TITLE: DRAINAGE PROFILES SHERIDAN HEIGHTS 121 & 135 SHERIDAN STREET PORTLAND, MAINE 04101		PREPARED FOR: SHERIDAN STREET, LLC 477 CONGRESS STREET PORTLAND, MAINE 04101 207-523-3410										
DATE: 11/02/06 DRAWN BY: [blank] CHECKED BY: [blank]	PROJECT: REVISIONS FIELD: DRAINAGE PROFILES, 2000 LINES ONLY: VERTICAL CURVES, STRIP											
REVISIONS: <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/02/06</td> <td>DESIGN</td> </tr> <tr> <td>2</td> <td></td> <td>REVISION</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1	11/02/06	DESIGN	2		REVISION	SGC ENGINEERING, LLC 231 CONGRESS STREET PORTLAND, MAINE 04101 TEL: 207-523-3410 FAX: 207-523-3420 WWW.SGC-ENG.COM	
NO.	DATE	DESCRIPTION										
1	11/02/06	DESIGN										
2		REVISION										

25



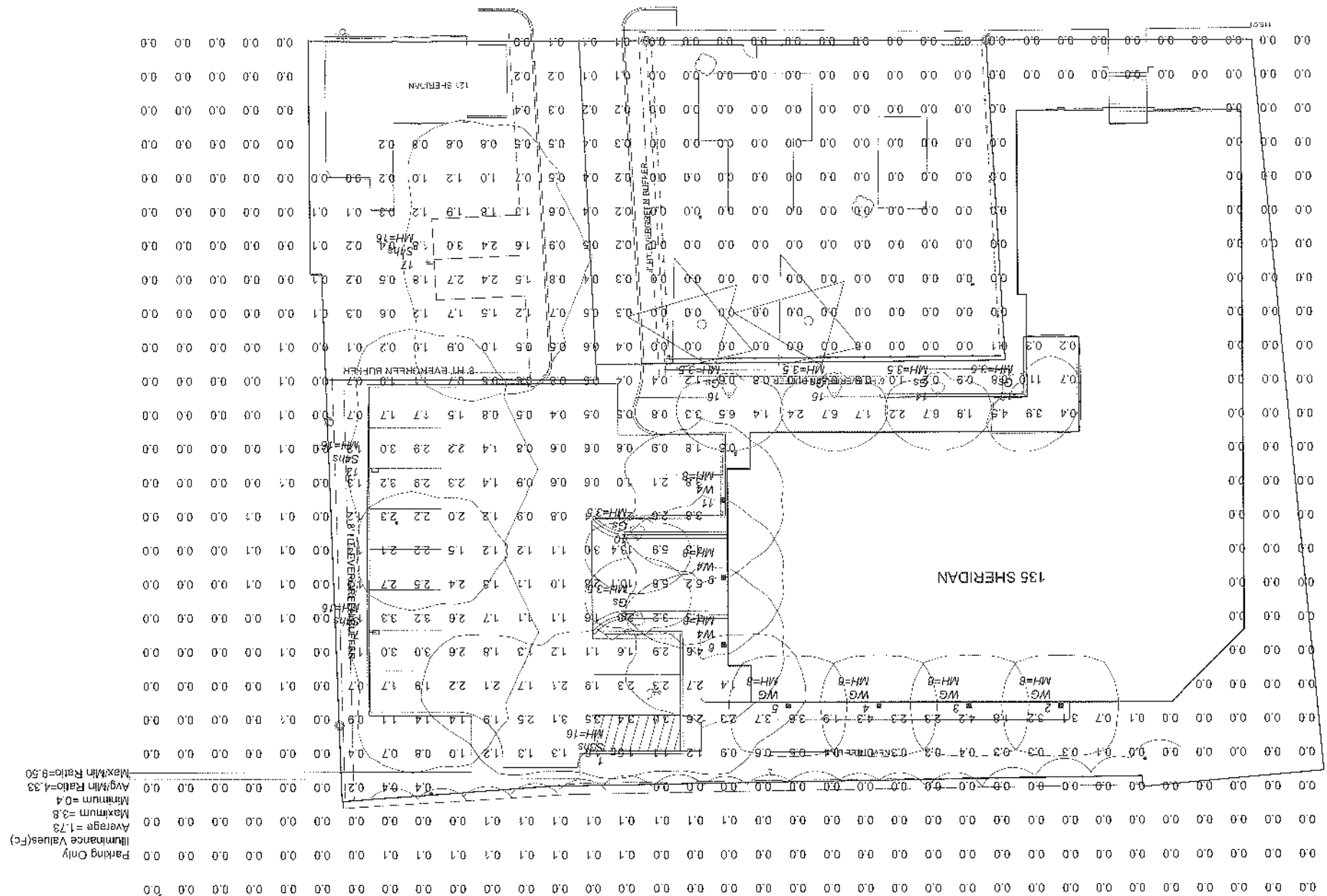
THESE DRAWINGS ARE FOR CONCEPTUAL USE ONLY REPRESENTED ARE AN APPROXIMATE QUANTIFICATION DATA SUPPLIED BY LAND AND TESTING LABS.	
DATE:	01/02/2007
SUBJECT:	SWG Sheridan 00.00dm
CITY:	XXX
SHERIDAN HEIGHTS PROJECT:	
SWANEY LIGHTING ASSOCIATES, INC. 1715 WILSON HILL RD. SPRINGFIELD, MO 65717 TEL: 417-335-3800 FAX: 417-335-3801	

