

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080933

PERMIT ISSUED
 AUG 26 2008

This is to certify that SMITH GORDON R /proprietor owner

has permission to Replace windows, siding, add deck to 3rd floor, foundation framing, repair & replace floor joists, sill beam

AT 116 SHERIDAN ST

013 J010001

CITY OF PORTLAND

provided that the person or persons who perform or supervise the construction accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services are provided. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas W. Mackley 8/26/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

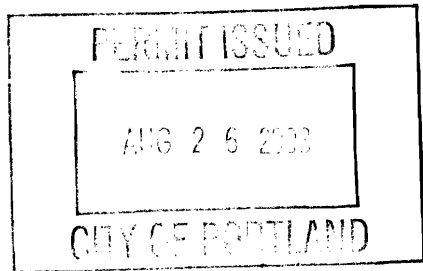
Permit No: 08-0933	Issue Date:	CBL: 013 J010001
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Location of Construction: 116 SHERIDAN ST	Owner Name: SMITH GORDON R	Owner Address: 116 SHERIDAN ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home - Replace windows, siding, add deck to 3rd floor, New foundation, framing, repair & replace floor joists, sill beam as needed	Permit Fee: \$220.00	Cost of Work: \$20,000.00	CEO District: 1
Proposed Project Description: Replace windows, siding, add deck to 3rd floor, New foundation, framing, repair & replace floor joists, sill beam as needed <i>of breakfast nook only</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>Jm</i> 8/26/08	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 07/25/2008
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Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/12/08</i> <i>AKM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0933	Date Applied For: 07/25/2008	CBL: 013 J010001
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Location of Construction: 116 SHERIDAN ST	Owner Name: SMITH GORDON R	Owner Address: 116 SHERIDAN ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Replace windows, siding, add deck to 3rd floor, New foundation & framing @ breakfast nook, repair & replace floor joists, sill beam as needed	Proposed Project Description: Replace windows, siding, add deck to 3rd floor, New foundation & framing @ breakfast nook, repair & replace floor joists, sill beam as needed
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/12/2008

Note: Third floor deck does not increase the floor area under section 14-436.

Ok to Issue:

- 1) This permit is being issued with the condition that all work will take place within the existing footprint.
- 2) This permit is being issued with the condition that the third floor deck must never be enclosed and the space between the first floor and the deck may not be enclosed unless it meets section 14-436. The deck must also be built within the existing footprint.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 08/26/2008

Note:

Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>116 SHERIDAN ST.</u>		
Total Square Footage of Proposed Structure/Area <u>1,884 SQ. FT.</u>		Square Footage of Lot <u>2,232 SQ. FT.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>J</u> Lot# <u>10</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>GORDON SMITH</u> Address <u>116 SHERIDAN ST.</u> City, State & Zip <u>PORTLAND OHIO</u>	Telephone: <u>207-749-9300</u>
Lessee/DBA (If Applicable) <u>JUL 25 2003</u>	Owner (if different from Applicant) Name <u>SAME AS ABOVE</u> Address _____ City, State & Zip _____	Cost Of Work: \$ <u>20,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>N/A</u> If yes, please name _____ Project description: <u>REPLACE WINDOWS + SIDING; ADD DECK AT 3RD FLOOR; NEW FOUNDATION + FRAMING AT 1ST FLOOR BREAKFAST NOOK (NO CHANGE TO FOOTPRINT); REPAIR + REPLACE FLOOR JOISTS + SILL BEAM AS NEEDED</u>		
Contractor's name: <u>SAME AS ABOVE</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>GORDON SMITH</u> Telephone: <u>SAME</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 7.24.08

This is not a permit; you may not commence ANY work until the permit is issued.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

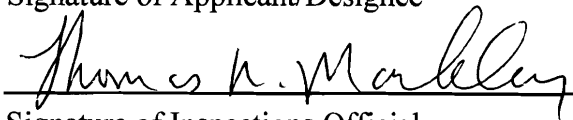
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



