

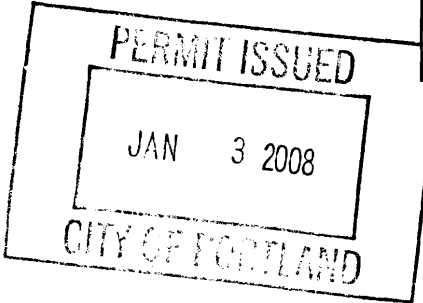
**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0008	Issue Date:	CBL: 013 J010001
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Location of Construction: 116 SHERIDAN ST	Owner Name: SMITH GORDON R	Owner Address: 116 SHERIDAN ST	Phone: 749-9300
Business Name:	Contractor Name: Gordon Smith	Contractor Address: 116 Sheridan Street Portland	Phone: 2077499300
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-6

Past Use: Single Family home.	Proposed Use: single family home, amendment to permit #070961 change dormer, add picture windows and door.	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: Continue dormer to end wall on house in place of gable rafters, add two picture windows and door.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>		INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>IRC 2003</i>
		Signature: _____		Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 12/28/2007	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>Using Section 14-436(b) w/this permit. 43% of the allowable sq ft has been used.</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ cond. for</i> Date: <i>1/2/08</i> <i>Apn</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>KBR</i> Date: _____
				

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

**PERMIT**

PERMIT ISSUED

Permit Number: 080068

JAN 3 2008

CITY OF PORTLAND

This is to certify that SMITH GORDON R /Gordon Smithhas permission to Continue dormer to end wall house in place of gable rafters and two picture windows and floor.AT 116 SHERIDAN ST

013 J010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in. FOUR HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building &amp; Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0008	<b>Date Applied For:</b> 12/28/2007	<b>CBL:</b> 013 J010001
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<b>Location of Construction:</b> 116 SHERIDAN ST	<b>Owner Name:</b> SMITH GORDON R	<b>Owner Address:</b> 116 SHERIDAN ST	<b>Phone:</b> ( ) 749-9300
<b>Business Name:</b>	<b>Contractor Name:</b> Gordon Smith	<b>Contractor Address:</b> 116 Sheridan Street Portland	<b>Phone</b> (207) 749-9300
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

<b>Proposed Use:</b> single family home, amendment to permit #070961 change dormer, add picture windows and door.	<b>Proposed Project Description:</b> Continue dormer to end wall on house in place of gable rafters, add two picture windows and door.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 01/02/2008

**Note:** Extending dormer on each side two feet to the back of the house. This will add 18 sf of living space. Permit #07-0961 added 228 sf. Permit #07-1378 added 18.56 sf. The total amount of floor space added with the three permits is 264.56 sf which is 47% of the allowable 80% increase. **Ok to Issue:** ✓

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 01/03/2008

**Note:** **Ok to Issue:** ✓

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) As discussed, a code compliant guardrail will be installed on the exterior side of the 3rd floor exterior door until the deck is completed.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>116 SHERIDAN STREET</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>5</u> Lot# <u>10</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>GORDON SMITH</u> Address <u>116 SHERIDAN ST</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>(207) 749-9300</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>0</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>CONTINUE DORMER TO END WALL OF HOUSE IN PLACE OF GABLE RAFTERS; TWO PICTURE WINDOWS + LIDER IN END WALL</u>		
Contractor's name: <u>SAME AS APPLICANT</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

