

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that A & M PARTNERS LLC

Located At 122 (128) SHERIDAN ST

Job ID: 2011-02-388-SF

CBL: 013 - - J - 007 - 001 - - - -

has permission to build a New 83' x 28' Single Family w/16' x 32' deck provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

04/08/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR**



Certificate of Occupancy

CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division



Location: 122 SHERIDAN ST

CBL: 013 J007001

Issued To: A & M Partners Llc

Issued Date: 12/07/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 20111119 has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

SINGLE FAMILY
USE GROUP - R-3
TYPE - 5-B
IRC 2009

LIMITING CONDITIONS: NONE

Approved:

12-7-12

Inspector

Inspection Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

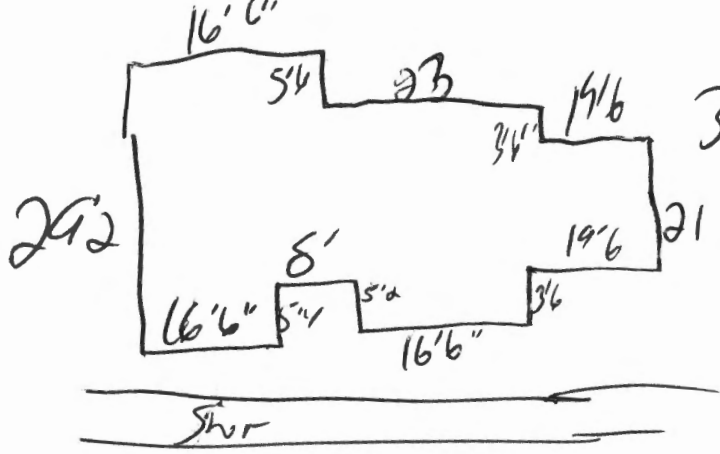
Job No: 2011-02-388-SF	Date Applied: 01/27/2011	CBL: 013 - - J - 007 - 001 - - - - -	
Location of Construction: 122 SHERIDAN (128)	Owner Name: A & M PARTNERS LLC	Owner Address: 120 EXCHANGE ST PORTLAND, ME - MAINE 04101	Phone: 838-8322
Business Name:	Contractor Name: Diane Doyle	Contractor Address: 16 Tiffany Lane, Saco ME 04072	Phone: 229-3530
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Vacant Land	Proposed Use: New Single Family - 2 stories - w/2 car attached garage	Cost of Work: 225000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type:
		Signature: <i>[Signature]</i>	Signature:
Proposed Project Description: 128 Sheridan St. / New Single Family		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetlands <i>N/A</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Level I Minor Residential</i> <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/ conditions</i> <i>3/10/11</i> <i>ASB</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASB</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



3- #4 And 5 in foot

#4 Vertical 2' o.c.

3500PSI Dayton
3/4 steel

Surveys Planned features will require a letter
 Go on to plan
 3" of Rigid Synchronization on surface of Frost walls of Kay, MD

11-26-12 GF / BKL - PASS

WAIT FOR DR
 FD SIGN OFF

CLOSED
 C of O
[Signature]



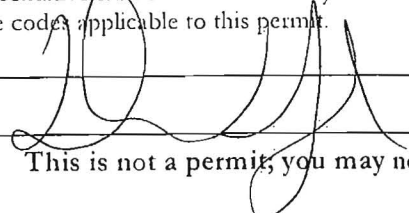
General Building Permit Application

Location/Address of Construction: <u>128 SHERIDAN STREET</u>		
Total Square Footage of Proposed Structure/Area <u>FIRST 2016 sq² SECOND 1468 sq² 3484 TOTAL</u>	Square Footage of Lot <u>29,907 sq²</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>5</u> Lot# <u>607</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>A+M PARTNERS, LLC</u> Address <u>380 WARREN AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>938-8322</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT LOT</u> Number of Residential Units _____ If vacant, what was the previous use? <u>VACANT</u> Proposed Specific use: <u>SINGLE FAMILY HOME</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>CONSTRUCT A SINGLE FAMILY HOUSE ON A VACANT LOT.</u>		
Contractor's name: <u>DOYLE ENTERPRISES/ DIANE DOYLE</u>		
Address: <u>16 TIFFANY LN</u>		
City, State & Zip <u>SACO, ME 04072</u>		Telephone: <u>229-3530</u>
Who should we contact when the permit is ready: <u>DIANE DOYLE</u>		Telephone: <u>229-3530</u>
Mailing address: <u>16 TIFFANY LN SACO ME 04072</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 1/27/11

This is not a permit; you may not commence ANY work until the permit is issue



General Building Permit Application

PDF entered
66

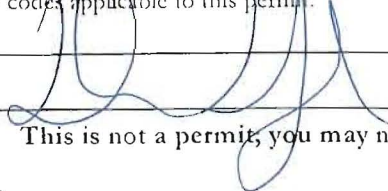
124-130 Sheridan

Location/Address of Construction: <u>128 SHERIDAN STREET</u>		
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Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>3</u> Lot# <u>007</u>	Applicant * must be owner, Lessee or Buyer* Name <u>A-M PARTNERS, LLC</u> Address <u>380 WARREN AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>838-8322</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>225,000.00</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT LOT</u> Number of Residential Units _____ If vacant, what was the previous use? <u>VACANT</u> Proposed Specific use: <u>SINGLE FAMILY HOME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>83' x 28' attached 2 car garage dimensions include 16 x 30 back deck</u> <u>CONSTRUCT A SINGLE FAMILY HOUSE ON A VACANT LOT. 16 x 30 back deck</u>		
Contractor's name: <u>DOYLE ENTERPRISES/DIANE DOYLE</u>		
Address: <u>16 TIFFANY LN</u>		
City, State & Zip: <u>SACO, ME 04072</u>		Telephone: <u>229-3530</u>
Who should we contact when the permit is ready: <u>DIANE DOYLE</u>		Telephone: <u>229-3530</u>
Mailing address: <u>16 TIFFANY LN SACO ME 04072</u>		

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Signature:  Date: 1/27/11

This is not a permit, you may not commence ANY work until the permit is issue

100 insp. Jerrin
Phil



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-02-388-SF

Located At: 122 SHERIDAN

CBL: 013 - - J - 007 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
4. Separate permits shall be required for future decks, sheds, pools, and/or garages.
5. Paved parking area at the bottom of the property on Ramasco Street existed before the ordinance went into effect in 1957. That area is used for tenant parking for the old Nissan Building across the street.

DRC

1. NO CHANGES IN GRADING ARE PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY.
2. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
3. The applicant shall have a licensed surveyor install, prior to the issuance of any Certificate of Occupancy, permanent monumentation/pins identifying property corners.
4. A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
5. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
6. The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
7. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
8. All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. A performance guarantee will be required to cover the cost of site work not completed due to seasonal conditions i.e., finish grading, loaming, seeding, mulching, installation of street trees, etc. The performance guarantee must be reviewed, approved, and

accepted by the Planning Authority prior to the release of a Temporary Certificate of Occupancy.

9. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
10. A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
11. The foundation shall be constructed so that the finish floor is at an elevation that provides positive drainage away from the foundation, and towards the street where required.
12. The applicant will close all open curb cuts to City of Portland standards prior to issuance of a certificate of occupancy.

Fire

1. All construction shall comply with City Code Chapter 10.
2. The sprinkler system shall be installed in accordance with NFPA 13D.
3. A separate Suppression System Permit is required.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

Building

1. Glass glazing required adjacent to stairways when exposed surface of the glass is less than 60 inches above the nose of the tread.
2. The "Storage Room" above the garage is not approved as a habitable space; it was approved for storage only.
3. The garage shall be separated (to the underside of the roof sheathing) from the residence by not less than ½ inch gypsum board applied to the garage side, and structure (walls) supporting the separation.
4. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3. Note: separate requirements for bedroom egress window(s).
5. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
6. A photoelectric Carbon Monoxide (CO) detector shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.
7. Hardwired photoelectric interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
8. Fastener schedule per IRC, 2009.
9. Separate permits are required for HVAC, heating, electrical, and fire suppression systems.
10. Energy Efficiency (N1101.2.1) "R-Factors of Walls, Floors, Ceilings, Building Envelope must be submitted to this Office prior to close-in or backfill.



Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

MARCH 4, 2011

Ms. Diane Doyle
Doyle Enterprises
16 Tiffany Lane
Saco, Maine 04072

RE: Review Comments for Single Family Site Plan

Project Name: A & M Partners
Project ID: 2011-02-388-SF
Project Address: 122 Sheridan Street **CBL:** 013 - J - 007-001

Planner: Philip DiPierro

Dear Ms. Doyle:

Thank you for submitting your site plan for a single family residence at 122 Sheridan Street.

This proposal is being reviewed as a single family site plan for Planning Authority review subject to the following applicable Land Use Code provisions:

- Site Plan Ordinance, Article V

The following additional information must be submitted in order for the approval process to move forward.

Survey Requirements:

1. Please submit a revised survey to include the following information:
 - Please include a vicinity map on the survey,
 - Please add the flood zone information to the survey, ie. which zone the property is in based on the FEMA Flood Insurance Rate Map.

to submit a geotechnical assessment performed by a licensed professional engineer,

- Given the steepness of the slope, a double row of erosion control measures will be required. Please add this to the site plan,
- Please add the two required street trees, or show the trees that are to be preserved meeting the City's minimum arboricultural standards,
- Please show the locations of the drywells on the site plan. Also, please include a detail of the drywell construction.

Zoning Requirements:

- Please submit a written legal description of the lot.

Additional Submittals Required:

1. The Planning Authority may request additional information during the continued review of the proposal according to applicable laws, ordinances and regulations.

Please submit three (3) complete sets of revised final plans to address staff comments. Upon receipt of the revised material, the City of Portland will review the additional plans and information for conformance with applicable ordinances. If you have any questions, feel free to contact me at 874-8632 or by email at pd@portlandmaine.gov.

Sincerely,



Philip DiPierro
Development Review Coordinator

Electronic Distribution:

Ann Machado, Zoning Specialist

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Footing/ Setbacks
2. Foundation Backfill
3. Close-In (Electrical, Plumbing, Framing)
4. Final Inspection/ Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	1-8"x10" 1-6"x10" 8" wall	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	2" Rigid, 6 mil Poly	Ⓢ Damp proofing required
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY		
Anchor Bolts/Straps, spacing (Section R403.1.6)	2x6 Cont. 8" w/ 5/8" φ x 12" 4 307 Bolts 3-0" O.C. 1-0" - Corners	
Lally Column Type (Section R407)	w/A	
Girder & Header Spans (Table R 502.5(2))	w/18x60 Steel Beam/WCS	→ Eng. need (See Plans)
Built-Up Wood Center Girder Dimension/Type	(4) 2x10 Beam	
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10" @ 16" O.C. 2x12" @ 12" O.C. 18-3/4" (2x10 Solid Blk.)	> okay
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x10" @ 16" O.C. - 8-0" 2x8" @ 16" O.C. - 12-0"	> okay

	(See Plans 5'4" x 11'8" CU)	
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	<p>6/12, 12/12, 15/12 2 x 12' @ 12" O.C. - 18' 3/4" Span (2) 2 x 12' @ 12" O.C. - 20'-0" Sec.</p>	<p>① Engineered spans exceed IRC, 2009</p> <p>①/37</p>
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))		
Fastener Schedule (Table R602.3(1) & (2))		①
Private Garage (Section R309) Living Space? (Above or beside)	"Storage Only"	② Egress through garage
Fire separation (Section R309.2)	5/8" Gypsum; 20 min door	
Opening Protection (Section R309.1)	20 min door <u>103</u>	
Emergency Escape and Rescue Openings (Section R310)	Not shown	③
Roof Covering (Chapter 9)	Metal	<u>okay</u>
Safety Glazing (Section R308)	Not shown (Tub enclosure & landing)	⑧
Attic Access (Section R807)	Not shown	④
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))		
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Not shown	⑤

Type of Heating System		
Means of Egress (Sec R311 & R312)		
Basement		
Number of Stairways		
Interior		
Exterior		
Treads and Risers (Section R311.5.3)	7-11" shown At the unit shown →	
Width (Section R311.5.1)		
Headroom (Section R311.5.2)	6-8" shown	
Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	42" exterior shown	⑥ 34-38" Required
Smoke Detectors (Section R313) Location and type/Interconnected	Not shown	⑦
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)	(2) 5/8" Gypsum	
Deck Construction (Section R502.2.1)		

L & L STRUCTURAL
ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

April 6, 2011

Diane Doyle
Doyle Enterprises, Inc.
16 Tiffany Lane
Saco, Maine 04072

Subject: Sheridan Street Residence – Sheridan Street, Maine

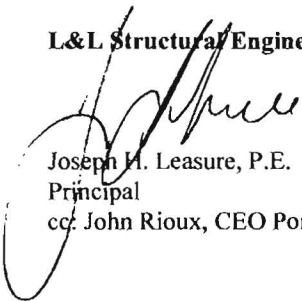
Dear Diane,

As per request of John Rioux, Code Enforcement Officer Portland, Maine, we are clarifying the building code utilized to design the structure for the proposed residential building located at Sheridan Street in Portland, Maine indicated on the structural drawings S1 through S7 prepared by our office. The building code utilized to design and analyze the structure is the 2009 International Residential Building Code (IRC) adopted by the City of Portland. The analysis also considered the Building Code Requirements for Wood Construction (NDS-latest edition) published by the National Forest Products Association.

If you have any questions or require any additional information, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.

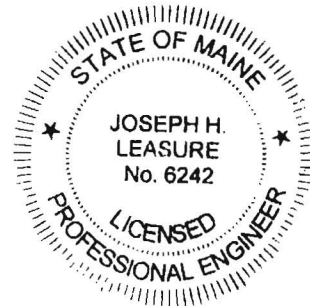


Joseph H. Leasure, P.E.
Principal
cc: John Rioux, CEO Portland Maine

RECEIVED

APR - 7 2011

**Dept. of Building Inspections
City of Portland Maine**



- Please show the approximate locations of all structures within 50 feet of the property lines.
- Property corners. Where no property markers exist, the City of Portland requires that the property markers be installed and, in some instances that a licensed surveyor set and confirm proposed building locations on site prior to the issuance of a building permit.
- The survey needs to be signed and sealed by a professional land surveyor licensed to practice in the State of Maine.
- Please show the street status on the survey, ie., accepted, continued, discontinued, vacated, etc.
- Please add or confirm that the City's official vertical datum, NGVD 1929, was used for this survey.
- The survey needs to tie the property into the nearest accepted street line and the nearest monument or record survey data. Please show this information.

Additional information on Survey requirements can be found in the City's Technical Manual, or by contacting Bill Clark in the Engineering Division of the Public Services Department.

Site Plan Requirements:

1. Please submit a revised site plan that shows the entire site on one sheet with proposed improvements at scale that includes the following information:
 - Please identify the zoning district, setbacks, and dimensional requirements on the site plan.
 - Please include in square feet the amount of proposed paved area,
 - Please show the ground floor area of the proposed building.
 - Please show the proposed finished floor elevation (FFE) or sill elevation on the site plan.
 - Please show all proposed utility connections ie., water, sewer, electric, gas, etc., on the site plan. Be advised that the sewer connection cannot tie directly into a manhole, it must connect directly to the main,
 - Please show proposed grading contours. If no grading of the site is proposed, please note it on the site plan.
 - Please show the total area, and limits of ground disturbance in square feet, on the site plan,
 - Please show the driveway curb cut on the site plan. Be advised there must be a minimum 20 foot separation, measured at the property line, between the edge of the proposed driveway and any existing driveway. Also the proposed driveway must maintain a width of between 10 feet and 20 feet at the property line,
 - Please show the location of the foundation/footing drain outlet,
 - Please include the soil type for the property. Due to the steepness of the site and the proposed location of the structure, you may be required

Job Summary Report
Job ID: 2011-02-388-SF

Report generated on Feb 9, 2011 9:18:45 AM

Page 1

Job Type: Single Family **Job Description:** 128 Sheridan St. / New Single Family **Job Year:** 2011
Building Job Status Code: In Review **Pin Value:** 615 **Tenant Name:**
Job Application Date: **Public Building Flag:** N **Tenant Number:**
Estimated Value: 225,000 **Square Footage:** 3,484
Related Parties: & M PARTNERS A *Property Owner*
Doyle Enterprises - Diane Doyle *GENERAL CONTRACTOR*