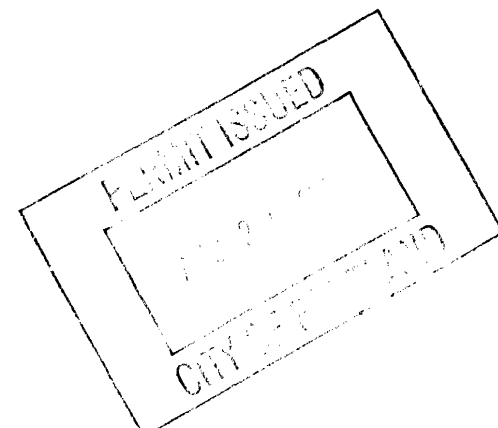
Signature of Applicant/Designee

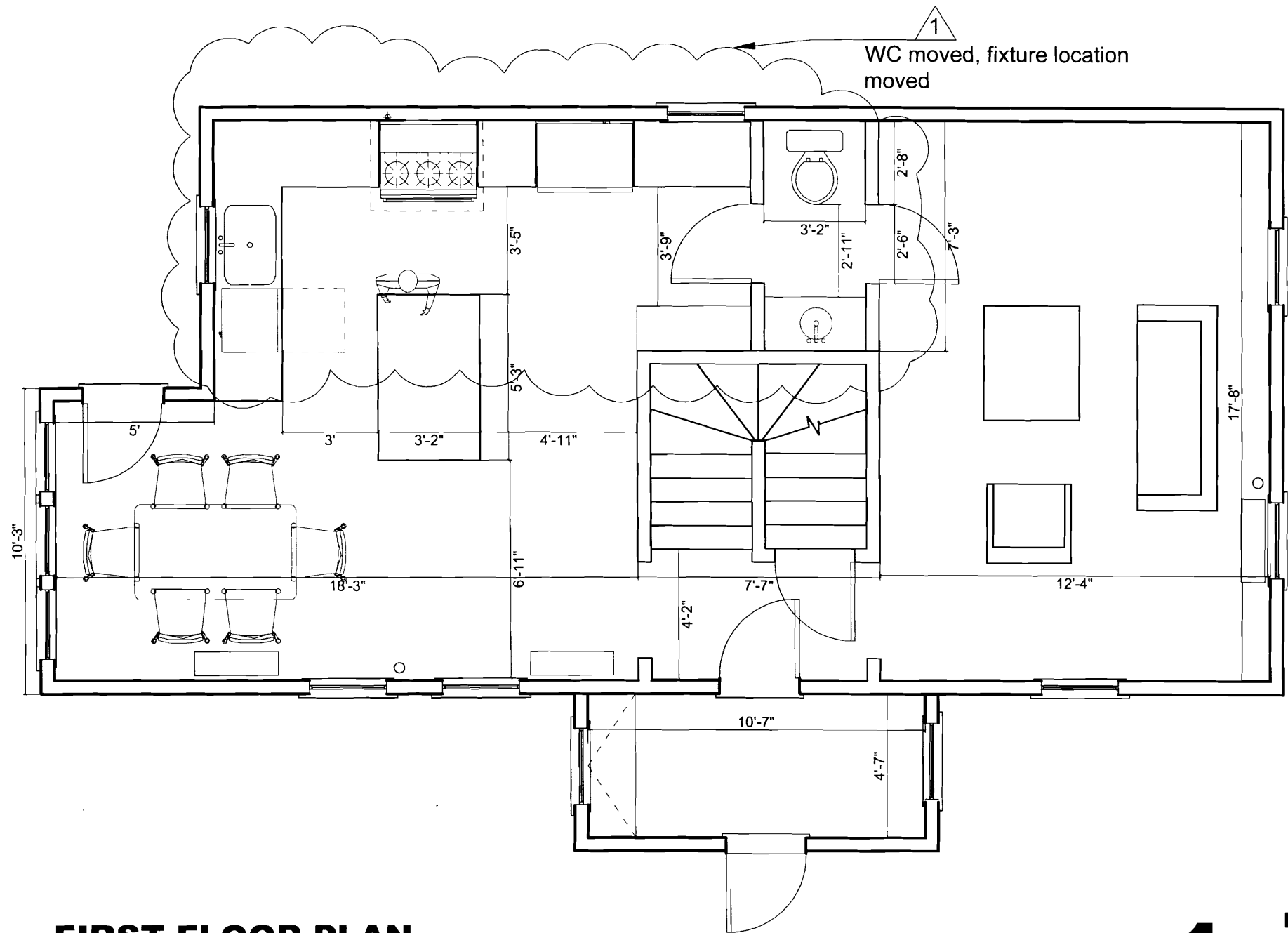
8.26.08
Date



Signature of Inspections Official

8/26/08
Date

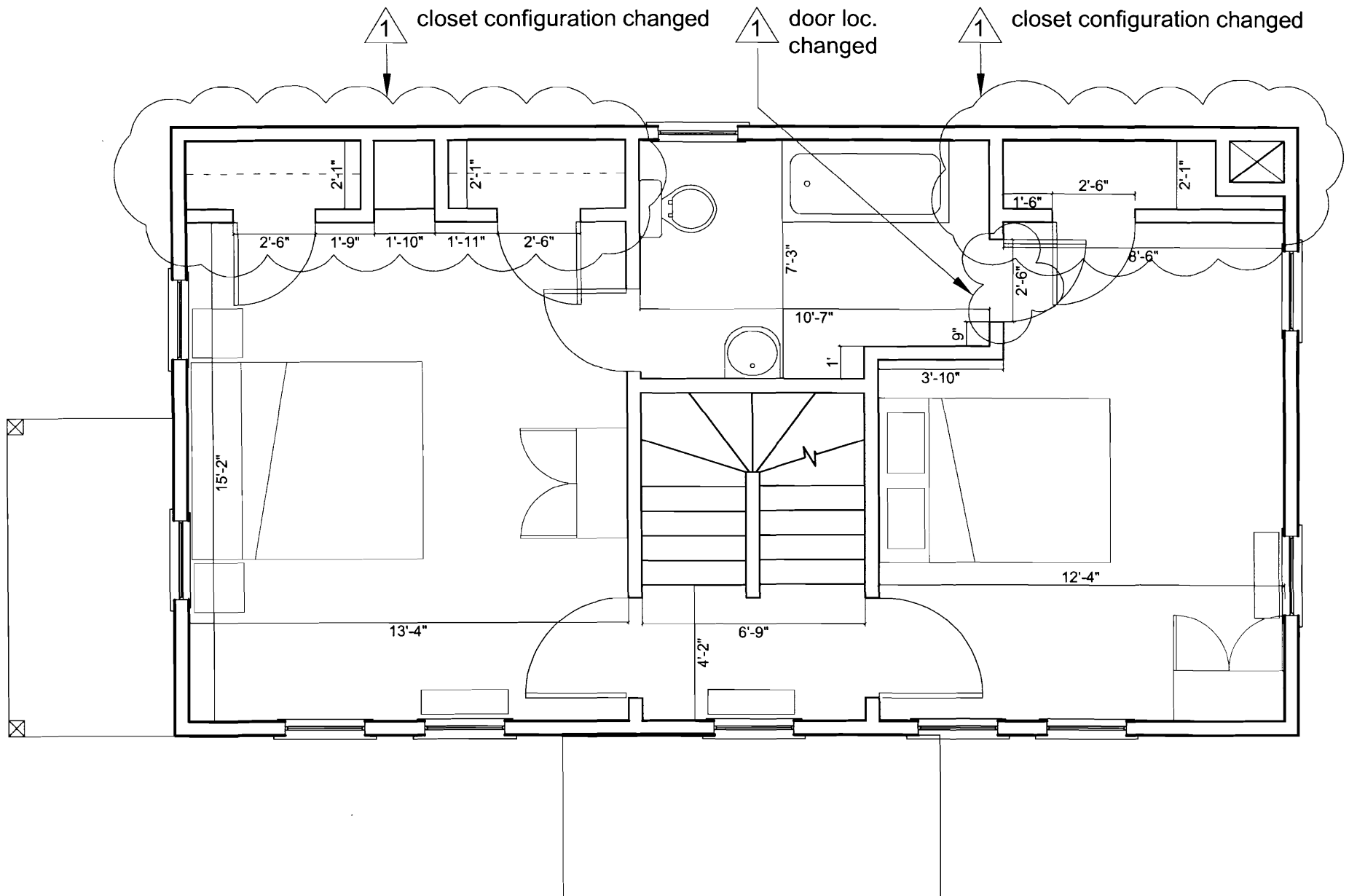




FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



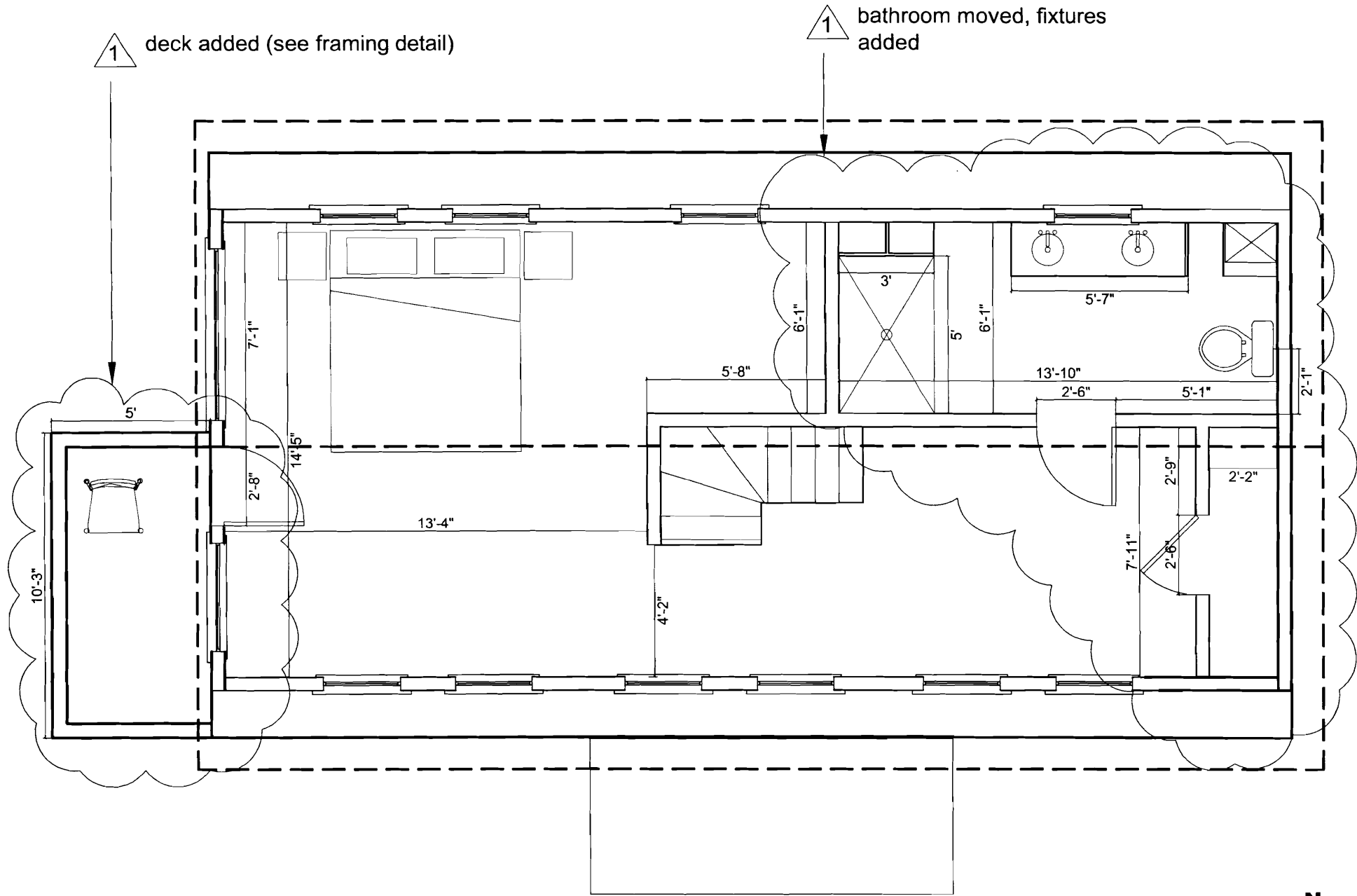