Label:	Max	Avg	Min	Footcandle	Magnitude
Parking Only	1.73	0.8	0.4	3.8	1.00

Label	Distance	Unit	Avg	Max	Min	Footcandle	Magnitude
Plant	12'	ft	0.98	1.4	0.5	0.0	0.0

Label	Distance	Unit	Avg	Max	Min	Footcandle	Magnitude
1	12'	ft	0.98	1.4	0.5	0.0	0.0
2	12'	ft	0.98	1.4	0.5	0.0	0.0
3	12'	ft	0.98	1.4	0.5	0.0	0.0
4	12'	ft	0.98	1.4	0.5	0.0	0.0
5	12'	ft	0.98	1.4	0.5	0.0	0.0
6	12'	ft	0.98	1.4	0.5	0.0	0.0
7	12'	ft	0.98	1.4	0.5	0.0	0.0
8	12'	ft	0.98	1.4	0.5	0.0	0.0
9	12'	ft	0.98	1.4	0.5	0.0	0.0
10	12'	ft	0.98	1.4	0.5	0.0	0.0
11	12'	ft	0.98	1.4	0.5	0.0	0.0
12	12'	ft	0.98	1.4	0.5	0.0	0.0
13	12'	ft	0.98	1.4	0.5	0.0	0.0
14	12'	ft	0.98	1.4	0.5	0.0	0.0
15	12'	ft	0.98	1.4	0.5	0.0	0.0
16	12'	ft	0.98	1.4	0.5	0.0	0.0
17	12'	ft	0.98	1.4	0.5	0.0	0.0
18	12'	ft	0.98	1.4	0.5	0.0	0.0
19	12'	ft	0.98	1.4	0.5	0.0	0.0
20	12'	ft	0.98	1.4	0.5	0.0	0.0
21	12'	ft	0.98	1.4	0.5	0.0	0.0
22	12'	ft	0.98	1.4	0.5	0.0	0.0
23	12'	ft	0.98	1.4	0.5	0.0	0.0
24	12'	ft	0.98	1.4	0.5	0.0	0.0
25	12'	ft	0.98	1.4	0.5	0.0	0.0
26	12'	ft	0.98	1.4	0.5	0.0	0.0
27	12'	ft	0.98	1.4	0.5	0.0	0.0
28	12'	ft	0.98	1.4	0.5	0.0	0.0
29	12'	ft	0.98	1.4	0.5	0.0	0.0
30	12'	ft	0.98	1.4	0.5	0.0	0.0
31	12'	ft	0.98	1.4	0.5	0.0	0.0
32	12'	ft	0.98	1.4	0.5	0.0	0.0
33	12'	ft	0.98	1.4	0.5	0.0	0.0
34	12'	ft	0.98	1.4	0.5	0.0	0.0
35	12'	ft	0.98	1.4	0.5	0.0	0.0
36	12'	ft	0.98	1.4	0.5	0.0	0.0
37	12'	ft	0.98	1.4	0.5	0.0	0.0
38	12'	ft	0.98	1.4	0.5	0.0	0.0
39	12'	ft	0.98	1.4	0.5	0.0	0.0
40	12'	ft	0.98	1.4	0.5	0.0	0.0
41	12'	ft	0.98	1.4	0.5	0.0	0.0
42	12'	ft	0.98	1.4	0.5	0.0	0.0
43	12'	ft	0.98	1.4	0.5	0.0	0.0
44	12'	ft	0.98	1.4	0.5	0.0	0.0
45	12'	ft	0.98	1.4	0.5	0.0	0.0
46	12'	ft	0.98	1.4	0.5	0.0	0.0
47	12'	ft	0.98	1.4	0.5	0.0	0.0
48	12'	ft	0.98	1.4	0.5	0.0	0.0
49	12'	ft	0.98	1.4	0.5	0.0	0.0
50	12'	ft	0.98	1.4	0.5	0.0	0.0