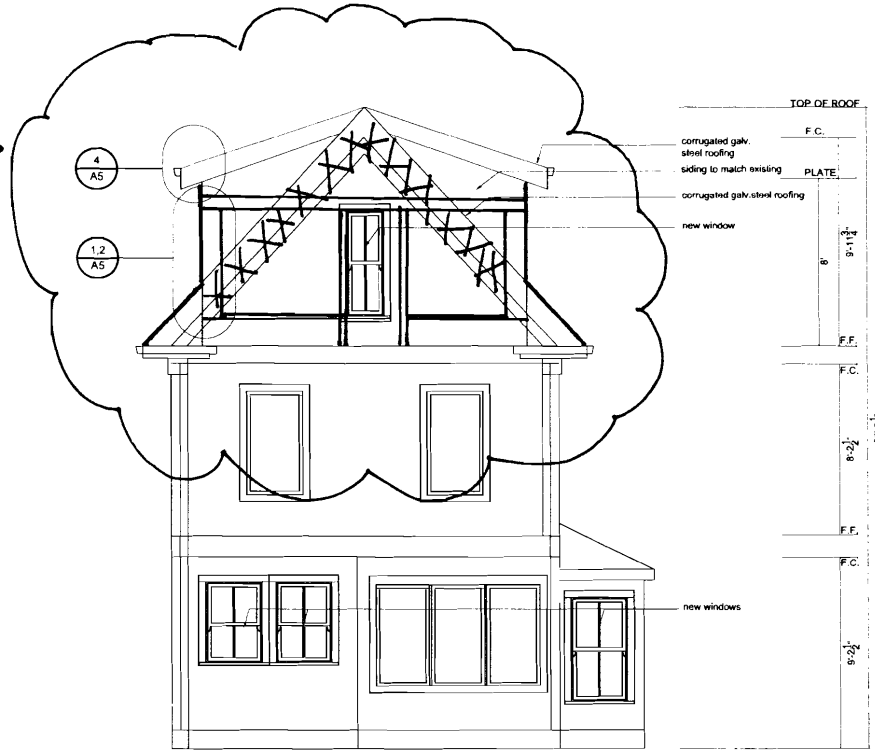
Signature: [Handwritten Signature]

Date: 12/28/07

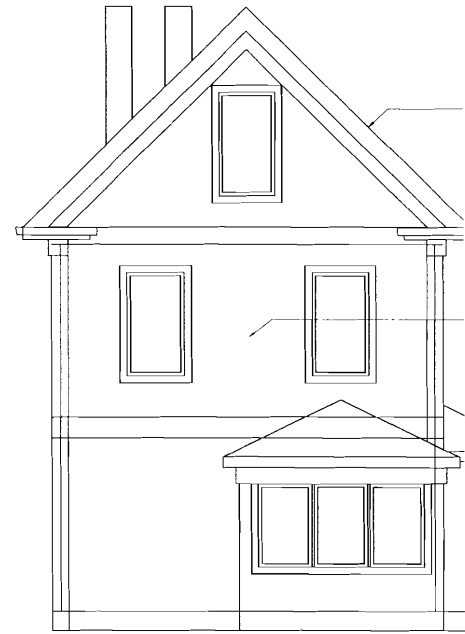
**This is not a permit; you may not commence ANY work until the permit is issue**