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

2





THIRD FLOOR PLAN

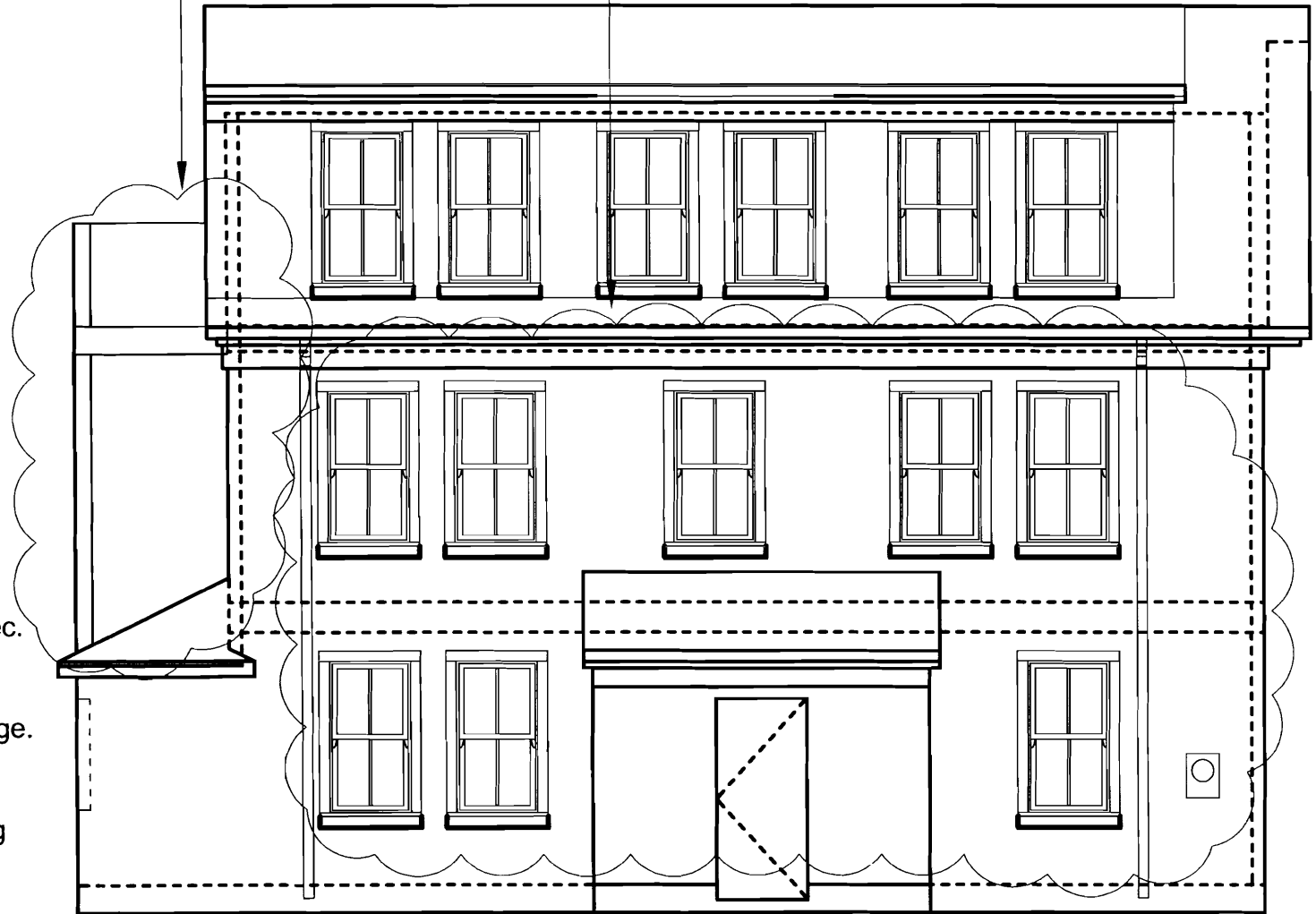
SCALE: 1/4" = 1'-0"

1 deck added

1 all ground floor and second floor windows to be replaced w/ Marvin WUDH 2424 (wood dbl hung, 2 over 2 lite, dbl glazed clear).