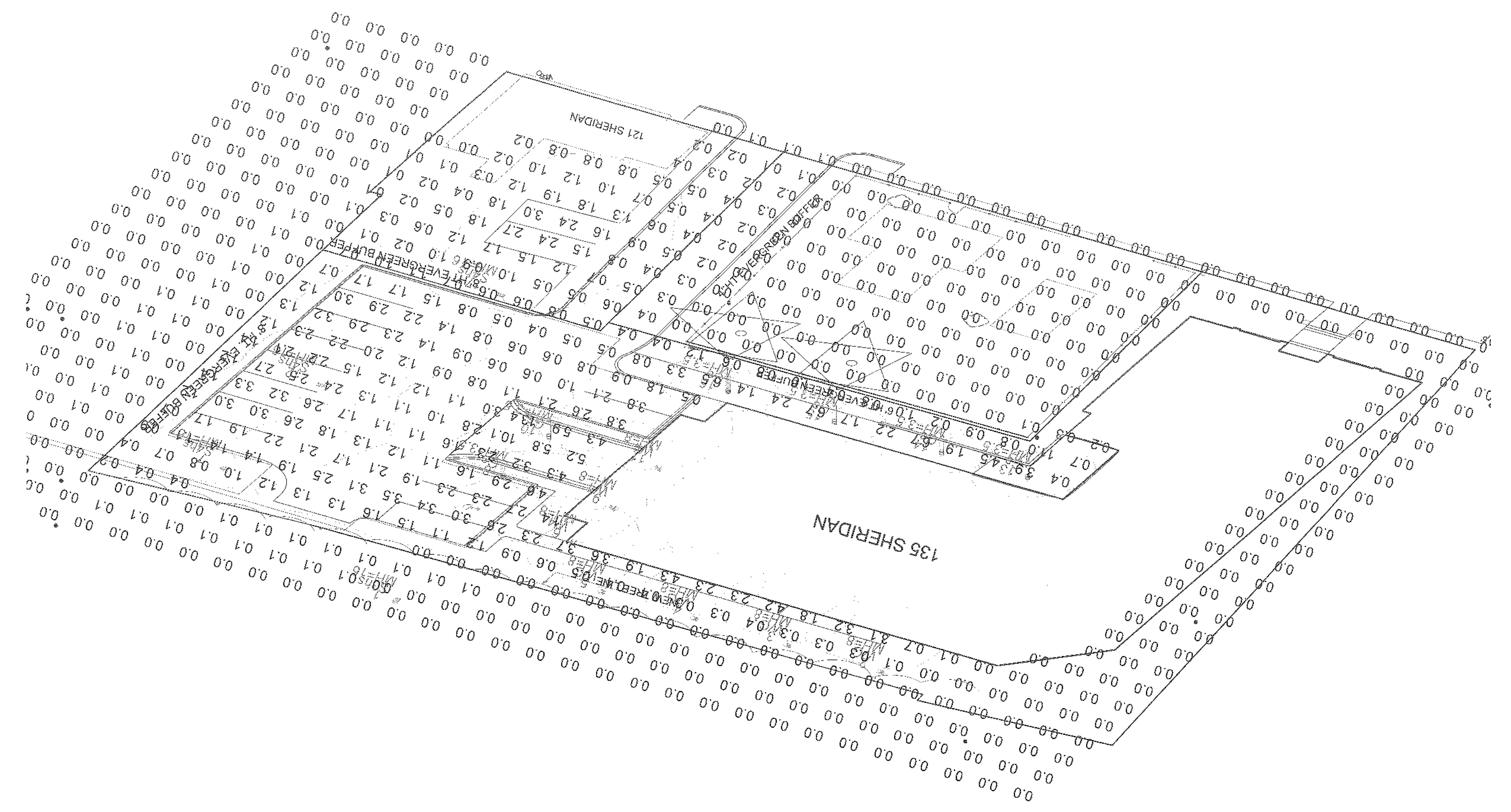
Symbol	Qty	Label	Description	Footcandle	Magnitude
☐	4	W4	W4=200W QUADRA-XE	4.70	0.720
☐	3	W8	W8=200W QUADRA-XE	4.70	0.720
☐	3	W8	W8=200W QUADRA-XE	4.70	0.720
☐	3	W8	W8=200W QUADRA-XE	4.70	0.720
☐	3	W8	W8=200W QUADRA-XE	4.70	0.720