207

SEE ATTACHED DRAWING →

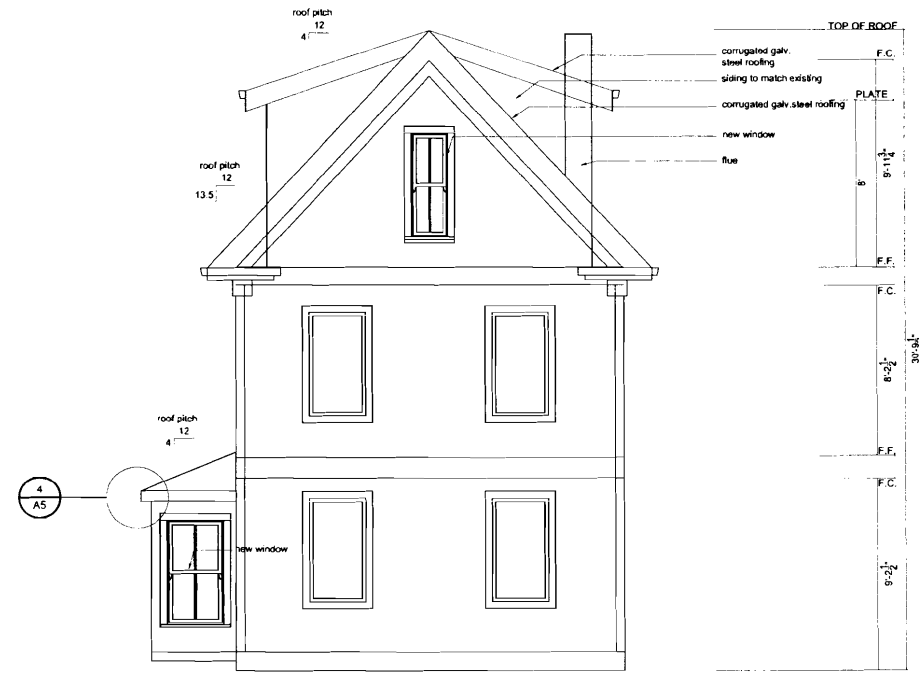


**2** PROPOSED WEST ELEVATION  
scale: 1/4"=1'-0"



**2** EXISTING WEST ELEVATION  
scale: 1/4"=1'-0"

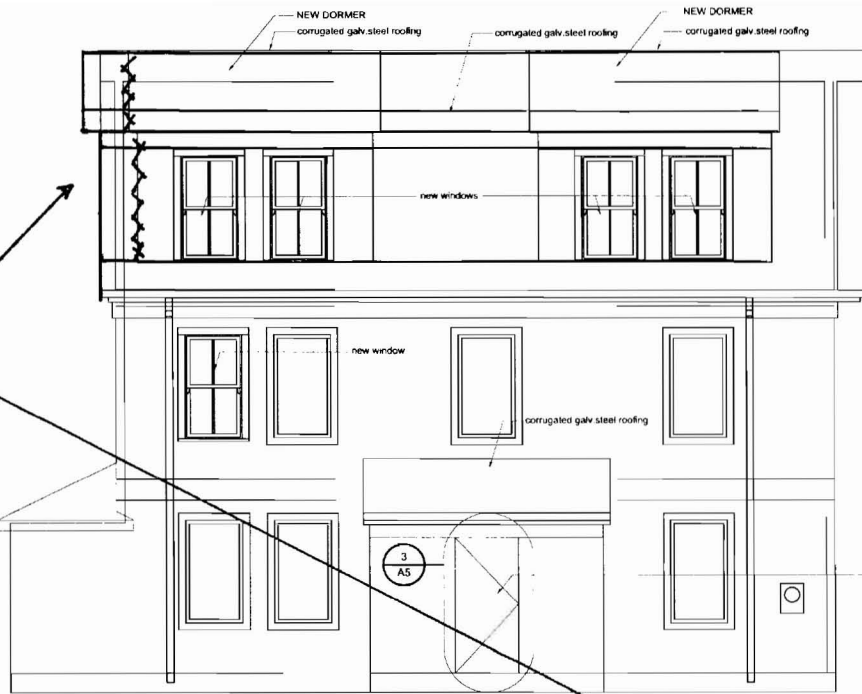
DEC 28



**1** PROPOSED EAST ELEVATION  
scale: 1/4"=1'-0"