GENERAL NOTES:

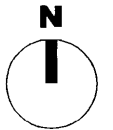
1. Replace siding w/ western red cedar clapboard siding.
2. verify integrity of sill plate and replace if nec. w/ pressure treated 6x6 or equal due to insect or water damage.
3. verify and replace framing and sheathing as nec. due to insect or water damage.



SOUTH ELEVATION

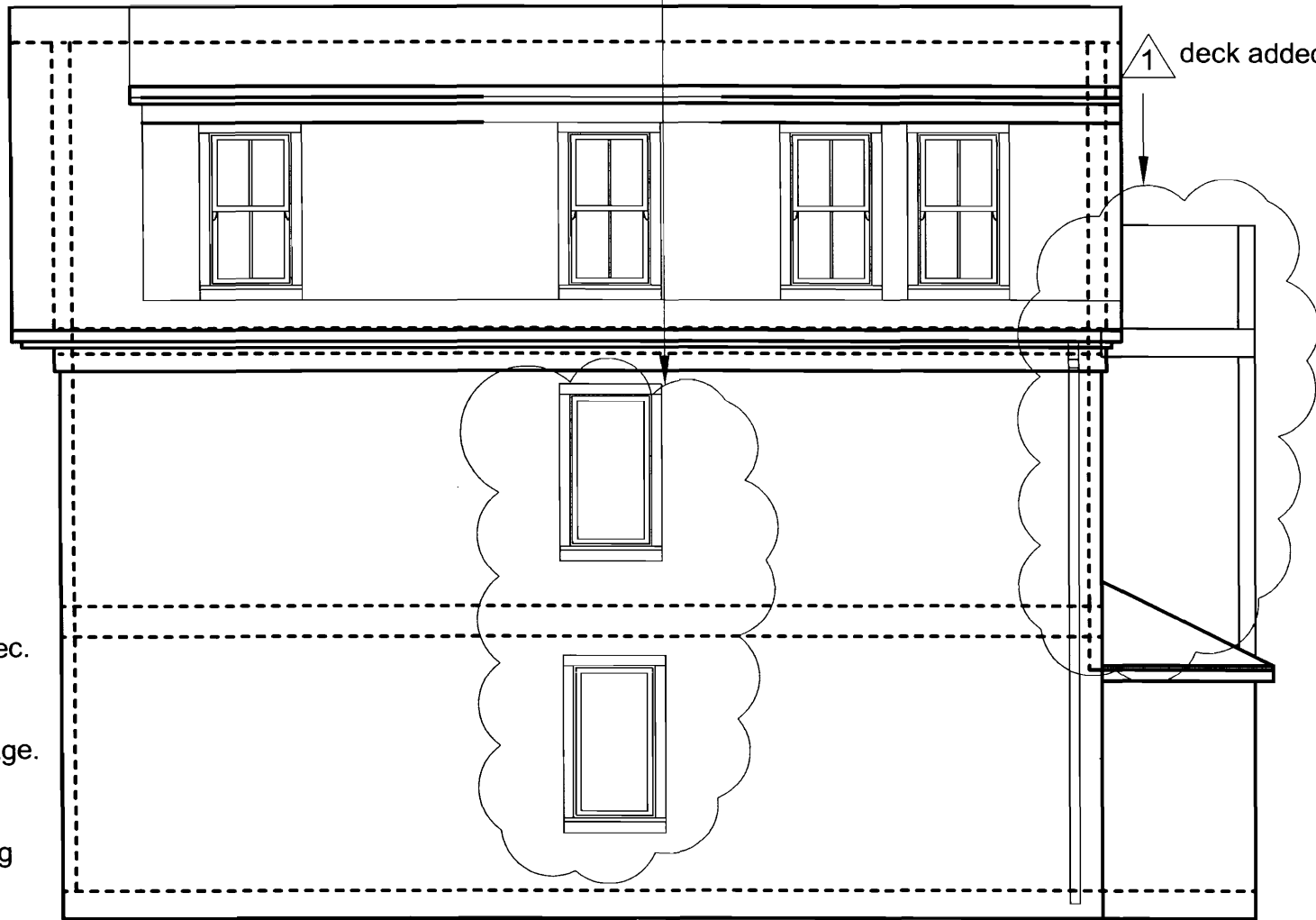
SCALE: 3/16" = 1'-0"

4



1 ground floor and second floor windows to be replaced w/ Marvin WCM 1624 (wood casement, 1 lite, dbl glazed clear.

1 deck added



GENERAL NOTES:

1. Replace siding w/ western red cedar clapboard siding.
2. verify integrity of sill plate and replace if nec. w/ pressure treated 6x6 or equal due to insect or water damage.
3. verify and replace framing and sheathing as nec. due to insect or water damage.

NORTH ELEVATION

SCALE: 3/16" = 1'-0"

5



GENERAL NOTES:

1. Replace siding w/
western red cedar
clapboard siding.

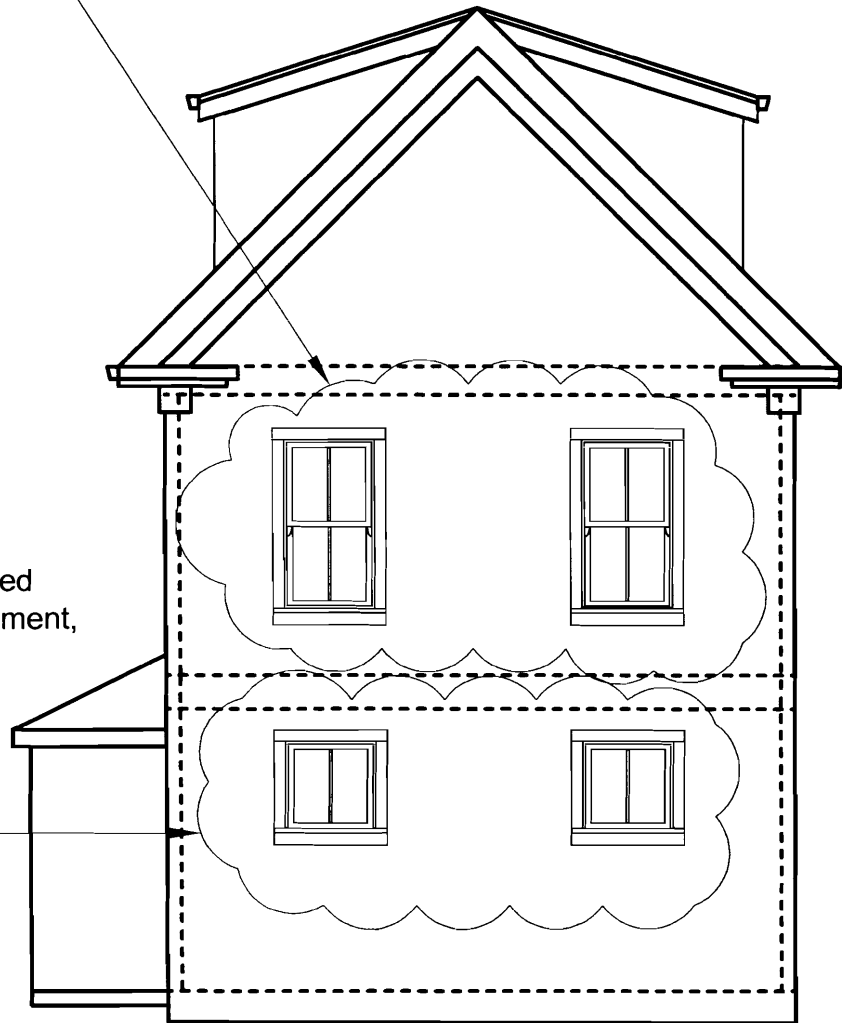
2. verify integrity of sill
plate and replace if nec.
w/ pressure treated
6x6 or equal due to
insect or water damage.