Illuminance Values (fc)
 Average = 1.73
 Maximum = 3.8
 Minimum = 0.4
 Avg/Min Ratio = 4.33
 Max/Min Ratio = 9.50

38

281



SHERIDAN HEIGHTS

135 Sheridan Street
Portland, ME 04101

20

Developer:

SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, ME 04101
207 523 3410

Landscape Architect:

MRLO, LLC
87 Main Street
Yamouth, ME 04096
207 848 4966

Architect:

TH ARCHITECTS
100 Commercial Street
Portland, ME 04101
207 775 6141

Civil Engineer:

SGC ENGINEERING, LLC
501 County Road
Westbrook, ME 04092
207 347 8100

**PERMITTING PLAN
NOT FOR CONSTRUCTION**

LANDSCAPE PLAN

No.	Date	Revisions
1	11.20.07	Final landscape plan
2	12.15.07	Final landscape plan

08 NUMBER: 2005 11
DRAWN BY: LHR
CHECKED BY: MTR
DATE ISSUED: 31 October 2006

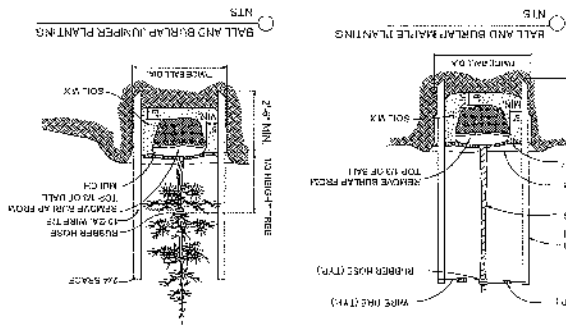


SCALE: 1" = 10'