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 1490

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
A00200	013 J 007 001		M				-70.251141	43.666144

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				122 SHERIDAN STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
PARKING LOTS		NOT APPLICABLE					DISTRICT 1	EAST END

Structure Details

Structure: New Single Family with 2 car attached garage

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0	3484	225000	122 SHERIDAN STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value

Permit #: 20111119

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
1490	New Single Family with 2 car attached garage	Initialized	New 83' x 28' single family w/16' x 32' deck			

Job Summary Report
Job ID: 2011-02-388-SF

Report generated on Feb 9, 2011 9:18:45 AM

Inspection Details								
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag		
Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Certificate of Occupancy Fee	\$75.00							
Job Valuation Fees	\$2,270.00							
Minor Single Family Site Review	\$300.00							
Site Plan Inspection - SF	\$100.00							

Permit #: 20111120

Permit Data								
Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date		
1490	New Single Family with 2 car attached garage	Initialized						
Inspection Details								
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag		
Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment

Permit #: 20111121

Permit Data								
Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date		
1490	New Single Family with 2 car attached garage	Initialized						
Inspection Details								
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag		
Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment

Job Summary Report
Job ID: 2011-02-388-SF

Report generated on Feb 9, 2011 9:18:45 AM

Permit #: 20111122

Permit Data								
Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date		
1490	New Single Family with 2 car attached garage	Initialized						
Inspection Details								
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag		
Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment

Permit #: 20111123

Permit Data								
Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date		
1490	New Single Family with 2 car attached garage	Initialized						
Inspection Details								
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag		
Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment

Applicant: Diane Doyle
(owner - A+M Partners, LLC)
Address: 128 Sheridan

Date: 3/2/11

C-B-L: 13-J-007
permit # 2011-02-385

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-6

Interior or corner lot -

Proposed Use/Work - build new single family home - 2 stories. - $\approx 83' \times 26'$

Sevage Disposal - city

Lot Street Frontage - 40' min. - 117.12' sides

Front Yard - 10' or average - 8' 2" $\frac{2' 10''}{5' 6''}$ average setback. - 5' 6" $\frac{5' 6''}{5' 6''}$ OK

Rear Yard - 20' rear - 89' scaled OK

Side Yard - 10' side - left side - 11' scaled OK
- front side - 17' to deck OK

Projections -

Width of Lot - 40' min. - 111' scaled OK

Height - 45' - 28.5' @ highest point of roof OK

Lot Area - 4500 ϕ - 29,907 ϕ OK

Lot Coverage/ Impervious Surface - 50% = 14953.5

Area per Family - 1,000 ϕ OK

Off-street Parking - one space required - 2 car garage OK

Loading Bays - N/A

Site Plan - Level I Minor Residential Site Plan

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 14 - zone C

18 x 20 = 360

26 x 28 = 728

16 x 28 = 448

22 x 24 = 528

15 x 16 = 240

5 x 18 = 90

5 x 13 = 65

$\frac{1}{2} (13 \times 13) = 84.5$
25435.5 ϕ



**Level I: Minor Residential
Site Plan Application
PORTLAND, MAINE**

Planning and Urban Development Department
Planning Division and Planning Board

PROJECT NAME: _____

PROPOSED DEVELOPMENT ADDRESS: _____
128 SHERIDAN ST

PROJECT DESCRIPTION: _____
BUILD A SINGLE FAMILY HOUSE ON VACANT LOT

CHART/BLOCK/LOT: 13-D-007 PRELIMINARY PLAN _____

FINAL PLAN _____ ✓

CONTACT INFORMATION:

APPLICANT

Name: DIANE DOYLE/DOYLE ENTERPRISES

Address: 16 TIFFANY LN
SACO, ME 04072

Zip Code: 04072

Work #: 286-1151

Cell #: 229-3530

Fax #: 282-7470

Home: _____

E-mail: ddoyle2@maine.ev.com

PROPERTY OWNER

Name: A+M PARTNERS, LLC

Address: 380 WARREN AVE
PORTLAND, ME 04103

Zip Code: 04103

Work #: _____

Cell #: 838-8322

Fax #: 874-2080

Home: _____

E-mail: _____

BILLING ADDRESS

Name: A+M PARTNERS, LLC

Address: 380 WARREN AVE
PORTLAND, ME

Zip: 04103

Work #: _____

Cell #: 838-8322

Fax #: _____

Home: _____

E-mail: _____

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: DOYLE ENTERPRISES / DIANE DOYLE
Address: 40 TIFFANY LN
SACC MB
Zip Code: 04072
Work #: 286-1151
Cell #: 229-3530
Fax #: 286-1151
Home: _____
E-mail: ddoyle2@maine.rr.com

ENGINEER

Name: L & L STRUCTURAL (JOE LEASORIS)
Address: 6 Q STREET Q
S. PORTLAND
Zip Code: 04106
Work #: 767-4830
Cell #: 329-0445
Fax #: _____
Home: _____
E-mail: JLEASORIS@LL-ENG.COM

SURVEYOR

Name: TITCOMB ASSOCIATES
Address: 133 GRAY ROAD
PALMOUTH MB
Zip Code: 04105
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

DEVELOPMENT REVIEW FEES:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

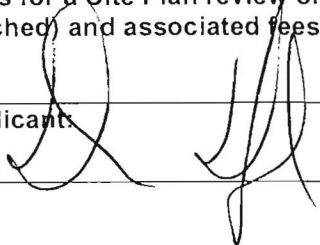
Level I: Minor Residential Site Plan <input checked="" type="checkbox"/> Application Fee (flat fee)	\$300
Mailed notices to abutters are now required for single family, two-family and the addition of a unit being reviewed as a Level I minor residential site plan. The applicant will be billed for the notice costs.	.75 cents each
<input type="checkbox"/> Inspection Fee, due after approval (flat fee)	\$100
<input type="checkbox"/> Performance Guarantee	Exempt except for those projects that complete construction in the winter and the site work is incomplete

Refer to the application checklist (page 5) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Site Plan review only. A Performance Guarantee, Inspection Fee, Building Permit Application (attached) and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 1/6/11
--	--------------

Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

City of Portland Planning Division
389 Congress Street
Portland, Maine 04101
(207) 874-8719
www.portlandmaine.gov

Office Hours:
Unless noted, office hours are
Monday thru Friday
8:00 a.m. – 4:30 p.m.



December 23, 2010

City of Portland Planning Dept
380 Congress Street
Portland, Maine 04101

RE: A&M Partners, LLC

To Whom It May Concern:

A&M Partners, LLC has been a valued customer of Norway Savings Bank since July, 2009. Its principals have had a banking relationship with Norway Savings Bank since 2003. A&M Partners, LLC currently has a deposit relationship with us in the high 5 figure range and a loan relationship in the moderate 7 figure range, with credit availability in the low 7 figure range. Accordingly, we feel that our client has the financial capability for a project with the City of Portland in the amount of approximately \$350,000.00.

Should you have any additional questions please feel free to contact me directly at 207-284-8355.

Sincerely,

A handwritten signature in black ink, appearing to read "Noel B Graydon".

Noel B Graydon
Regional Vice President

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL	013 J007001
Land Use Type	PARKING LOTS
Property Location	122 SHERIDAN ST
Owner Information	A & M PARTNERS LLC 380 WARREN AVE PORTLAND ME 04103
Book and Page	14581/99
Legal Description	13-J-7-29 ROMASCO LN 27-47 SHERIDAN ST 124-132 31335 SF
Acres	0.719

Current Assessed Valuation:

browse city services a-z

browse facts and links a-z

TAX ACCT NO.	1490	OWNER OF RECORD AS OF APRIL 2010 A & M PARTNERS LLC
LAND VALUE	\$156,700.00	120 EXCHANGE ST
BUILDING VALUE	\$11,030.00	PORTLAND ME 04101
NET TAXABLE - REAL ESTATE	\$167,730.00	
TAX AMOUNT	\$3,005.72	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



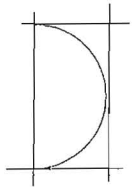
Best viewed at 800x600, with Internet Explorer



[View Map](#)

Outbuildings/Yard Improvements:

	Card 1
Year Built	1992
Structure	ASPHALT PARKING
Size	1X6300
Units	1
Grade	C
Condition	3



d o y l e
e n t e r p r i s e s

Planning Department
389 Congress Street
Portland, ME 04101

January 6, 2011

Dear Planning,

We are applying to construct a single-family house on a vacant lot located at 128 Sheridan Street. The house site is part of a larger parcel, which contains the renovated Nissan Bakery building. Marge Schmuckle confirmed that the house could be built without splitting the house lot from the larger piece.