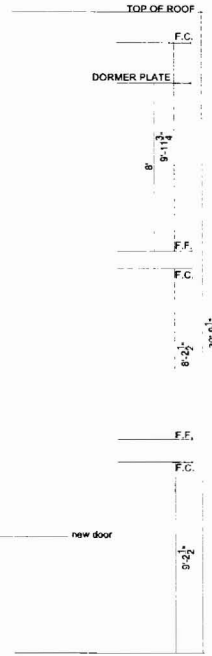


**1** EXISTING EAST ELEVATION  
scale: 1/4"=1'-0"

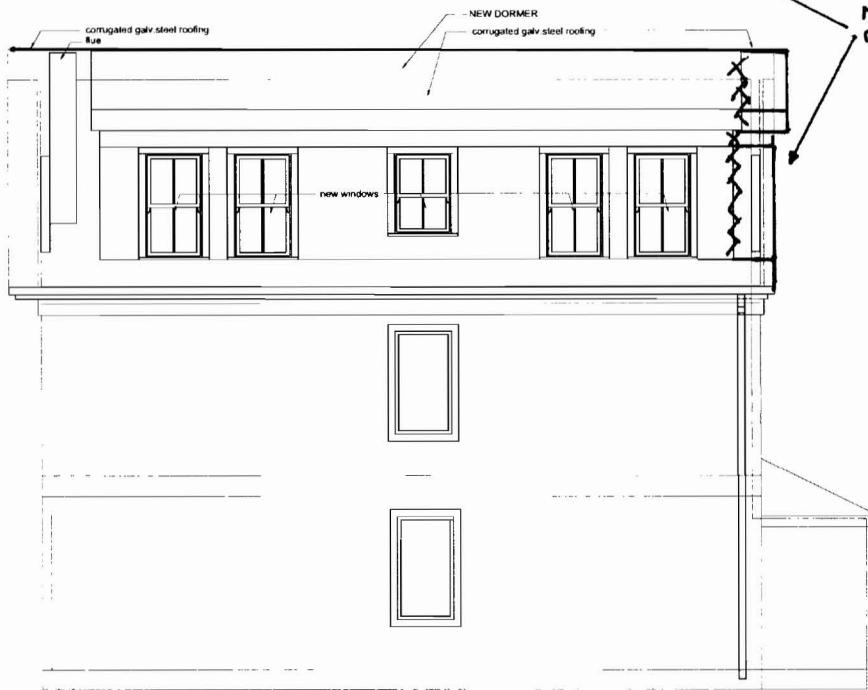


*extending span 2'*

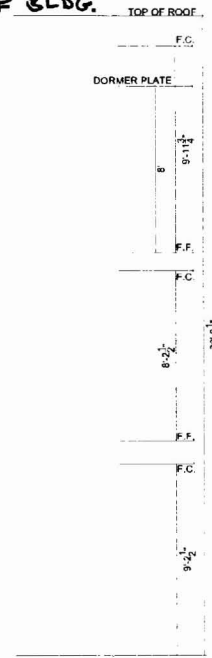
**2** PROPOSED SOUTH ELEVATION  
scale: 1/4"=1'-0"