3. verify and replace
framing and sheathing
as nec. due to insect
or water damage.

ground floor windows to be replaced
w/ Marvin WCM 3232 (wood casement,
2 lite, dbl glazed clear.)

1 second floor windows to be replaced
w/ Marvin WUDH 2624 (wood dbl hung, 2 over 2 lite, dbl
glazed clear.)

1



EAST ELEVATION

SCALE: 3/16" = 1'-0"

6



GENERAL NOTES:

1. Replace siding w/ western red cedar clapboard siding.

2. verify integrity of sill plate and replace if nec. w/ pressure treated 6x6 or equal due to insect or water damage.

3. verify and replace framing and sheathing as nec. due to insect or water damage.

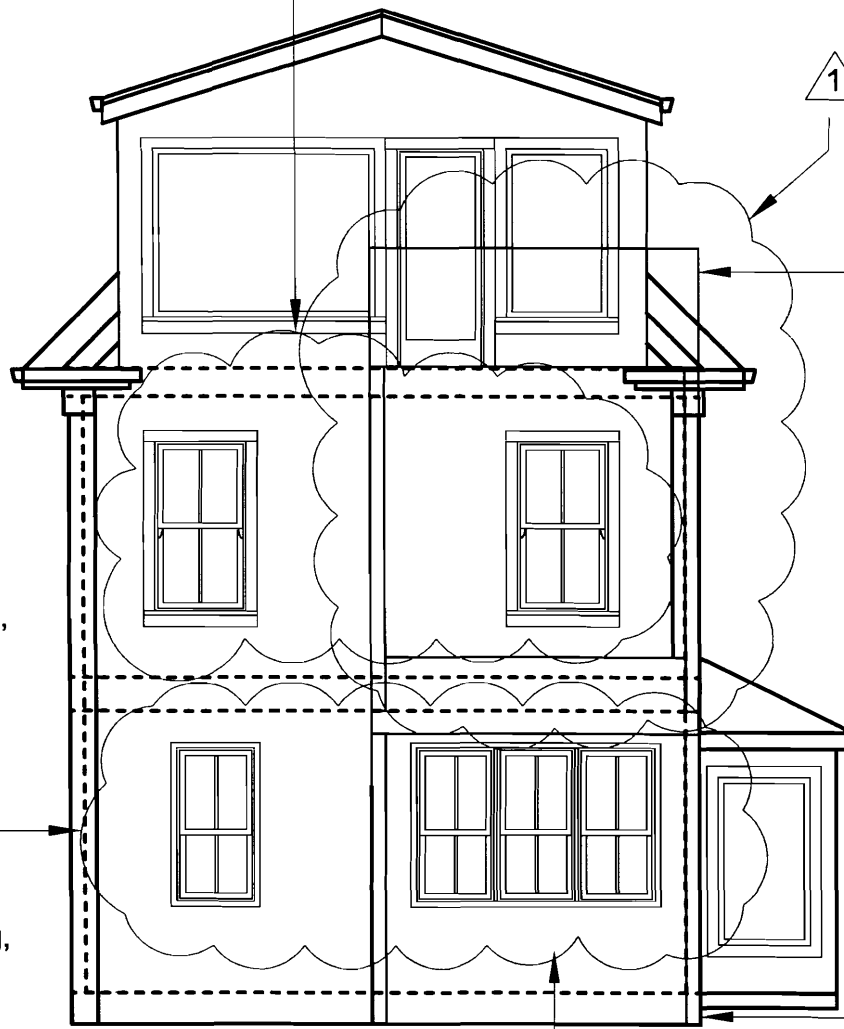
ground floor window to be replaced w/ Marvin WUDH 2418 (wood dbl hung, 2 lite, dbl glazed clear.)

ground floor windows to be replaced w/ Marvin WUDH 2418 (wood dbl hung, 2 lite, dbl glazed clear.)

1 second floor windows to be replaced w/ Marvin WUDH 2424 (wood dbl hung, 2 over 2 lite, dbl glazed clear.)

1 deck added railing 36" tall w/ max. 4" spacing between any opening

new framing and concrete fdn. under deck area to replace (e) sub-standard fdn. (see detail)