The zoning at 128 Sheridan Street is R-6. This would allow a three unit building, 45 feet high. We are proposing a single family home with the maximum height of 27 feet. The front yard setback in the R-6 zone is ten feet. We have the house situated 5 ½ feet from the front property line. This is the average of the setback of the homes on either side.

The property is owned by A&M Partners, LLC and they will be financing the construction. A letter of financial capability from Norway Savings as well as the tax card showing ownership is attached. The house will be constructed by Doyle Enterprises, a reputable contractor who has been in the business for 15 years.

The lot was encumbered with a CMP easement. That has been recently released. A copy of the release is attached.

Sheridan Street is serviced by public water and sewer. Natural gas is also located in the street and we intend on utilizing it. Attached is the 1989 as built plan for Sheridan Street showing utility location. The plan was provided by Portland Public Works.

We understand that according to Portland regulations, we must sprinkle the house. The house will have gutters, which will drain into dry wells. The house will be constructed as a heated slab on grade with a finished floor elevation of 121 feet, 3 inches.

Please contact me if you are in need of further information or have questions.

Thank you for your attention.


Diane Doyle

RELEASE DEED


CENTRAL MAINE POWER COMPANY, a Maine corporation with offices at 83 Edison Drive, Augusta, Kennebec County, Maine 04336 ("CMP") for consideration paid, releases to **A & M Partners, LLC** a Maine limited liability company, having a mailing address of 380 Warren Ave., Portland, Maine 04103 ("Grantee"), certain easement rights granted to CMP and recorded at the Cumberland County Registry of Deeds as follows:

Book 2064, Page 203, Book 2877, Page 309 and Book 2996, Page 90, Book 3126, Page 749, Book 3199, Page 606, Book 3796, Page 182 and Book 3796, Page 181, all to the extent such rights affect the property of Grantee located in Portland, as described in a deed recorded at said Registry in Book 14581, Page 99.

The above easement rights, as described, are no longer used by or useful to CMP in connection with its operation as a public utility.

IN WITNESS WHEREOF, the said Central Maine Power Company has caused this Release to be signed and sealed on its behalf by Raymond Pomerleau, its duly authorized representative on this 15th day of October, 2010.

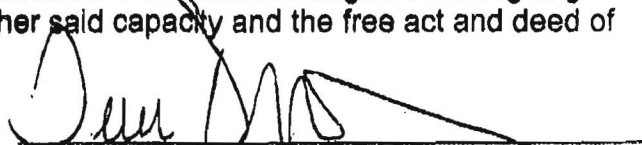
CENTRAL MAINE POWER COMPANY

By 
Alice Richards, Supervisor, Real Estate Services

STATE OF MAINE
Kennebec, ss

October 15, 2010.

The above named, Alice Richards, Supervisor, Real Estate Services, Central Maine Power Company, personally appeared before me and acknowledged the foregoing Release to be her free act and deed in her said capacity and the free act and deed of Central Maine Power Company.


Notary Public
TERESA DESPRES
Notary Public, Maine
My Commission Expires August 17, 2013

Ann Machado - FW: Sheridan Street - A & M Partners

From: "Lawrence R. Clough" <lclough@JBGH.com>
To: <amachado@portlandmaine.gov>
Date: 3/9/2011 11:58 AM
Subject: FW: Sheridan Street - A & M Partners
Attachments: Mortg A&M Partners to NorwaySB 27052-170.pdf; Survey A&M Partners LLC Wash Ave 202048-R3-062409.pdf

Ann:

I understand that the City has questioned the ownership by A & M Partners of land on Sherman Street previously owned by Nissens Bakery consisting of a large number of parcels assembled by it over a period of years.

Due to the lack of clarity in the original deed descriptions, the property was surveyed by Titcomb Associates in 2002, work that was updated through 2009 and then recorded in the Cumberland Registry of Deeds in Plan Book 209, Page 190. A copy is attached, and the land in question is Parcel 2 on that survey. I placed a red arrow on the property in question.

The more recent legal descriptions used for mortgage financing have used the surveyed legal description, per the attached mortgage to Norway Savings, and later title insurance policies.

There have been no subsequent deeds. Please let me know if I can help further.

Lawrence R. Clough, Esq.
JENSEN BAIRD GARDNER & HENRY
Ten Free Street
PO Box 4510
Portland, ME 04112

(207) 775-7271 - telephone
(207) 775-7935 - fax

DISCLOSURES: United States Treasury Regulations require us to inform you that any tax advice contained in this communication and any attachment or enclosure is not intended or written by us to be used, and cannot be used, by any taxpayer for the purpose of avoiding tax penalties. This e-mail and any file or attachment transmitted with it, is only intended for the use of the person and/or entity to whom it is addressed and may contain information that is privileged, confidential, and exempt from disclosure under applicable law. If the recipient of this message is not the intended recipient or otherwise responsible for delivering the message to the intended recipient, be notified that any disclosure, distribution or copying of this information is strictly prohibited. If you received this communication in error, destroy all copies of this message, attachments and/or files in your possession, custody or control and any other copies you may have created, and notify the sender at (207) 775-7271 or at the sender's e-mail address listed above.



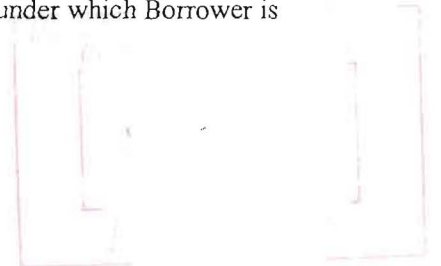
MORTGAGE, SECURITY AGREEMENT AND FINANCING STATEMENT

KNOW ALL BY THESE PRESENTS, that **A & M PARTNERS, LLC**, a Maine limited liability company with a place of business in Portland, Maine (the "Borrower") for consideration paid, does hereby GIVE, GRANT, BARGAIN, SELL, ASSIGN and CONVEY unto **NORWAY SAVINGS BANK**, a Maine financial institution with a place of business in Portland, Maine (the "Lender"), its successors and assigns, to secure the payment and performance of the Obligations (defined below), the following described property, rights and interests (collectively, the "Real Property Collateral"):

1. The real estate located in Portland, Maine and described on Exhibit A attached hereto and incorporated herein by reference, together with all buildings and other improvements thereon, and all rights and interests appurtenant thereto (collectively, the "Realty"), and
2. All rents, issues, profits, revenues, royalties, bonuses, rights and benefits under any and all leases or tenancies now existing or hereafter created of the Realty, or any part thereof, and all payments received for the use or occupancy of rooms and other public facilities in hotels, motels, and other public lodging facilities at the Realty or any part thereof, with the right to receive and apply the same to the Obligations, and Lender may demand, sue for and recover such rents, issues, profits, revenues, royalties, bonuses, rights, benefits and payments, but shall not be required to do so; provided, however, that so long as no Event of Default has occurred hereunder, a revocable license to receive and retain such rents, issues, profits, revenues, royalties, bonuses, rights, benefits and payments, is reserved to Borrower, and
3. all judgments, awards of damages and settlements hereafter made as a result of any award that may become due to Borrower by reason of the taking by eminent domain of the whole or any part of the Realty or any rights appurtenant thereto, including any award for change of grade of streets.

