

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 071378

This is to certify that SMITH GORDON R / Home owner  
has permission to Amendment Permit# 07096 change size of dormer on south side of bldg in lieu of 2 separate shed dor  
AT 116 SHERIDAN ST PL 013 J010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit on project before this building or part thereof is laid or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.


**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

\_\_\_\_\_ Footing/Building Location Inspection: Prior to pouring concrete  
\_\_\_\_\_ Re-Bar Schedule Inspection: Prior to pouring concrete  
\_\_\_\_\_ Foundation Inspection: Prior to placing ANY backfill  
\_\_\_\_\_ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling  
\_\_\_\_\_ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

\_\_\_\_\_ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

\_\_\_\_\_ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

CBL: 013 J010

Building Permit #: 071378



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>116 SHERIDAN ST. PORTLAND 04101</u>		
Total Square Footage of Proposed Structure/Area <u>527</u>	Square Footage of Lot <u>1862</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>5</u> Lot# <u>10</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>GORDON SMITH</u> Address <u>116 SHERIDAN ST.</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>207-749-9300</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SINGLE FAMILY / BEDROOM + LIVING SPACE</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>AMENDMENT OF PLANS REFLECTING SINGLE CONTINUOUS DORMER ON SOUTH SIDE OF BLDG IN LIEU OF TWO SEPARATE SHED DORMERS.</u>		
Contractor's name: <u>SAME AS OWNER / APPLICANT</u> Address: _____ City, State & Zip: _____ Telephone: _____ Who should we contact when the permit is ready: <u>APPLICANT</u> Telephone: _____ Mailing address: _____		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature]

Date: 11/7/07

**This is not a permit; you may not commence ANY work until the permit is issued.**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-1378	<b>Date Applied For:</b> 11/07/2007	<b>CBL:</b> 013 J010001
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<b>Location of Construction:</b> 116 SHERIDAN ST	<b>Owner Name:</b> SMITH GORDON R	<b>Owner Address:</b> 116 SHERIDAN ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Home Owner	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

<b>Proposed Use:</b> Single Family Home - Amendment Permit# 070961 - Change to single continuous dormer on south side of bldg in lieu of 2 separate shed dormers	<b>Proposed Project Description:</b> Amendment Permit# 070961- Change to single continuous dormer on south side of bldg in lieu of 2 separate shed dormers
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 11/13/2007

**Note:** Going from the two separate shed dormers to one continuous dormer adds 18.56 sf. With permit #07-0961, a total of 246.56 sf is being added, which is 43.1 % of the allowable 80% increase. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 11/13/2007

**Note:** **Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) As discussed, if any rooms in the space are bedrooms, there must be egress windows installed.
- 3) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1378	Issue Date:	CBL: 013 J010001
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Location of Construction: 116 SHERIDAN ST	Owner Name: SMITH GORDON R	Owner Address: 116 SHERIDAN ST	Phone:
Business Name:	Contractor Name: Home Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home - Amendment Permit# 070961 Change single continuous dormer on south side of bldg in lieu of 2 separate shed dormers	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1
Proposed Project Description: Amendment Permit# 070961 Change single continuous dormer on south side of bldg in lieu of 2 separate shed dormers		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>		INSPECTION: Use Group: <i>2 3</i> Type: <i>5B</i> <i>IRC 2003</i>
		Signature: _____		Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