**2** EXISTING SOUTH ELEVATION  
scale: 1/4"=1'-0"

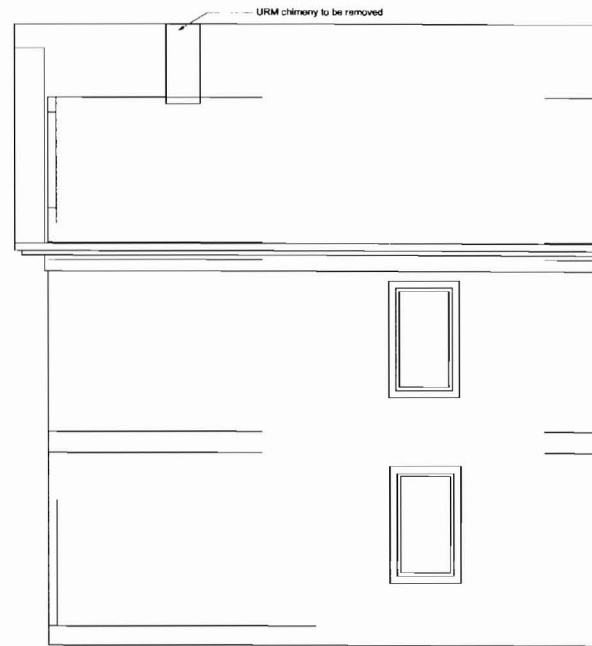


**NEW DORMER FLUSH W/ GABLE  
END OF BLDG.**



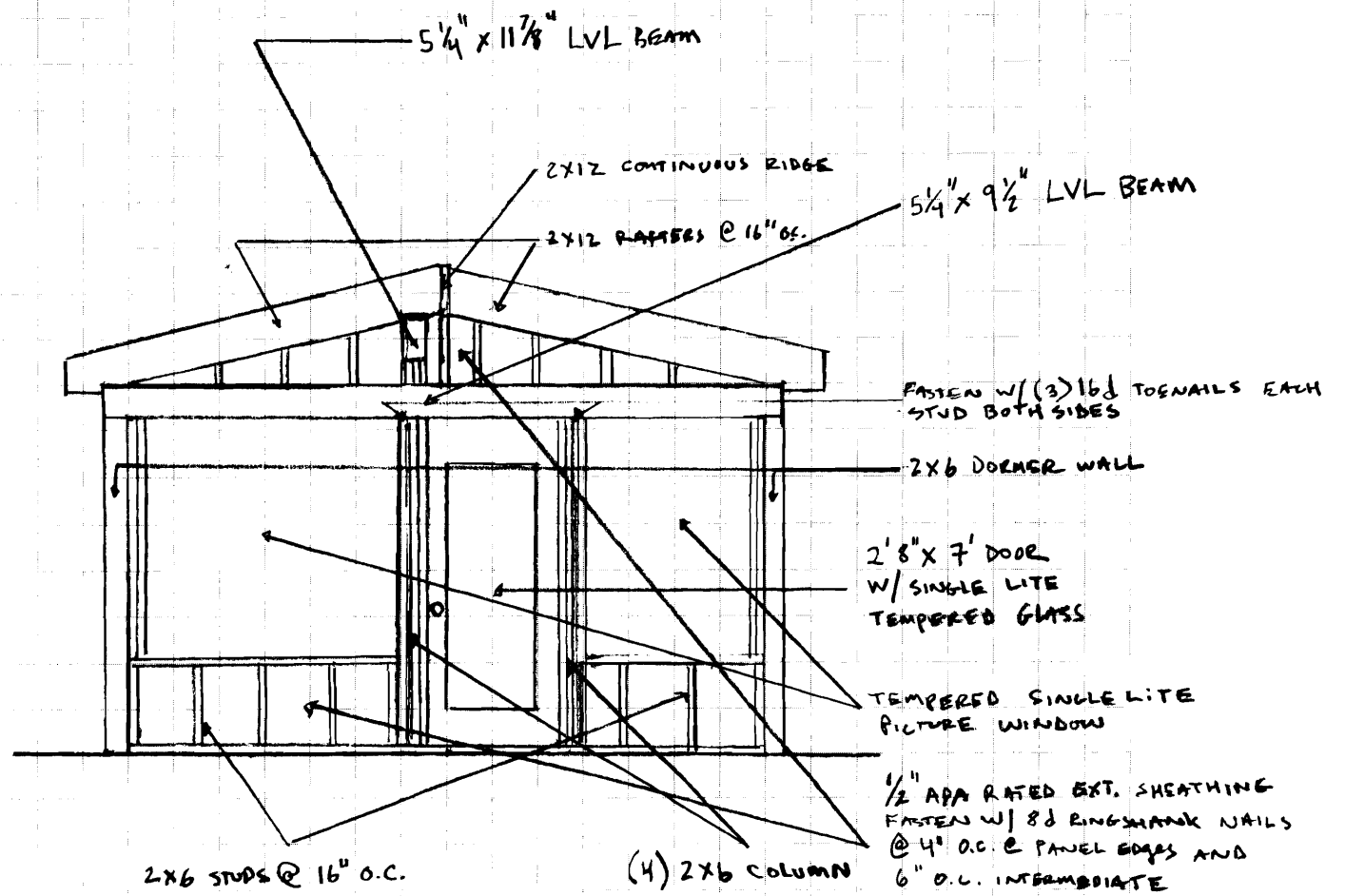
**1** PROPOSED NORTH ELEVATION  
scale: 1/4"=1'-0"