As additional security for payment and performance of the Obligations, Borrower hereby assigns, transfers and grants to Lender a security interest in the following described personal property (collectively, and together with any portion of the Real Property Collateral to which Article 9-A of the Maine Uniform Commercial Code is applicable, the "Personal Property Collateral"):

- A. All personal property of Borrower situated on or affixed to the Realty, including without limitation all building materials, supplies and lumber to be incorporated in the Realty; all furnishings, fixtures, machinery, equipment, appliances and goods of every nature whatsoever located in, or on, or used, or intended to be used, in connection with the Realty, including without limitation, plumbing, heating, lighting, refrigerating, ventilating, telephone, telecommunications, computer and air conditioning apparatus and equipment, garbage incinerators and receptacles, elevators and elevator machinery, boilers, tanks, motors, sprinkler and fire extinguishing systems, door bell and alarm systems, screens, awnings, screen doors, storm and other detachable windows and doors, mantels, built-in cases, counters, trees, hardy shrubs and perennial flowers; and
- B. All conditional sales agreements, leases and use agreements of machinery, equipment and other personal property of Borrower in the categories hereinabove set forth under which Borrower is the lessee of, or entitled to use, such items; and



28. Further Assurances. Borrower will, at its expense, upon the request of Lender, promptly and duly execute and deliver such documents and assurances and take such actions as may be necessary or desirable in Lender's sole discretion in order to correct any defect, error or omission that may at any time be discovered in this Mortgage or the documents related hereto, or to carry out more effectively the intent and purpose of this Mortgage, or to establish, perfect and protect Lender's lien, security interest, rights and remedies created or intended to be created hereunder. Without limiting the generality of the foregoing, Borrower authorizes Lender to file, or Borrower will itself file, in all offices and jurisdictions requested by Lender, at Borrower's expense, financing and continuation statements pursuant to the Uniform Commercial Code that describe the Personal Property Collateral and any other property of Borrower in which Lender holds a collateral security interest, or other notices appropriate under applicable federal or state law in form satisfactory to Lender.

29. Captions. The use of paragraph headings in this Mortgage is for purposes of convenience only, and no caption or heading shall affect in any way the interpretation, meaning or construction of this Mortgage.

30. Heirs, Successors and Assigns. The covenants herein contained shall bind, and the benefits and advantages shall inure to, except as herein specifically limited, the respective successors and assigns of Borrower and Lender. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender or the neuter shall be applicable to all genders and the neuter.

IN WITNESS WHEREOF, Borrower has executed this instrument as of this 1st day of July, 2009.

WITNESS:

J.R. Clark
Name:

A & M PARTNERS, LLC

By: Arthur P. Girard
Arthur P. Girard
Its Manager

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

July 1, 2009

THEN PERSONALLY APPEARED the above-named Arthur P. Girard, Manager of A & M Partners, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of A & M Partners, LLC.

Before me,

J.R. Clark
Name: Lawrence R. Clough
Title: Attorney at Law



Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

MARCH 4, 2011

Ms. Diane Doyle
Doyle Enterprises
16 Tiffany Lane
Saco, Maine 04072

RE: Review Comments for Single Family Site Plan

Project Name: A & M Partners
Project ID: 2011-02-388-SF
Project Address: 122 Sheridan Street CBL: 013 - J - 007-001

Planner: Philip DiPierro

Dear Ms. Doyle:

Thank you for submitting your site plan for a single family residence at 122 Sheridan Street.

This proposal is being reviewed as a single family site plan for Planning Authority review subject to the following applicable Land Use Code provisions:

- Site Plan Ordinance, Article V

The following additional information must be submitted in order for the approval process to move forward.

Survey Requirements:

1. Please submit a revised survey to include the following information:
 - Please include a vicinity map on the survey,
 - Please add the flood zone information to the survey, ie. which zone the property is in based on the FEMA Flood Insurance Rate Map.



LAWYERS TITLE INSURANCE CORPORATION
EXHIBIT A
Legal Description

File No. 1980

Parcel 1, Washington Avenue, Portland, Maine

A certain lot or parcel of land located on the easterly side of Washington Avenue in the City of Portland, County of Cumberland, State of Maine, being **Parcel 1** as depicted on a "Plan of Property (former J. J. Nissen Bakery) Washington Avenue, Romasco Lane, Sheridan Street & Marion Street, Portland, Maine" made for A & M Partners, LLC. dated June 19, 2002 by Titcomb Associates and recorded in the Cumberland County Registry of Deeds in Book 209, page 190 (the "Plan"), being more particularly bounded and described as follows:

Beginning at a point in the easterly sideline of Washington Avenue at the southwesterly corner of land now or formerly of Jerald H. Larracey, Sr. and Bertha C. Larracey as described in a deed recorded in the Cumberland County Registry of Deeds in Book 11731, Page 56. Thence:

- 1) N 71°49'23" E by said land of Larracey a distance of Sixty-Four and 52/100 (64.52) feet to a point and land now or formerly of George H. Larracey, Jr. as described in a deed recorded in said Registry in Book 16036, Page 246;
- 2) S 13°27'59" E by said land of George H. Larracey, Jr. a distance of Twelve and 94/100 (12.94) feet to a point at the southwesterly corner of said land of George H. Larracey, Jr;
- 3) N 60°49'23" E by said land of George H. Larracey, Jr. a distance of Thirty-One and 16/100 (31.16) feet to a point at the southeasterly corner of said land of George H. Larracey, Jr;
- 4) N 13°27'59" W by said land of George H. Larracey, Jr. a distance of Sixty and 00/100 (60.00) feet to a point at the northeasterly corner of said land of George H. Larracey, Jr. and the southerly sideline of Marion Street;
- 5) N 60°49'23" E by the southerly sideline of said Marion Street a distance of Thirty-Six and 36/100 (36.36) feet to a point and the northwesterly corner of land now or formerly of Donato J. Ferrante and Ethel J. Ferrante as described in a deed record in said Registry in Book 2769, Page 476;
- 6) S 13°27'59" E by said land of Ferrante a distance of Sixty and 00/100 (60.00) feet to a point at the southwesterly corner of said land of Ferrante;
- 7) N 60°49'23" E by said land of Ferrante and by land now or formerly of Matthew W. Ferrante, *et al.*, as described in a deed recorded in said Registry in Book 11222, Page 74, a distance of Sixty-Seven and 52/100 (67.52) feet to a point at the southeasterly corner of said land of Matthew W. Ferrante, *et al.*, and the westerly sideline of Romasco Lane, formerly called Larch Street;
- 8) S 13°27'59" E by the westerly sideline of said Romasco Lane a distance of Seventy-Two and 76/100 (72.76) feet to a point;
- 9) S 21°13'32" E by the westerly sideline of said Romasco Lane a distance of Three Hundred Fourteen and 92/100 (314.92) feet to a point;



10) S 11°01'02" E by the westerly sideline of said Romasco Lane a distance of Twenty-Six and 42/100 (26.42) feet to a point at the northeasterly corner of land now or formerly of Gerard A. Myatt as described in a deed recorded in said Registry in Book 4627, Page 47;

11) S 78°58'58" W by said land of Myatt a distance of Fifty-Four and 00/100 (54.00) feet to a point at the northwesterly corner of said land of Myatt;

12) S 11°01'02" E by said land of Myatt a distance of Thirty and 00/100 (30.00) feet to a point at the southwestly corner of said land of Myatt;

13) N 78°58'58" E by said land of Myatt a distance of Fifty-Four and 00/100 (54.00) feet to a point at the southeasterly corner of said land of Myatt and the westerly sideline of said Romasco Lane;

14) S 11°01'02" E by the westerly sideline of said Romasco Lane a distance of Sixty and 00/100 (60.00) feet to a point at the northeasterly corner of land now or formerly of Antonio J. Romasco and Alice E. Romasco as described in a deed recorded in said Registry in Book 3360, Page 7;

15) S 78°58'58" W by said land of Romasco a distance of Sixty-Four and 99/100 (64.99) feet to a point at the northwesterly corner of said land of Romasco;

16) S 15°03'32" E by said land of Romasco and by land now or formerly of David W. Fontaine and Laura J. Fontaine as described in a deed recorded in said Registry in Book 16409, Page 21, and by other land now or formerly of David W. Fontaine and Laura J. Fontaine as described in a deed recorded in said Registry in Book 11974, Page 341, a distance of Ninety-One and 55/100 (91.55) feet to a point;

17) S 52°07'39" W by said land of Fontaine (Book 11974, Page 341) a distance of Five and 63/100 (5.63) feet to a point;

18) S 19°08'00" E by said land of Fontaine (Book 11974, Page 341) a distance of Six and 12/100 (6.12) feet to a point;