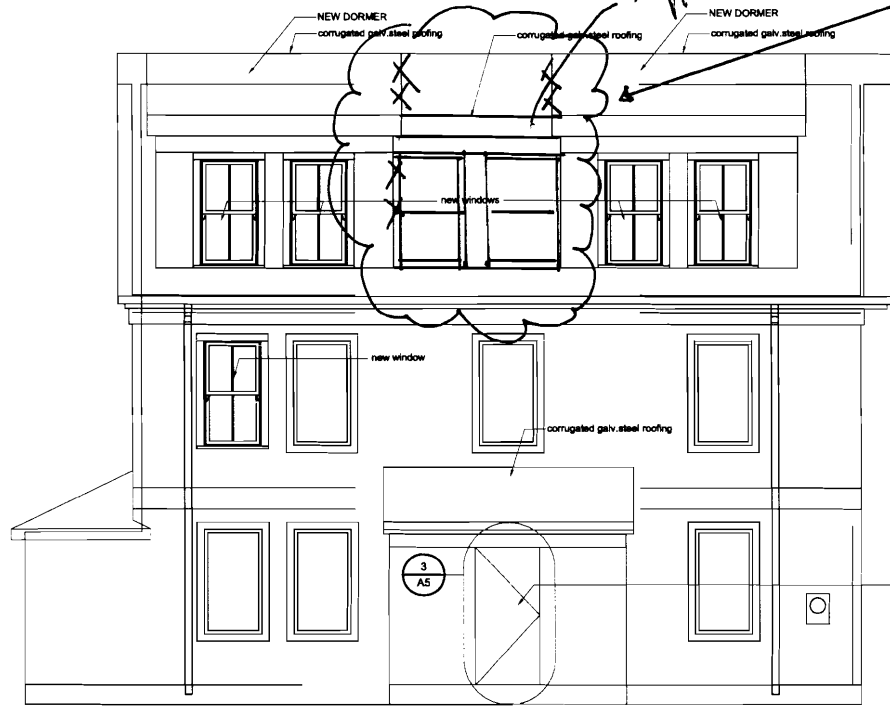
Permit Taken By: ldobson	Date Applied For: 11/07/2007	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>1/2 of section 14-436(b)</i> <input type="checkbox"/> Flood Zone <i>43 1/2 of</i> <input type="checkbox"/> Subdivision <i>has been reviewed</i> <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/ cond. And</i> Date: <i>11/13/07</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p><i>ARM</i> Date: _____</p>
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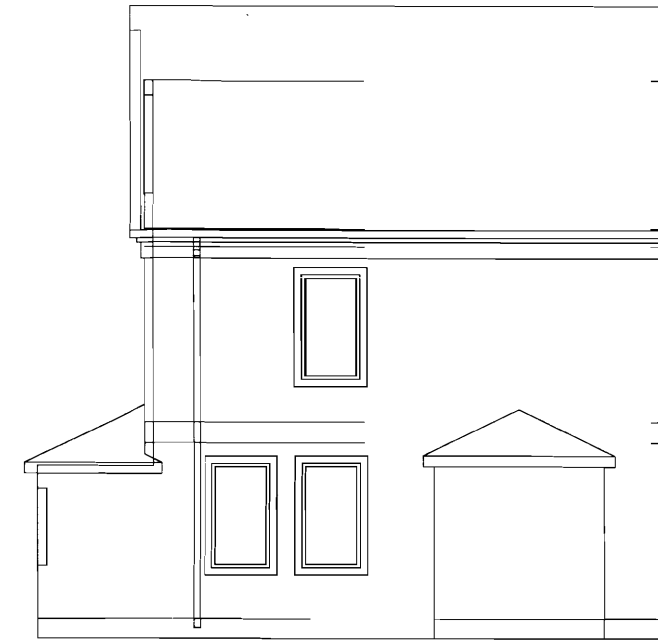
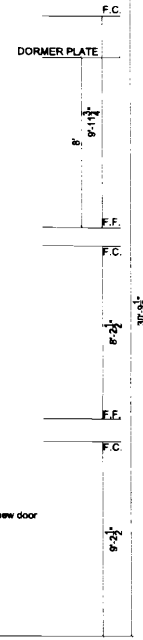
**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

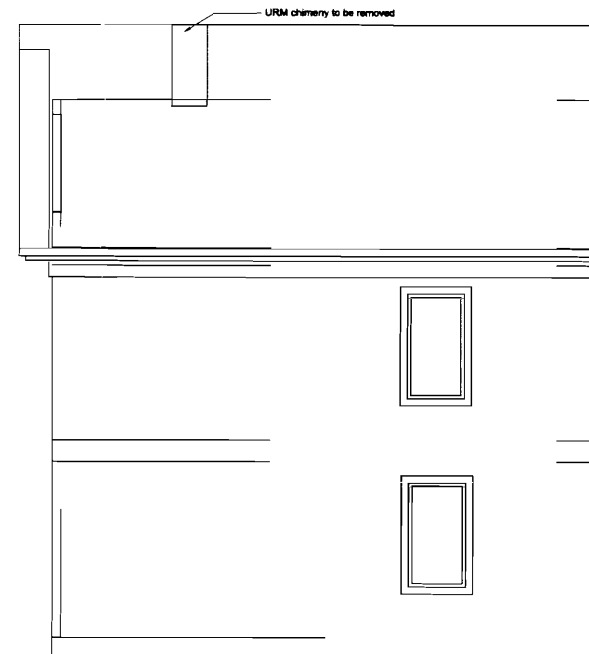
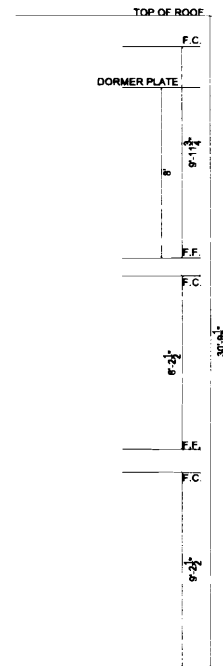


