

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 070961

PERMIT ISSUED

AUG 28 2007

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that SMITH GORDON R /Home owner

has permission to add bath, Dormers & insulation to 3rd floor

AT 116 SHERIDAN ST

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas Walker 8/28/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0961	Issue Date:	CBL: 013 J010001
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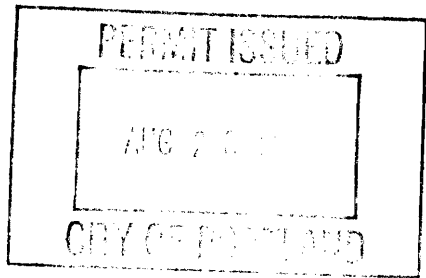
Location of Construction: 116 SHERIDAN ST	Owner Name: SMITH GORDON R	Owner Address: 116 SHERIDAN ST	Phone:
Business Name:	Contractor Name: Home Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home - add bath, Dormers & insulation to 3rd floor	Permit Fee: \$320.00	Cost of Work: \$30,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: add bath, Dormers & insulation to 3rd floor	Signature:	Signature: <i>2r 8/28/07</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 08/09/2007	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>US inspection 14-436(b)</i> <input type="checkbox"/> Flood Zone <i>US inspection 45% of allowable 80% increase</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/22/07 ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:

CERTIFICATION

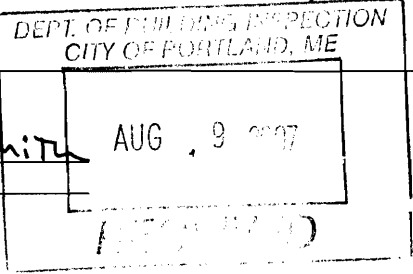
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>116 SHERIDAN ST. PORTLAND ME 04101</u>		
Total Square Footage of Proposed Structure <u>1,905</u>	Square Footage of Lot 1,824 <u>1,862</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>13 J 10</u>	Owner: <u>GORDON R. SMITH</u>	Telephone: <u>207-749-9300</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>GORDON R. SMITH 116 SHERIDAN ST. PORTLAND, ME 04101 (207) 749-9300</u>	Cost Of Work: <u>\$30,000</u> Fee: <u>\$320⁰⁰</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Residential Remodel: Reframe roof to add dormers + insulation; new Bathroom on 3rd floor</u>		
Contractor's name, address & telephone: <u>SAME AS APPLICANT</u>		
Who should we contact when the permit is ready: <u>GORDON R. SMITH</u>		
Mailing address: <u>SAME AS APPLICANT</u> Phone: _____		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8.7.07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0961	Date Applied For: 08/09/2007	CBL: 013 J010001
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Business Name:	Contractor Name: Home Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - add bath, Dormers & insulation to 3rd floor	Proposed Project Description: add bath, Dormers & insulation to 3rd floor
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/22/2007**Note:** Using section 14-436(b). First floor footprint is 715 sf. 80% is 572 sf. Existing space in third floor is 329 sf. Total proposed space on third floor is 557sf. Total increase of floor area is 228 sf or 40 % of allowable increase. **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 08/28/2007**Note:** **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

MORTGAGE LOAN INSPECTION

Cumberland Title Company

P.O. Box 4843

Portland, ME 04112

1-207-774-1773

1-207-774-2278 (fax)

CL No.: 012405

Job No.: CTC16-79.

Date: 4/28/98

County: Cumberland

Plan Bk. Pg.

Lot(S):

Scale: 1" = 10'