19) N 79°03'27" E by said land of Fontaine (Book 11974, Page 341) a distance of Four and 77/100 (4.77) feet to a point at the northwesterly corner of land now or formerly of Joseph J. Cormier as described in a deed recorded in said Registry in Book 8702, Page 282;

20) S 15°03'32" E by said land of Cormier a distance of Thirty and 61/100 (30.61) feet to a point and land now or formerly of Robert J. Fontaine, Jr. and Frances H. Fontaine as described in a deed recorded in said Registry in Book 2749, Page 246;

21) S 82°44'35" W by said land of Robert J. Fontaine, Jr. and Frances H. Fontaine, and by land now or formerly of Kristine A. McCarthy as described in a deed recorded in said Registry in Book 16651, Page 279, and by land now or formerly of Robert A. Arnold and Thuong Arnold as described in a deed recorded in said Registry in Book 3287, Page 149, a distance of One Hundred Eleven and 16/100 (111.16) feet to a point;

22) N 09°03'32" W by said land of Arnold a distance of Two and 20/100 (2.20) feet to a point at land now or formerly of Yarmouth Trading Company as described in a deed recorded in said Registry in Book 17396, Page 164;

23) N 08°34'59" W by said land of Yarmouth Trading Company a distance of Five and 50/100 (55.50) feet to a point;



24) S 80°49'02" W by said land of Yarmouth Trading Company a distance of One Hundred Three and 74/100 (103.74) feet to a point at the northwesterly corner of said land of Yarmouth Trading Company and the easterly sideline of said Washington Avenue;

25) N 09°03'32" W by the easterly sideline of said Washington Avenue a distance of Five Hundred Twenty-Four and 31/100 (524.31) feet to the point of beginning;

The above described parcel contains 3.03 acres. Bearings are based on Magnetic North 2002.

Together with and subject to the Supplemental Boundary Line Agreement between A & M Partners, LLC and Bartlett Island LLC with the Joinder of Norway Savings Bank dated September 8, 2003 and recorded in said Registry of Deeds in Book 20147, Page 190.

The foregoing property is subject to the following easements as referenced and depicted on the Plan:

- Easement to Central Maine Power Company and New England Telephone and Telegraph Company as recorded in Book 3199, Page 606;
- Easement to Central Maine Power Company and New England Telephone and Telegraph Company as recorded in Book 2064, Page 203;
- A sewer easement as shown on the referenced Plan. (No record was found.)

Property may be subject to a Twelve (12) foot wide right of way as recorded in Book 255, Page 128;

Property benefits from a Nine (9) foot wide right of way as recorded in Book 298, Page 297 and Book 8914, Pages 17 and 18.

Subject to and together with a 9-foot easement over the premises abutting the southerly boundary, easterly from Washington, as set forth in instruments recorded in Book 3147, Page 13, and in Book 8914, Page 17, and in an easement agreement recorded in Book 8914, Pages 17 and 18 as modified by a Supplemental Boundary Line Agreement between A & M Partners, LLC and Bartlett Island LLC with the Joinder of Norway Savings Bank dated September 8, 2003 and recorded in said Registry of Deeds in Book 20147, Page 190.

Subject to an Easement Deed from A & M Partners LLC to Central Maine Power Company and Verizon New England, Inc. dated February 3, 2003 and recorded at Book 19017, Page 137.

Subject to and together with a Notice to Prevent Adverse Possession from A & M Partners LLC to Timothy P. Carolan dated June 24, 2004 and recorded at Book 21523, Page 219.

Parcel 2, Sheridan Street and Romasco Lane, Portland, Maine

A certain lot or parcel of land located on the westerly side of Sheridan Street and the easterly side of Romasco Lane, formerly called Larch Street, in the City of Portland, County of Cumberland, State of Maine, being **Parcel 2** as depicted on a "Plan of Property (former J. J. Nissen Bakery) Washington Avenue, Romasco Lane, Sheridan Street & Marion Street, Portland, Maine" made for A & M Partners, LLC. dated June 19, 2002 by Titcomb Associates and recorded in the Cumberland County Registry of Deeds in Book 209, page 190 (the "Plan"), being more particularly bounded and described as follows:

Beginning at a point in the westerly sideline of Sheridan Street at the northeasterly corner of land now or formerly of Timothy P. Carolan as described in a deed recorded in said Registry in Book 13036, Page 199. Thence:



- 1) S 72°38'24" W by said land of Carolan a distance of Thirty-Four and 85/100 (34.85) feet to a point at the northwesterly corner of said land of Carolan.
- 2) S 09°07'51" E by said land of Carolan a distance of Sixty-Eight and 63/100 (68.63) feet to a point at the southwesterly corner of said land of Carolan.
- 3) N 71°43'05" E by said land of Carolan a distance of Three and 52/100 (3.52) feet to a point at the northwesterly corner of land now or formerly of Frances A. Brown as described in a deed recorded in said Registry in Book 13862, Page 286.
- 4) S 09°54'43" E by said land of Brown, by land now or formerly of Beverly A. Grant as described in a deed recorded in said Registry in Book 4944, Page 70, and by land of Deborah J. Bell as described in a deed recorded in said Registry in Book 4059, Page 205, a distance of One Hundred Thirty-Nine and 64/100 (139.64) feet to a point and land now or formerly of Joseph A. Seneca and Judith L. Seneca as described in a deed recorded in said Registry in Book 8025, Page 183.
- 5) S 74°05'17" W by said land of Seneca a distance of Fifty-Eight and 35/100 (58.35) feet to a point at the northwesterly corner of said land of Seneca and the easterly sideline of said Romasco Lane.
- 6) N 21°13'32" W by the easterly sideline of said Romasco Lane a distance of Two Hundred Ninety-Six and 45/100 (296.45) feet to a point at the southwesterly corner of land now or formerly of Jon F. DiMauro as described in a deed recorded in said Registry in Book 10569, Page 16.
- 7) N 61°40'36" E by said land of DiMauro a distance of One Hundred Thirty-Seven and 66/100 (137.66) feet to a point at the southeasterly corner of said land of DiMauro and the westerly sideline of said Sheridan Street.
- 8) S 18°32'41" E by the easterly sideline of said Sheridan Street a distance of One Hundred Seventeen and 12/100 (117.12) feet to the point of beginning.

The above described parcel contains 0.69 acres. Bearings are based on Magnetic North 2002.

Property is subject to the following easements to Central Maine Power Company and New England Telephone and Telegraph Company:

- Book 3126, Page 749
- Book 2996, Page 90
- Book 2064, Page 203

Parcel 3, Washington Avenue and Sheridan Street, Portland, Maine

A certain lot or parcel of land located on the easterly side of Washington Avenue and the westerly side of Sheridan Street in the City of Portland, County of Cumberland, State of Maine, being **Parcel 3** as depicted on a "Plan of Property (former J. J. Nissen Bakery) Washington Avenue, Romasco Lane, Sheridan Street & Marion Street, Portland, Maine" made for A & M Partners, LLC. dated June 19, 2002 by Titcomb Associates and recorded in the Cumberland County Registry of Deeds in Book 209, page 190 (the "Plan"), being more particularly bounded and described as follows::

Beginning at a point in the easterly sideline of Washington Avenue at the southwesterly corner of land now or formerly of Richard G. Creighton and Raymond H. Creighton, Jr. as described in a deed recorded in the Cumberland County Registry of Deeds in Book 6368, Page 339. Thence:

- 1) N 81°59'52" E by said land of Creighton a distance of One Hundred Fifty and 00/100 (150.00) feet to a point.