▲ SINGLE CONTINUOUS SHED DORMER  
INSTEAD OF TWO SHED DORMERS



2 PROPOSED SOUTH ELEVATION  
scale: 1/4"=1'-0"

2 EXISTING SOUTH ELEVATION  
scale: 1/4"=1'-0"

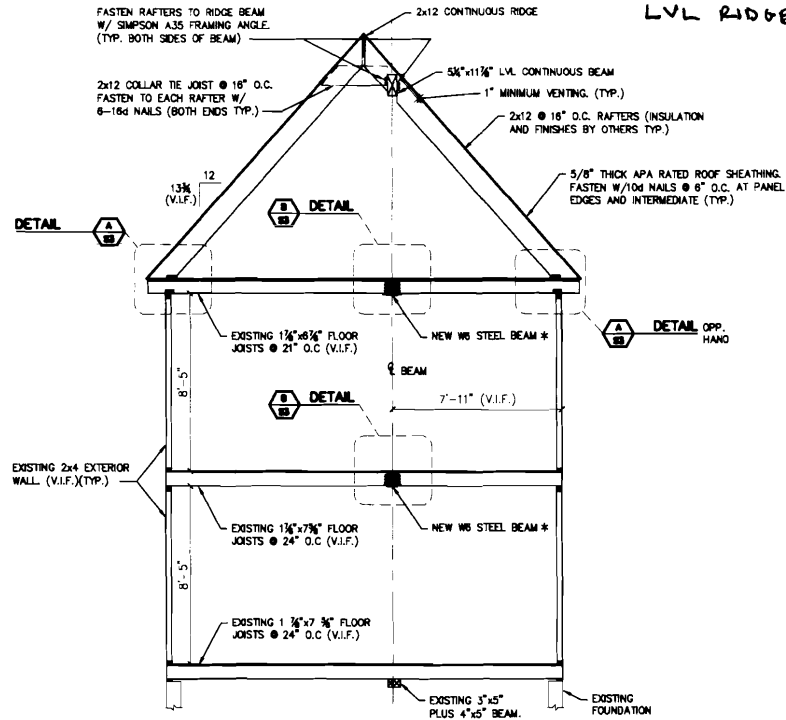


1 PROPOSED NORTH ELEVATION  
scale: 1/4"=1'-0"

1 EXISTING NORTH ELEVATION  
scale: 1/4"=1'-0"

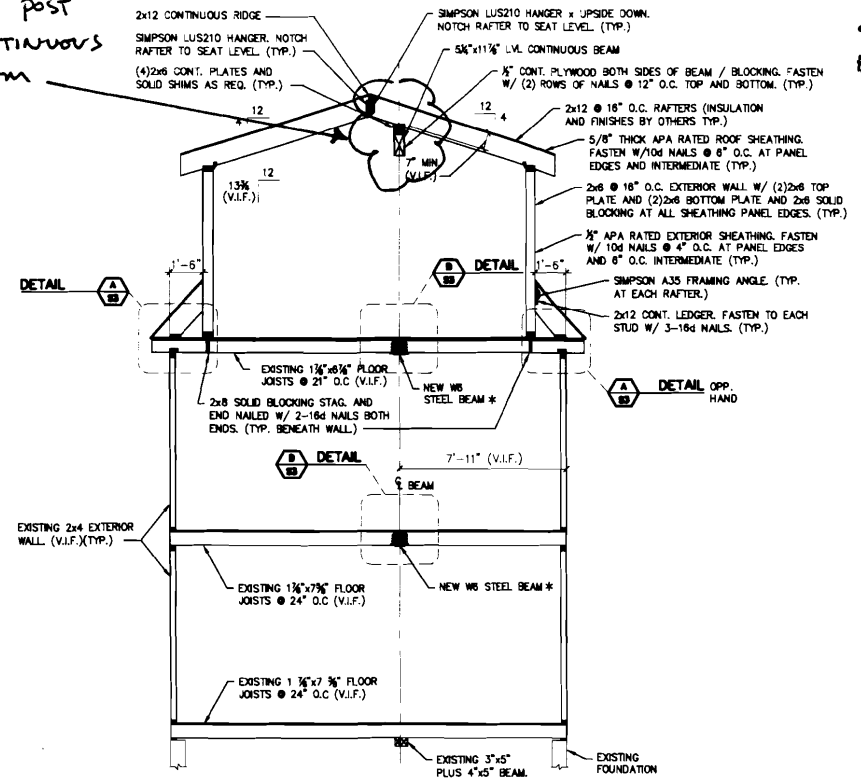
THIS FRAM  
w/ CONTINUOUS  