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PLANTING SPECIFICATION

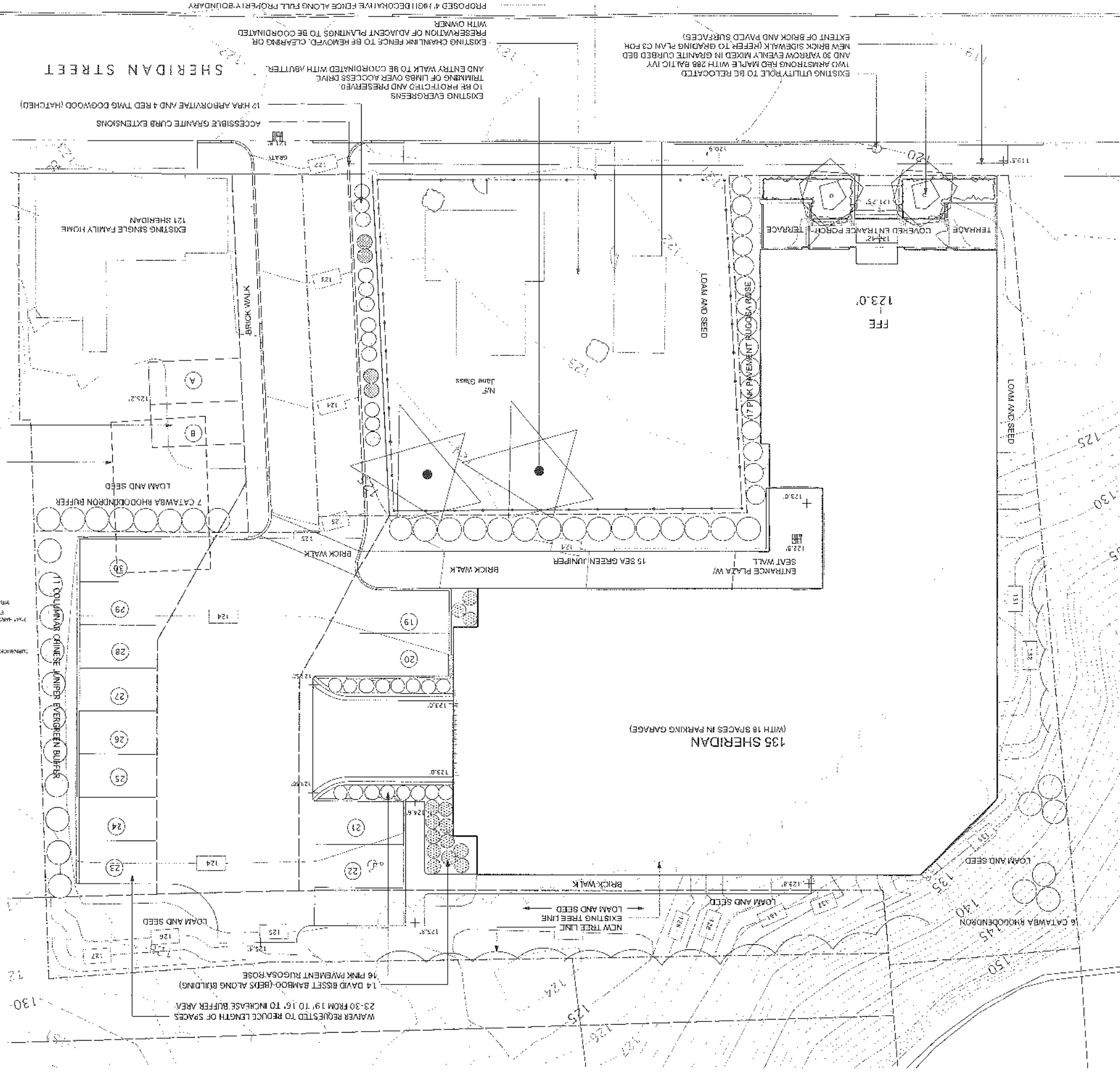
- A. Call Dig Date prior to any excavation work. The location of trees and landscaping cannot conflict with utilities.
- B. The location of all trees and shrubs shall be staked and approved by the landscape architect prior to planting.
- C. Dig the eastern side of trees to the nursery and install trees oriented to the north.
- D. All plant material shall be healthy, airtight branching, free from any and apparent signs, free of disease, pests and physical damage.
- E. Employ only experienced personnel familiar with required work.
- F. If deciduous trees are planted in - bare, they shall be sprayed with an anti-desiccant prior to shipping operation.
- G. Landscape material shall work.
- H. Dig to 27 1/2" and fill to 15" to 10 1/2"
- I. Sloped plant material may be substituted by the use of alternative, similar plant material, with approval by the landscape architect.
- J. All plant material and lawn shall be guaranteed for a period of one year after the date of substantial completion. All dead and non-vigorous material shall be replaced, without cost to the owner, with a similar species, and these replacements shall be guaranteed for one year from the date of acceptance by the owner.
- K. Planting shall be done by 200 tropical and others, and 1" in diameter, and 200 per foot. The 1" shall be between 5" - 7.2" ground level, and 200 per foot. The 1" shall be between 5" - 7.2" ground level, and 200 per foot.
- L. Add compost to planting beds as a 2" plant compost to 4 per cubic yard.
- M. Fertilizer shall be applied when planting and 27 1/2" of planting soil with a 10-10-10 fertilizer. The fertilizer shall be recommended by the manufacturer.
- N. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- O. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- P. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- Q. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- R. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- S. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- T. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- U. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- V. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- W. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- X. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- Y. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.
- Z. Water shall be applied using a 4 oz packet system at twice recommendation by the manufacturer.