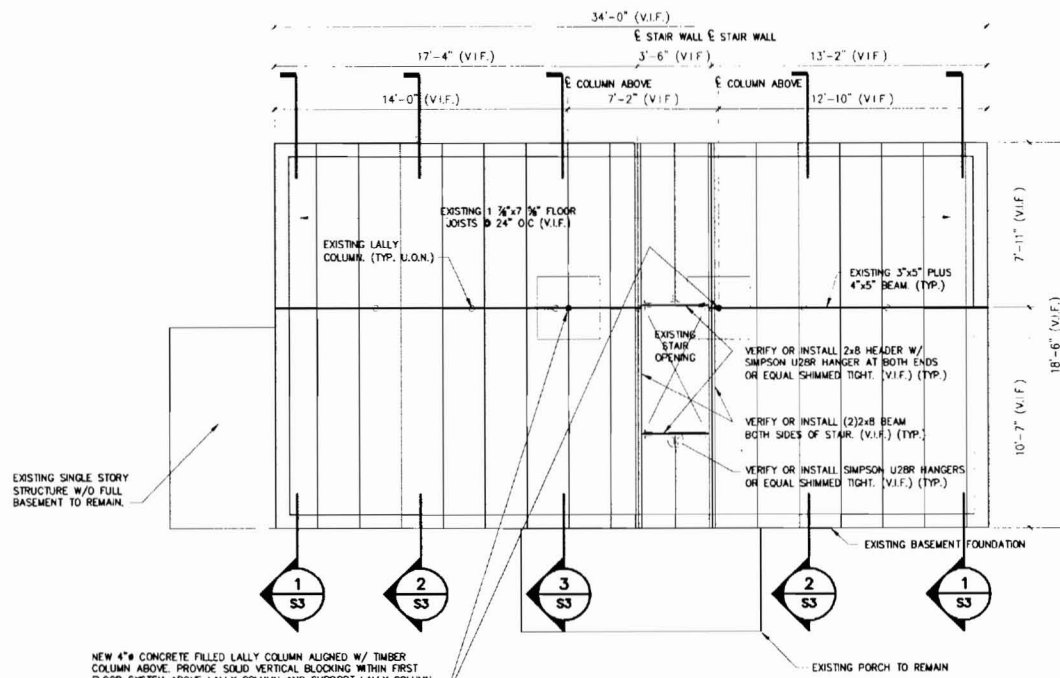
~~2 x 18.5 = 37 #~~  
2 (2 x 4.5) = 18 #



**1** EXISTING NORTH ELEVATION  
scale: 1/4"=1'-0"

AMENDMENT TO DORMER ADDITION





EXISTING SINGLE STORY STRUCTURE W/O FULL BASEMENT TO REMAIN.

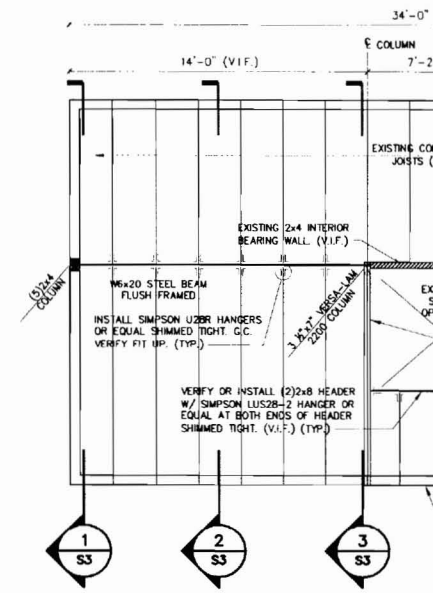
NEW 4" CONCRETE FILLED LALLY COLUMN ALIGNED W/ TIMBER COLUMN ABOVE. PROVIDE SOLID VERTICAL BLOCKING WITHIN FIRST FLOOR SYSTEM ABOVE LALLY COLUMN AND SUPPORT LALLY COLUMN ON NEW 3'-0" SQ. x 12" THICK CONCRETE FOOTING W/ 5-#4 EACH WAY 3" CLEAR FROM BOTTOM OF FOOTING. (TYP. TWO PLACES.)

### FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"

#### NOTES:

1. SEE GENERAL NOTES ON DRAWING S1
2. G.C. SHALL VERIFY THAT THE EXISTING FLOOR JOISTS ARE CONTINUOUS ACROSS THE ENTIRE BUILDING OR REPORT TO ENGINEER FOR EVALUATION.
3. PROVIDE SOLID VERTICAL BLOCKING WITHIN FLOOR SYSTEM BETWEEN UPPER AND LOWER COLUMNS. (TYP.)
4. G.C. VERIFY IN THE FIELD THAT COLUMNS IN EXTERIOR WALL DO NOT INTERFERE W/ EXISTING WINDOW/DOOR OPENINGS.