SHEO DOBMS  
BOTH SIDES  
Bldg.

NO CHANGE TO POST  
SUPPORT FOR CONTINUOUS  
LVL RIDGE BEAM



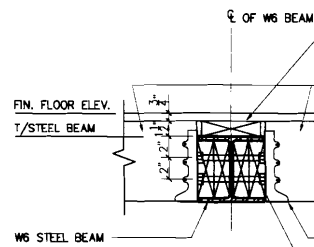
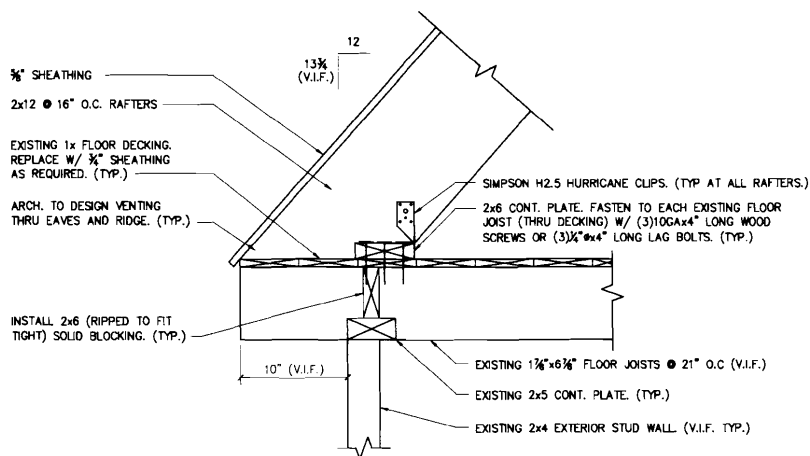
SECTION 1  
1/4" = 1'-0"

\* \* \* INDECATES: PROVIDE TEMPORARY SUPPORT/SHORING AS REQUIRED ON BOTH SIDES OF NEW W6 PRIOR TO CUTTING EXISTING FLOOR JOISTS AND INSTALLING NEW W6 STEEL BEAM.