LANDSCAPE PLAN

PLANTS	#	SIZE
Acer rubrum "Armstrong"	2	2.5' calp. BAB
Arctostaphylos "Credo"	30	3 gallon
Cornus sericea "Atco Fire"	4	5 gallon
Hedera helix "Ballon"	298	3 1/2" Pots
Juniperus chinensis "Hizell Columnaris"	11	6 BAB
Juniperus chinensis "Sea Green"	15	7 gallon
Sea Green Chinese Juniper	15	7 gallon
Phyllostachys bissett "Dwarf"	15	6 gal.
Rosa rugosa "Pink Pavement"	32	3 gallon
Rhododendron "Catawba Albany"	13	7 gallon
Thuja occidentalis	12	5 gallon

0 10 30



PROPOSED 4' HIGH DECORATIVE FENCE ALONG FULL PROPERTY BOUNDARY

EXISTING CHANNELING FENCE TO BE REMOVED, CLEARING OR PRESERVATION OF ADJACENT PLANTINGS TO BE COORDINATED WITH OWNER

EXISTING EVERGREENS TO BE PROTECTED AND PRESERVED. 10 BE PROTECTED AND PRESERVED. THINNING OF LIMBS OVER ACCESS DRIVE AND ENTRY WALK TO BE COORDINATED WITH OWNER.

EXISTING UTILITY POLE TO BE RELOCATED AND 30 YARD WALK (REFER TO GRADING PLAN G3 FOR EXTENT OF BRICK AND PAVED SURFACES)