- 2) S 10°09'48" E by said land of Creighton a distance of Twenty-Seven and 19/100 (27.19) feet to a point.
- 3) N 76°31'29" E by said land of Creighton a distance of One Hundred Forty-Seven and 93/100 (147.93) feet to a point at the southeasterly corner of said land of Creighton and the westerly sideline of said Sheridan Street.
- 4) S 18°32'41" E by the westerly sideline of said Sheridan Street a distance of One Hundred Sixteen and 59/100 (116.59) feet to the northeasterly corner of other land now or formerly of Richard G. Creighton and Raymond H. Creighton, Jr. as described in a deed recorded in said Registry in Book 6368, Page 339.
- 5) S 59°40'28" W by said other land of Creighton and by land now or formerly of Edward F. Cogswell and Elizabeth I. Cogswell as described in a deed recorded in said Registry in Book 2310, Page 307, and by land now or formerly of Loretta Dobson as described in a deed recorded in said Registry in Book 13224, Page 335, a distance of One Hundred Eighty-One and 38/100 (181.38) feet to a point at the southeasterly corner of land now or formerly of A & M Partners, LLC as described in a deed recorded in said Registry in Book 14581, Page 99.
- 6) N 10°09'48" W by said land of A & M Partners, LLC a distance of Sixty-One and 65/100 (61.65) feet to a point at the northeasterly corner of said land of A & M Partners, LLC.
- 7) S 74°13'28" W by said land of A & M Partners, LLC a distance of One Hundred Forty-Eight and 00/100 (148.00) feet to a point at the northwesterly corner of said land of A & M Partners, LLC and the easterly sideline of said Washington Avenue.
- 8) N 09°03'32" W by the easterly sideline of said Washington Avenue a distance of One Hundred Fifty-Five and 02/100 (155.02) feet to the point of beginning.

The above described parcel contains 1.02 acres. Bearings are based on Magnetic North 2002.

Property is subject to an easement to Central Maine Power Company and New England Telephone and Telegraph Company as recorded in Book 3796, Page 182.

Parcel 4, Washington Avenue, Portland, Maine

A certain lot or parcel of land located on the easterly side of Washington Avenue in the City of Portland, County of Cumberland, State of Maine, being **Parcel 4** as depicted on a "Plan of Property (former J. J. Nissen Bakery) Washington Avenue, Romasco Lane, Sheridan Street & Marion Street, Portland, Maine" made for A & M Partners, LLC. dated June 19, 2002 by Titcomb Associates and recorded in the Cumberland County Registry of Deeds in Book 209, page 190 (the "Plan"), being more particularly bounded and described as follows:

Beginning at a point in the easterly sideline of Washington Avenue at the northwesterly corner of land now or formerly of Stephen J. Ryder as described in a deed recorded in the Cumberland County Registry of Deeds in Book 8081, Page 43. Thence:

- 1) N 09°03'32" W by the easterly sideline of said Washington Avenue a distance of One Hundred Two and 00/100 (102.00) feet to a point at the southwesterly corner of land now or formerly A.G. Carr Company, Inc., as described in a deed recorded in said Registry in Book 13507, Page 328.
- 2) N 74°13'28" E by said land of A.G. Carr Company, Inc., a distance of One Hundred Forty-Eight and 00/100 (148.00) feet to a point at a corner of said land of A.G. Carr Company, Inc.



3) S 10°09'48" E by said land of A.G. Carr Company, Inc., a distance of Sixty-One and 65/100 (61.65) feet to a point at the southerly corner of said land of A.G. Carr Company, Inc., and the northerly sideline of land now or formerly of Loretta Dobson as described in a deed recorded in said Registry in Book 13224, Page 335.

4) S 59°40'28" W by said land of Dobson and by other land now or formerly of Loretta Dobson as described in a deed recorded in said Registry in Book 13496, Page 310, and by land now or formerly of Richard Hagan and Nancy Hagan as described in a deed recorded in said Registry in Book 6972, Page 221, and by said land of Ryder, a distance of One Hundred Fifty-Nine and 00/100 (159.00) feet to the point of beginning.

The above described parcel contains 0.28 acres. Bearings are based on Magnetic North 2002.

Property is subject to the following easements to Central Maine Power Company and New England Telephone and Telegraph Company:

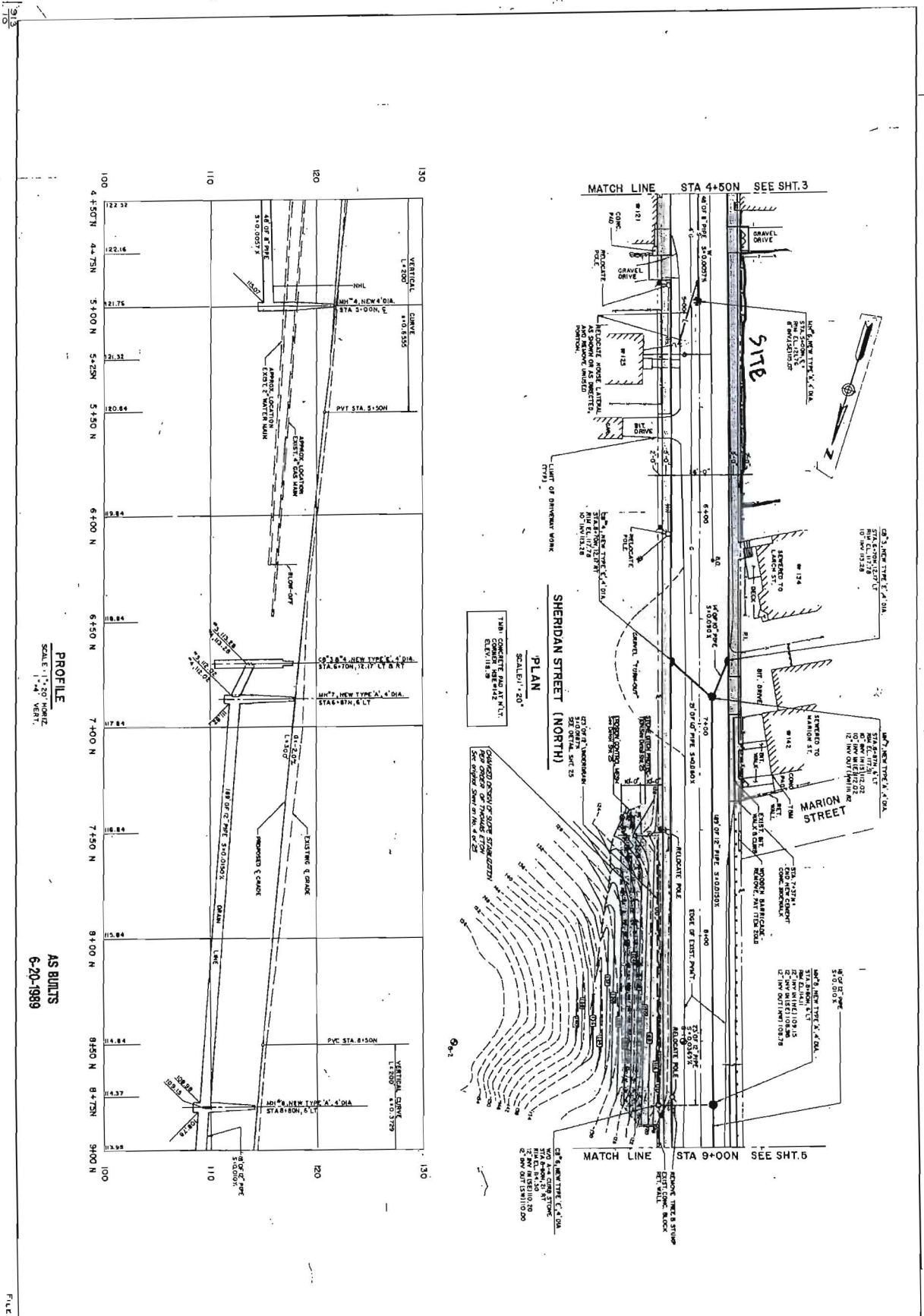
- Book 2877, Page 309; and
- Book 3796, Page 182

MEANING AND INTENDING TO CONVEY AND HEREBY CONVEYING the same property described in a deed from A.G. Car Co., Inc. dated to A & M Partners, LLC as of January 1, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14581, Page 99, and in a second deed from A.G. Car Co., Inc. to A & M Partners, LLC dated May 2, 2007 and recorded in said Registry of Deeds in Book 25070, Page 52.

The above-described property is conveyed subject to a Mortgage to Norway Savings Bank dated January 7, 2003 and recorded in the Cumberland County Registry of Deeds in Book 18704, Page 301, and an Assignment of Leases and Rents to Norway Savings Bank dated January 7, 2003 and recorded in the Cumberland County Registry of Deeds in Book 18704, Page 320.