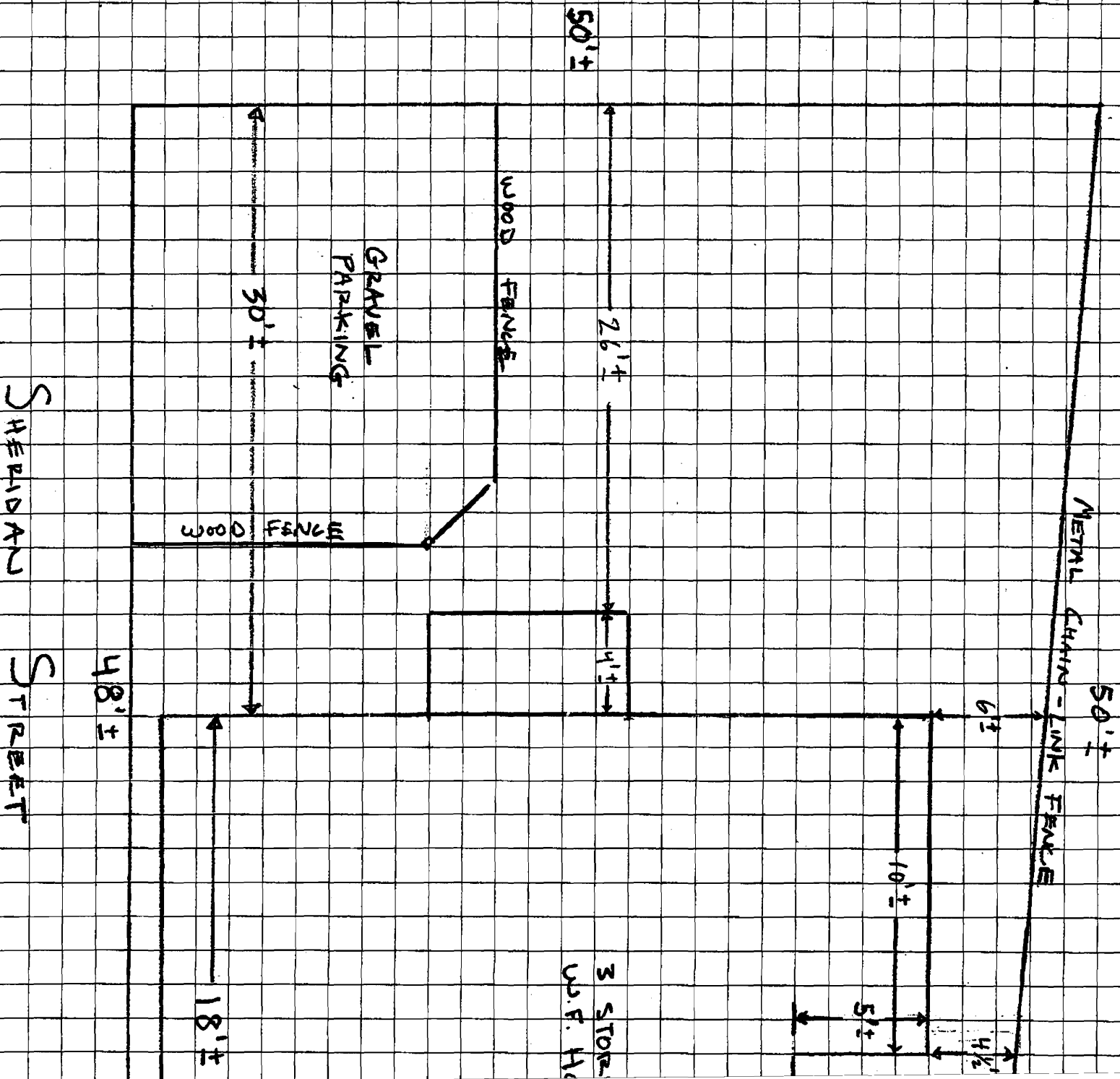


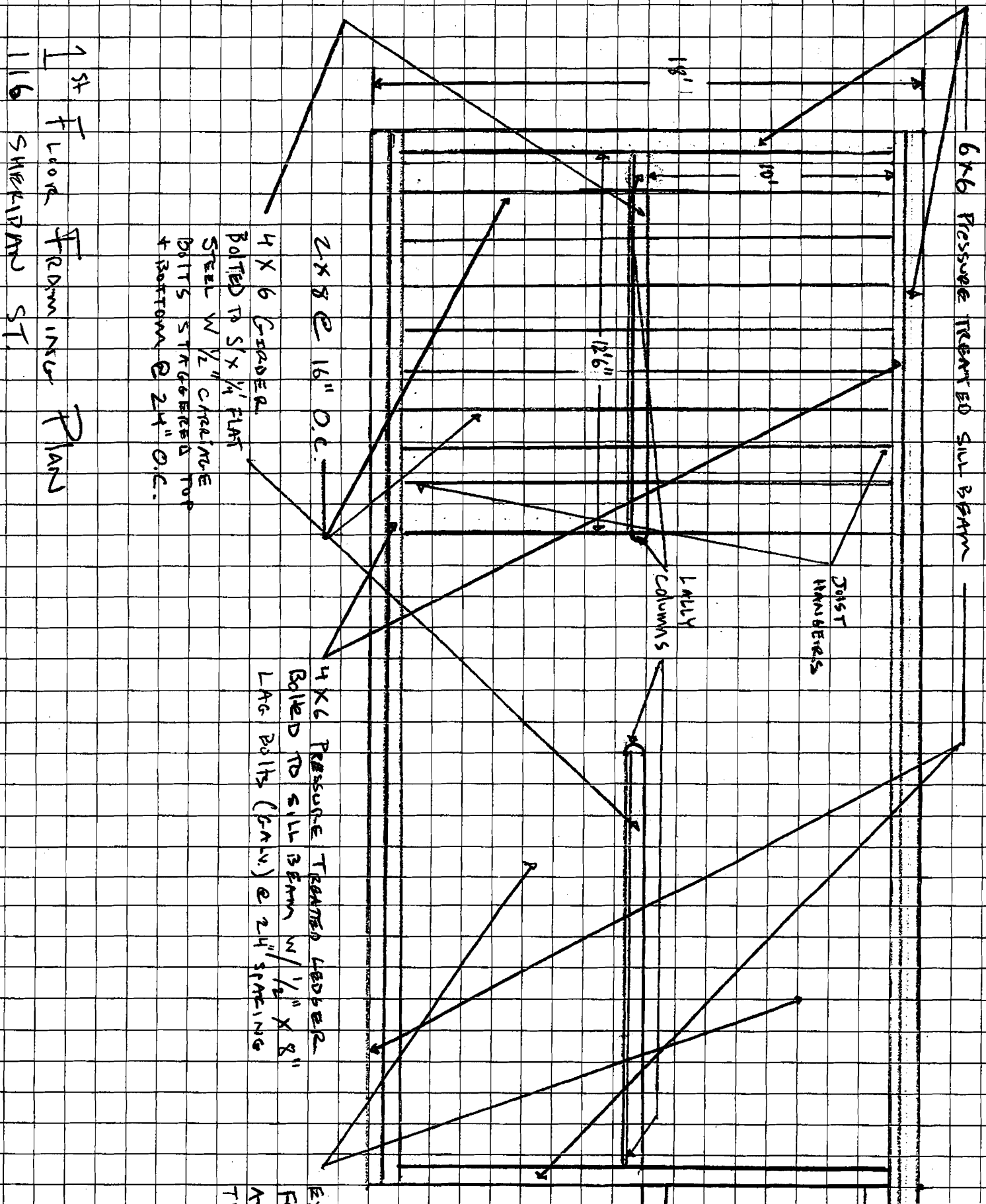