10 HRA ARBORVITAE AND 4 RED TWIG DOGWOOD (HATCHED) ACCESSIBLE GRANITE CURB EXTENSIONS

EXISTING SINGLE FAMILY HOME 121 SHERIDAN

EXISTING GARAGE TO BE REMOVED

TWO SURFACE PARKING SPACES FOR 121 SHERIDAN

LANDSCAPE PLAN

LANDSCAPE PLAN

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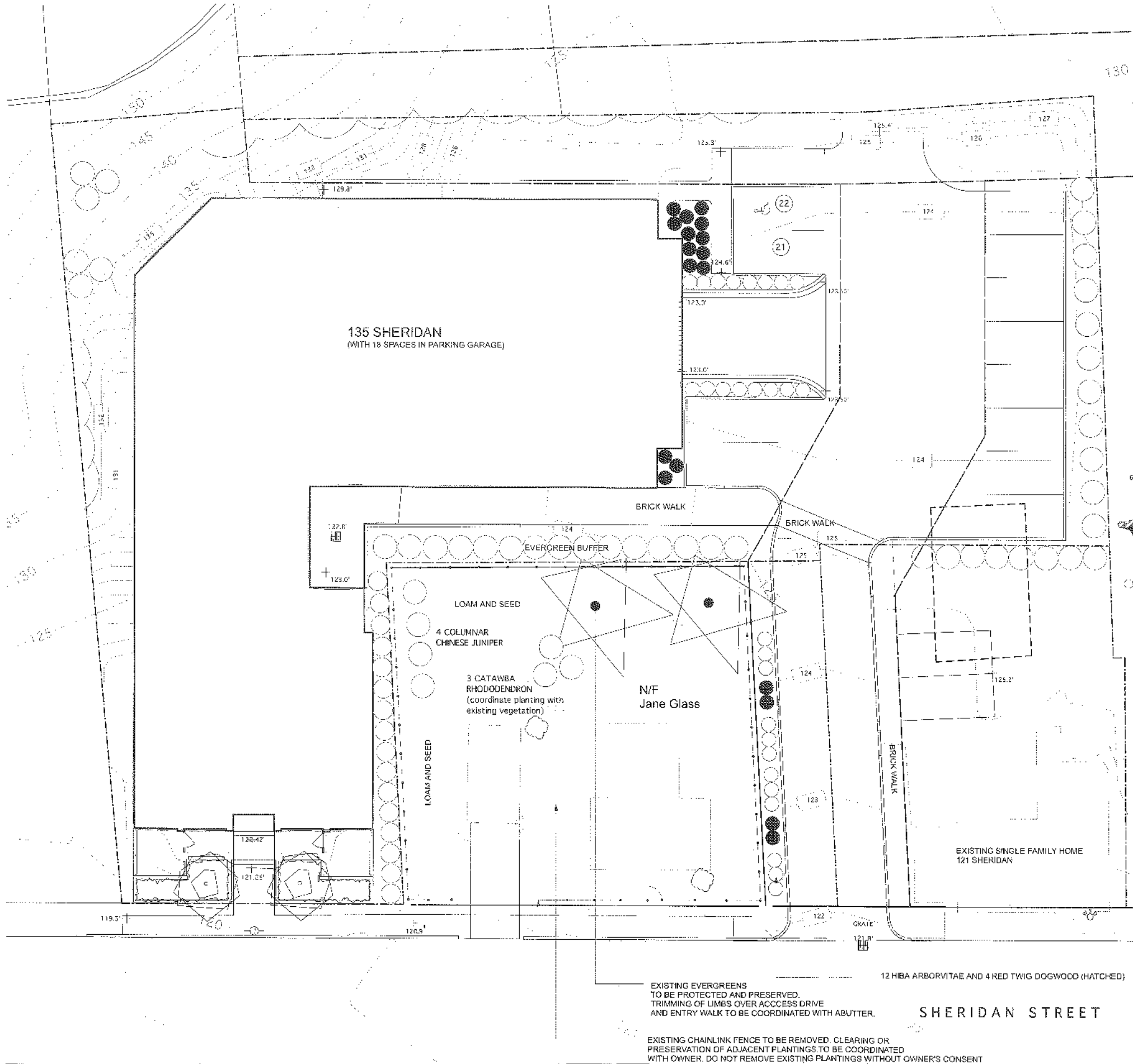
LANDSCAPE PLAN