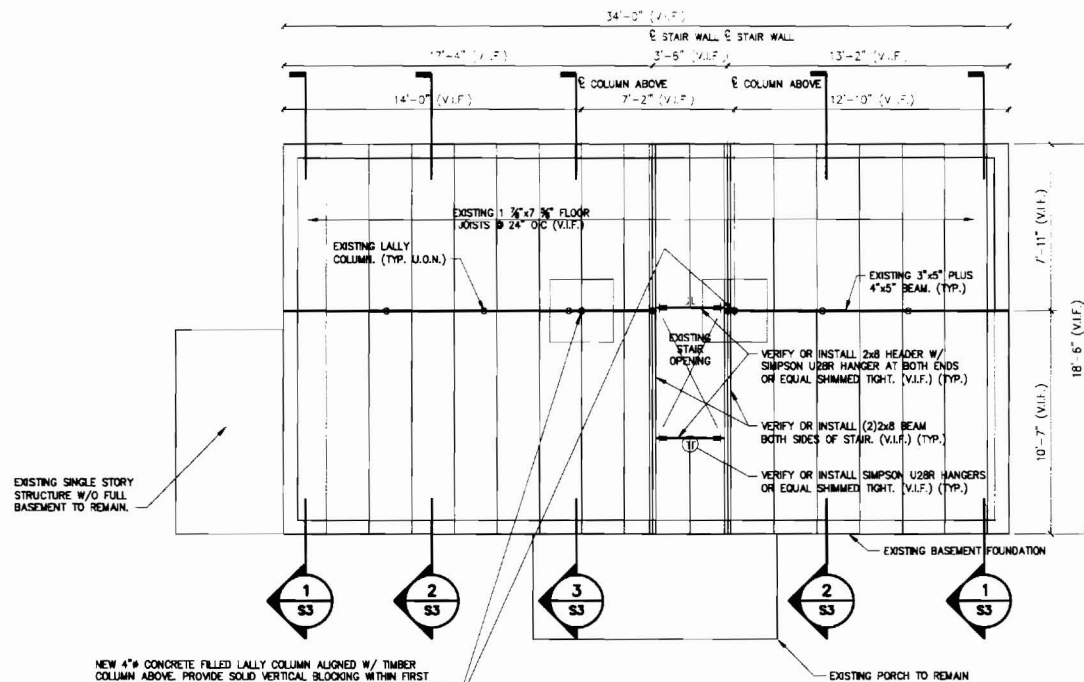
SECTION 2  
1/4" = 1'-0"

\* \* \* INDECATES: PROVIDE TEMPORARY SUPPORT/SHORING AS REQUIRED ON BOTH SIDES OF NEW W6 PRIOR TO CUTTING EXISTING FLOOR JOISTS AND INSTALLING NEW W6 STEEL BEAM.









EXISTING SINGLE STORY STRUCTURE W/O FULL BASEMENT TO REMAIN.

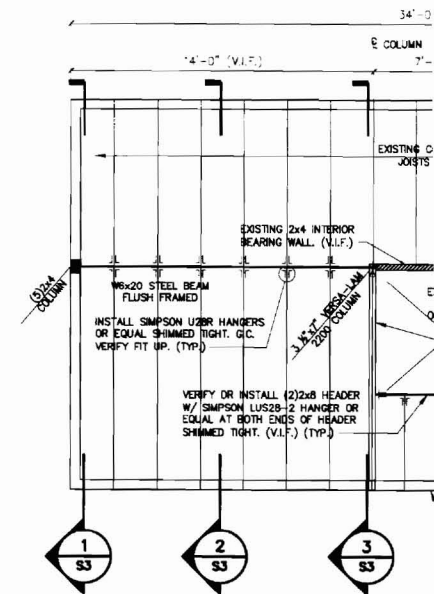
NEW 4" CONCRETE FILLED LALLY COLUMN ALIGNED W/ TIMBER COLUMN ABOVE. PROVIDE SOLID VERTICAL BLOCKING WITHIN FIRST FLOOR SYSTEM ABOVE LALLY COLUMN AND SUPPORT LALLY COLUMN ON NEW 3'-0" SQ. x 12" THICK CONCRETE FOOTING W/ 5-#4 EACH WAY 3" CLEAR FROM BOTTOM OF FOOTING. (TYP. TWO PLACES.)

### FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"

#### NOTES:

1. SEE GENERAL NOTES ON DRAWING S1
2. G.C. SHALL VERIFY THAT THE EXISTING FLOOR JOISTS ARE CONTINUOUS ACROSS THE ENTIRE BUILDING OR REPORT TO ENGINEER FOR EVALUATION.
3. PROVIDE SOLID VERTICAL BLOCKING WITHIN FLOOR SYSTEM BETWEEN UPPER AND LOWER COLUMNS. (TYP.)
4. G.C. VERIFY IN THE FIELD THAT COLUMNS IN EXTERIOR WALL DO NOT INTERFERE W/ EXISTING WINDOW/DOOR OPENINGS.