WEST ELEVATION

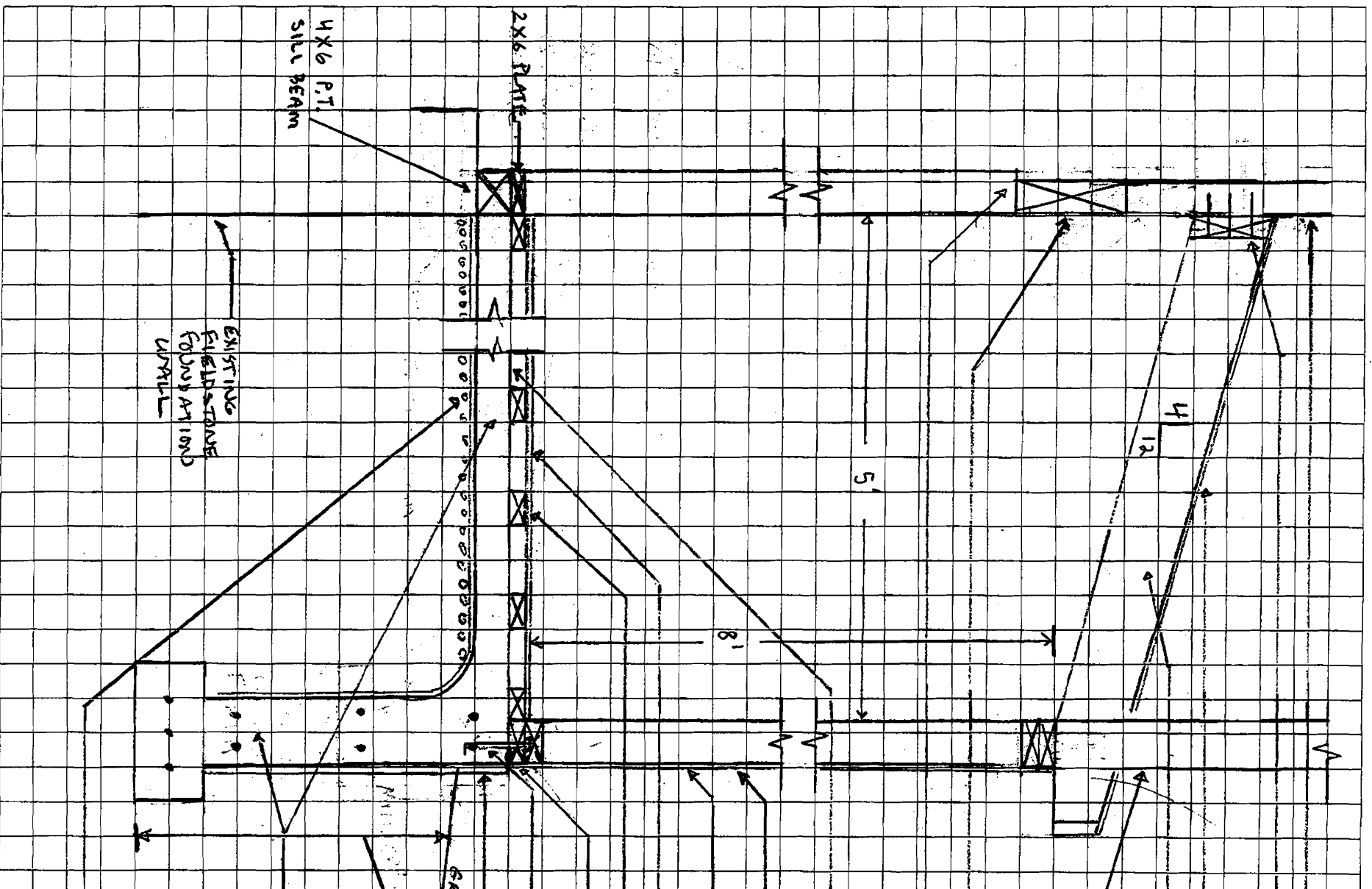
SCALE: 3/16" = 1'-0"