LANDSCAPE PLAN

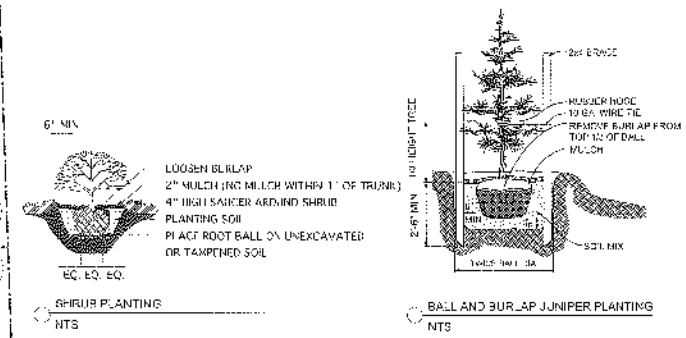
LANDSCAPE PLAN

LANDSCAPE PLAN

LANDSCAPE PLAN



- PLANTING SPECIFICATION**
- A. Call Dig Site prior to any excavation work. The location of trees and landscaping cannot conflict with site utilities.
 - B. The location of all trees and shrubs shall be checked and approved by Jane Glass and Sheridan Street, LLC prior to planting.
 - C. Flag the northern side of trees in the nursery and install trees one week prior to work.
 - D. All soil material at all be healthy and full-bearing. Use to form and specify size, use of disease, pests and physical damage.
 - E. Empty only experienced personnel familiar with required work.
 - F. If mechanical trees are planted in wet they shall be sprayed with an anti-desiccant prior to digging operation.
 - G. Landscape installation requirements:
 - District and Burial
 - Spring 4:1 to 7:15 and Fall 6:15 to 10:15
 - H. Specified plant material may be substituted by the use of alternate similar plant material with approval from the Jane Glass and Sheridan Street, LLC.
 - I. All plant material and labor shall be guaranteed for a period of two years after the date of substantial completion. All dead and non-vigorous material shall be replaced by Sheridan Street, LLC, not out side, to the Jane Glass with a similar species, and these replacement shall be all on guarantee for one year from the date of acceptance by Sheridan Street, LLC.
 - J. Planting soil at all be 22" loose, free of debris and stones over 1" in diameter and 12" maximum. The soil shall be between 5.5-7.0. Ground inspectors shall be advise to the planting soil to achieve specified pH.
 - K. Add compost in planting areas at a 1 part compost to 4 part existing soil ratio, three to a 2" depth.
 - L. Fertilizer shall be applied when planting plus one 20% of planting soil with a 5-10-10 fertilizer. After plant is in place, fertilizer minimum 3 year, shall be applied using a 40% percent system at rates recommended by the manufacturer.
 - M. Mulch shall be 100% fine arborvitae bark, 2" deep for all trees and bamboo, not more than 1" for bamboo.
 - N. Trees shall be Catwaba Cloth, 4 1/2" wide and 60" or approved equal.



LANDSCAPE PLAN

PLANTS	#	SIZE
Cornus sericea "Arctic Fire" Arctic Fire Red Twig Dogwood	4	5 gallon
Juniper chinensis "Hetzi Columnaris" Columnar Chinese Juniper	4	6" B&B
Rhododendron "Catawba Album" Catawba Rhododendron	3	7 gallon
Thujaopsis dolabrata Hiba Arborvitae	12	5 gallon

GLASS PROPERTY IMPROVEMENT NOTES

1. The 4 foot tall decorative fence will be installed no later than 300 days after the project commences construction;
2. The loam and seed in the northwest part of the yard will be installed no later than 200 days after the project commences construction;
3. The area between the free standing garage and the northern property line shall be available to Sheridan Street LLC to construct the footings and foundations for a period of 120 days after the project commences construction. Sheridan Street LLC will be responsible for restoring the ground to its original level and loam and seed any disturbed areas;
4. All new plantings or new materials (ie the 4 foot fence, 4 Chinese Columnar Juniper) will be under warranty by Sheridan Street, LLC for a period of 2 years after the installation.

SHERIDAN HEIGHTS

135 Sheridan Street
Portland, ME 04101

Developer:
SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, ME 04101
207 623 3410

Landscape Architect:
MRLD, LLC
87 Main Street
Yarmouth, ME 04096
207 846 4866

Architect:
TFH ARCHITECTS
100 Commercial Street
Portland, ME 04101
207 775 6141

Civil Engineer:
SGC ENGINEERING, LLC
501 County Road
Westbrook, ME 04092
207 347 8100

GLASS LANDSCAPE PLAN

JOB NUMBER: 2005.31
DRAWN BY: MHR
CHECKED BY: MHR
DATE ISSUED: 31 October 2005

LG1

SCALE: 1" = 10'

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