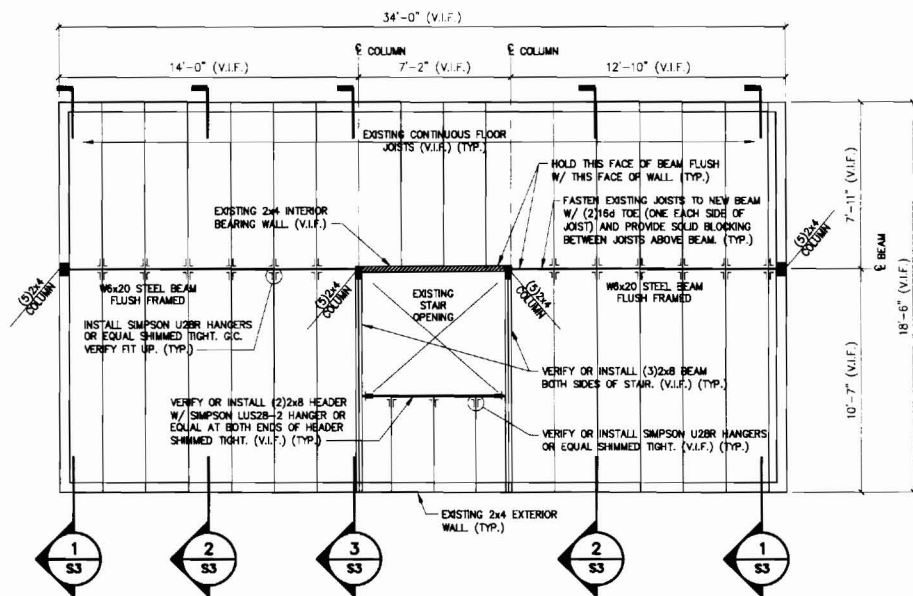


### SECOND FLOOR

1/4" = 1'-0"

#### NOTES:

1. SEE GENERAL NOTES ON
2. G.C. SHALL VERIFY THAT ACROSS THE ENTIRE BUI
3. PROVIDE SOLID VERTICAL AND LOWER COLUMNS. (
4. G.C. VERIFY IN THE FIELD INTERFERE W/ EXISTING

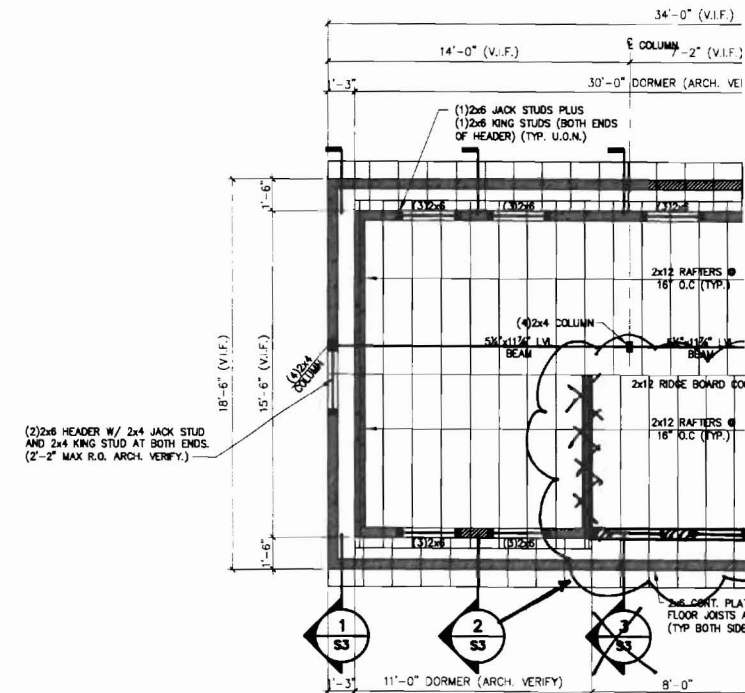


### THIRD FLOOR FRAMING PLAN

1/4" = 1'-0"

#### NOTES:

1. SEE GENERAL NOTES ON DRAWING S1
2. G.C. SHALL VERIFY THAT THE EXISTING FLOOR JOISTS ARE CONTINUOUS ACROSS THE ENTIRE BUILDING OR REPORT TO ENGINEER FOR EVALUATION.
3. PROVIDE SOLID VERTICAL BLOCKING WITHIN FLOOR SYSTEM BETWEEN UPPER AND LOWER COLUMNS. (TYP.)
4. G.C. VERIFY IN THE FIELD THAT COLUMNS IN EXTERIOR WALL DO NOT INTERFERE W/ EXISTING WINDOW/DOOR OPENINGS.



### ROOF FRAMING PLAN

1/4" = 1'-0"