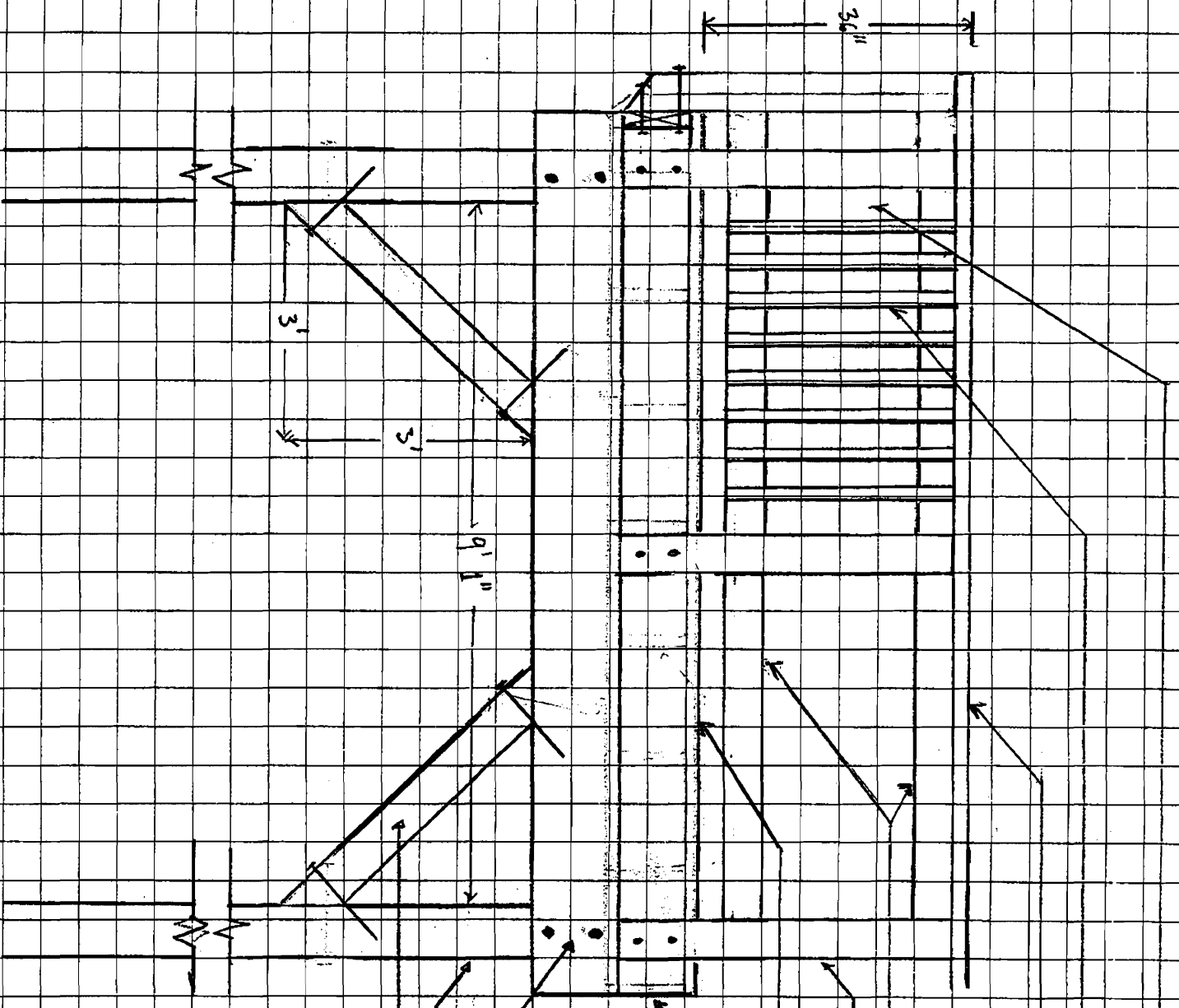
PLOT PLAN
116 SHERIDAN ST







- EXISTING 2X4 WALL
- 2X LEDGER FASTEN TO EACH STUD w/ 3-16
- 5/8" ADVANTECH SHEATHING
- 2X8 RAFTERS @ 16" O.C.
- 6X6 P.T. POST FASTEN TO TOP PLATES w/
- 3 1/2" X 11 7/8" LVL BEAM
- 2X6 WALL
- 1/2" RIGID INSULATION BETWEEN STUDS
- 1/2" ADVANTECH SHEATHING
- 2X6 STUD @ 16" O.C. w/ 6X6 @ CORNER
- 3/4" Plywood Superior
- 2X4 P.T. SLEEPERS @ 16" O.C.
- 2X4 P.T. SILL PLATE
- 1/2" X 8 Anchor Bolts @ 48" O.C. MIN.
- 1" RIGID INSULATION
- GRADE
- 48" MIN. BELOW GRADE (OR TO BEDROCK)
- REINFORCED MONOLITHIC 8" FOUNDATION
- w/ 2-#4 HORIZONTAL REBAR @ 3" ABOVE SO
- w/ in 12" BELOW TOP OF FOUNDATION WALL
- 10" DEEP X 20" WIDE CONCRETE FOOTING w/ 3
- 6 MIL. POLY OVER 3/4" CRUSHED ROCK / 5



4" MAX. SPRING @ ALL

2 X 2 BALUSTERS EXTEND TO INTERIOR

5/4 RAIL CAP

2 X 4 RAIL POSTS EXTEND TO INTERIOR

4 X 4 POST EXTENDS W/ 2

5/4 X 6 CEDAR DECKING

2 X 8 P.T. RIM JOIST F

W/ 3-# 10 X 5" WOODS

1 1/2 X 10 P.T. GIRDER

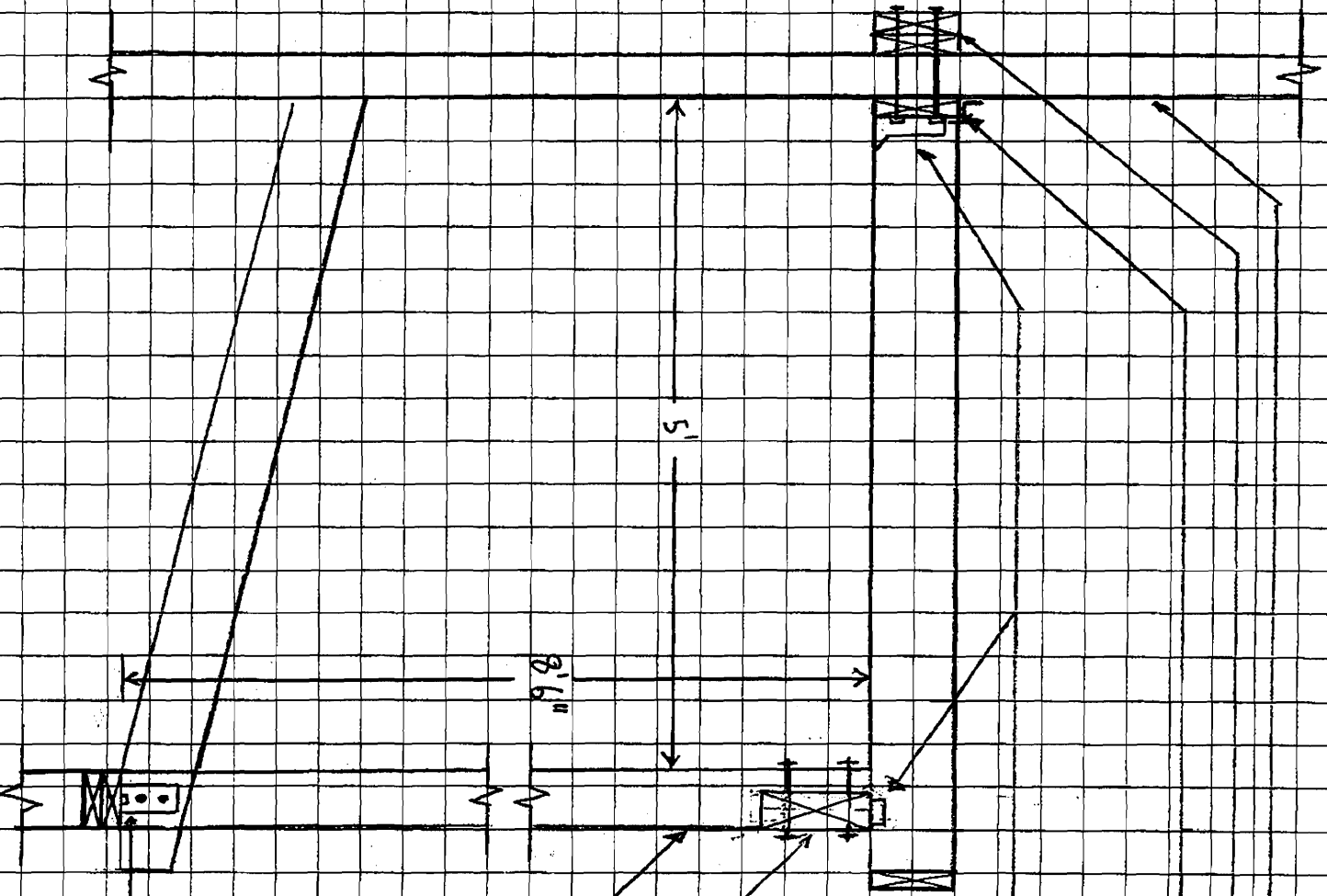
6 X 6 P.T. POST

4 X 4 KNEE BRACKETS

+ GIRDER W/ 1/2" X 9"

THIRD FLOOR DECK
FRAMING PLAN

116 SHELDON ST.



THIRD FLOOR DECK
FRAMING PLAN
116 SHERIDAN ST.

EXISTING 2x4 STUD WITH
2x8 FLOOR JOIST (DOUBLE)
2x8 P.T. LEDGER THIRD
CARRIAGE BOLTS @ 16" O
BENEATH SILING TO LVL
2x4 P.T. JOISTS ATTACH
AND TO GIRDER w/ S
(4x10) P.T. GIRDER FR
6x6 P.T. POST NORTH TO
EXISTING POST TO TOP PLATES