Borrower(S): Frances A. Brown

St. No.: 00116

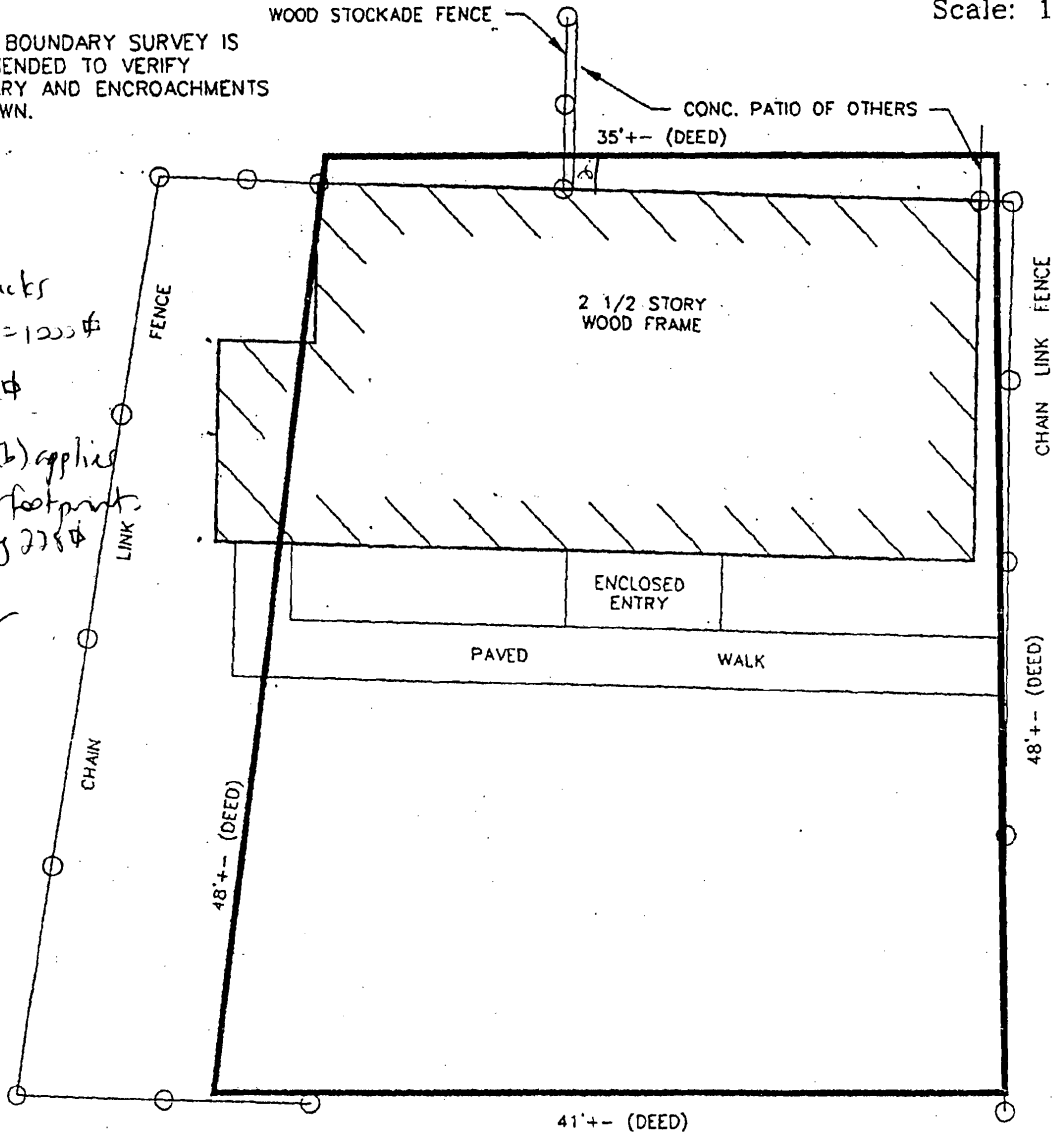
Street: Sheridan St.

Town: Portland, ME

Source Deed Bk. 09003 Pg. 00203

NOTE: A FULL BOUNDARY SURVEY IS RECOMMENDED TO VERIFY BOUNDARY AND ENCROACHMENTS AS SHOWN.

R6
not meet setbacks
land area per deed = 1223 sq ft
land area = 1862 sq ft
section 14-436(b) applies
80% of lot floor footprint
572 sq ft adding 278 sq ft
height max = 45'
40%
scaled. 215



SHERIDAN STREET
(PAVED)

NOTE: THIS IS NOT A BOUNDARY SURVEY. This plan is made for the purposes of determining that the improvements are within the apparent boundary lines. THE PREPARER IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.

CERTIFICATION: I hereby certify to Peoples Heritage Savings Bank, and its mortgage title insurer that based upon inspection made with reasonable certainty, that:

this plan was made from an inspection of the site.

there ARE NO apparent violations of municipal ordinances regarding building setbacks effect at time of construction.

the principal structure(s) located on the premises ARE NOT in a flood hazard zone as lineated on the flood maps used by the Federal Emergency Management Agency.

BUILDING PERMIT INSPECTION PROCEDURES

Please call **874-8703** or **874-8693** (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL: 13J10

Building Permit #:

070961

08/29/07