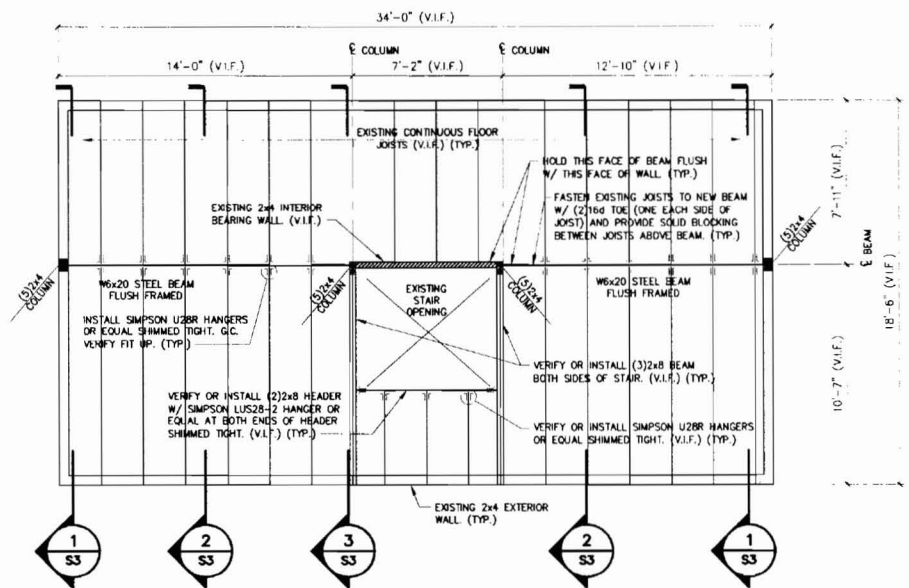


### SECOND FLOOR

1/4" = 1'-0"

#### NOTES:

1. SEE GENERAL NOTES ON
2. G.C. SHALL VERIFY THAT ACROSS THE ENTIRE BUL
3. PROVIDE SOLID VERTICAL AND LOWER COLUMNS. (T
4. G.C. VERIFY IN THE FIELD INTERFERE W/ EXISTING I

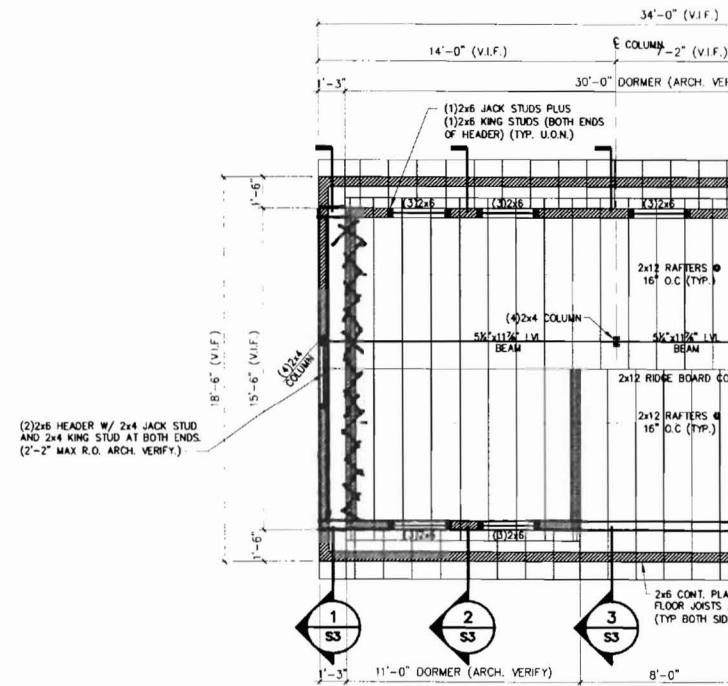


### THIRD FLOOR FRAMING PLAN

1/4" = 1'-0"

#### NOTES:

1. SEE GENERAL NOTES ON DRAWING S1
2. G.C. SHALL VERIFY THAT THE EXISTING FLOOR JOISTS ARE CONTINUOUS ACROSS THE ENTIRE BUILDING OR REPORT TO ENGINEER FOR EVALUATION.
3. PROVIDE SOLID VERTICAL BLOCKING WITHIN FLOOR SYSTEM BETWEEN UPPER AND LOWER COLUMNS. (TYP.)
4. G.C. VERIFY IN THE FIELD THAT COLUMNS IN EXTERIOR WALL DO NOT INTERFERE W/ EXISTING WINDOW/DOOR OPENINGS.



### ROOF FRAMING I

1/4" = 1'-0"