Initial for Identification

Received
Recorded Register of Deeds
Jul 01, 2009 03:46:30P
Cumberland County
Pamela E. Lovley



PROJECT NO.	DESIGNED BY	DATE	SCALE	NOTED	REFERENCES	REVISIONS	DATE
8803-00-64-04	P.A.E.	JUNE 1987					
	DRAWN BY						
	T.R.A.						
	CHECKED BY						
	B.M.R.						

CITY OF PORTLAND, MAINE
PARKS AND PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

APPROVED: *[Signature]*
CITY ENGINEER

SHERIDAN STREET
PLAN & PROFILE
STA. 4+50N TO 9+00N

WOODARD & CURRAN INC.
CONSULTING ENGINEERS
PORTLAND, MAINE

PROJECT NO. 8803-00-64-04
DESIGNED BY P.A.E.
DATE JUNE 1987
SCALE
NOTED

DRAWN BY T.R.A.
CHECKED BY B.M.R.

STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER

IMPORTANT NOTICE FROM CITY OF PORTLAND

To residents and property owners

To residents and property owners: A Level 1: Minor Residential Development application was submitted to the Portland Planning Division by A &M Partners LLC for a New Single Family Home located at 122 Sheridan Street (128).

In accordance with the Portland Land Use Ordinance, notices of receipt of a Level I Minor Residential Development application must be sent to neighbors. This application will be reviewed administratively by City Staff.

Plans are available in the Portland Planning Division, 4th Floor, City Hall. If you have any questions or wish to submit comments, contact the Planning Division at 874-8719 or email jmy@portlandmaine.gov

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Labels Requested For CBL:

012 Q015
013 H004
013 H005
013 H009
013 I011
013 I013
013 I015
013 I016
013 I019
013 I020
013 I022
013 I023
013 I025
013 I026
013 I040
013 I043
013 J002
013 J003
013 J004
013 J005
013 J006
013 J007
013 J008
013 J010
013 J011
013 J012
013 J013
013 J014
013 J015
013 J016
013 K001
013 K002
013 K004
013 K005
013 K017
013 K028
013 K045
013 K047
013 K048
013 K054
013 K071

16-18 WENTWORTH ST INC
PO BOX 934
SCARBOROUGH, ME 04070

A & M PARTNERS LLC
120 EXCHANGE ST
PORTLAND, ME 04101

A & M PARTNERS LLC
120 EXCHANGE ST
PORTLAND, ME 04101

A & M PARTNERS LLC
120 EXCHANGE ST
PORTLAND, ME 04101

A & M PARTNERS LLC
120 EXCHANGE ST
PORTLAND, ME 04101

A & M PARTNERS LLC
120 EXCHANGE ST
PORTLAND, ME 04101

ARSENAULT LISA M
135 SHERIDAN ST # 301
PORTLAND, ME 04101

AVESTA MUNJOY COMMONS LP
307 CUMBERLAND AVE
PORTLAND, ME 04101

BARTLETT ISLAND LLC
67 INDIA ST
PORTLAND, ME 04101

BELL DEBORAH J
110 SHERIDAN ST
PORTLAND, ME 04101

BERLSTEIN TED MARTIN
117 SHERIDAN ST # 3
PORTLAND, ME 04101

BLISS SADIE C &
LAUGHLIN O CHANLER JTS
142 SHERIDAN ST
PORTLAND, ME 04101

BRENT SAIYID A &
CHIARA M LIBERATORE JTS
20 MARION ST
PORTLAND, ME 04101

CARELLI KATERI
135 SHERIDAN ST # 102
PORTLAND, ME 04101

CAROLAN TIMOTHY P
PO BOX 4714
PORTLAND, ME 04112

COBURN SARAH B &
BRENDAN O'NEIL JTS
117 SHERIDAN ST # 8
PORTLAND, ME 04101

CORMIER JOSEPH J
6 ROMASCO LN # 1
PORTLAND, ME 04101

COTA DIANE &
SCOTT COTA JTS
135 SHERIDAN ST # 405
PORTLAND, ME 04101

COTA DIANE &
SCOTT COTA JTS
135 SHERIDAN ST # 404
PORTLAND, ME 04101

COTA DIANE &
SCOTT COTA JTS
135 SHERIDAN ST # 404
PORTLAND, ME 04101

DANG LOI T
57 ROMASCO LN
PORTLAND, ME 04101

DEFRIES NICHOLAS J
12 ROMASCO LN
PORTLAND, ME 04101

ECKER JEREMIAH S
135 SHERIDAN ST # 204
PORTLAND, ME 04101

EDWARDS JOHN A
15 DEVONSHIRE ST
PORTLAND, ME 04103

EUBANK LAURENCE
117 SHERIDAN ST # 6
PORTLAND, ME 04101

FINK JEREMY B &
KIRSTEN L CYR JTS
55 ROMASCO LN
PORTLAND, ME 04101

FONTAINE DAVID W & LAURA J JTS
22 ROMASCO LN
PORTLAND, ME 04101

GAN RONALD L &
STEPHANIE A EVANS JTS
4646 N HERMITAGE
CHICAGO, IL 60640

GLASS JANE E
125 SHERIDAN ST
PORTLAND, ME 04101

GOODING KATHLEEN A &
DONALD A GOODING JTS
820 INDIAN POINT RD
MOUNT DESERT, ME 04660

GRIMALDI NICHOLAS
135 SHERIDAN ST # 202
PORTLAND , ME 04101

GRZYMSKI BRIAN D
135 SHERIDAN ST # 407
PORTLAND, ME 04101

HANSON MATTHEW M
135 SHERIDAN ST # 203
PORTLAND , ME 04101

HARVEY ALBERT R JR VN VET &
MARY ANN JTS
105 SHERIDAN ST
PORTLAND, ME 04101

HASAN LLC
134 SHERIDAN ST
PORTLAND , ME 04101

HOLMAN CRAIG E
152 MILTON ST
PORTLAND , ME 04103

HOOPS DAVID T
109 SHERIDAN ST
PORTLAND, ME 04101

JOHNSON KIRSTEN L
99 SHERIDAN ST
PORTLAND, ME 04101

KLOPPENBERG ANN MARIE
135 SHERIDAN ST # 205
PORTLAND , ME 04101

KRUSE SCOTT &
MARGARET MAYER JTS
PO BOX 116
HIRAM , ME 04041

LASKEY PAMELA J
135 SHERIDAN ST # 304
PORTLAND , ME 04101

LEHRER RICHARD C &
NICHOLE A SITO JTS
135 SHERIDAN ST # 306
PORTLAND , ME 04101

LEMIEUX JOHN A &
CINDY J LEMIEUX JTS
100 SHERIDAN ST
PORTLAND , ME 04101

LEMIEUX JOHN A & CINDY J JTS
100 SHERIDAN ST
PORTLAND, ME 04101

MCCARTHY KRISTINE A
93 CUMBERLAND AVE
PORTLAND , ME 04101

MYATT GERARD A
10 CLEVELAND ST
PORTLAND, ME 04103

NEWCOMB CAROLINE C &
JASON T KENDALL JTS
135 SHERIDAN ST # 406
PORTLAND, ME 04101

NEWTON JOHN W
135 SHERIDAN ST # 303
PORTLAND, ME 04101

O'CONNOR PATRICIA
135 SHERIDAN ST # 402
PORTLAND , ME 04101

O'DONNELL DAVID M
178 CONGRESS ST
PORTLAND , ME 04101

O'ROURKE JAMES G
117 SHERIDAN ST # 4
PORTLAND , ME 04101

OWENS DENISE M
51 ROMASCO LN
PORTLAND , ME 04101

PRESTEGARD DEENA
135 SHERIDAN ST # 307
PORTLAND, ME 04101

QUINN MEGHAN
19 ROMASCO LN
PORTLAND , ME 04101

RENNER WILLIAM P
135 SHERIDAN ST # 101
PORTLAND , ME 04101

SENECA JOANNE M
25 ROMASCO LN
PORTLAND , ME 04101

SHAPIRO RONALD A
117 SHERIDAN ST # 5
PORTLAND , ME 04101

SHERIDAN STREET LLC
477 CONGRESS ST 1012
PORTLAND , ME 04101

SHERIDAN STREET LLC
477 CONGRESS ST 1012
PORTLAND , ME 04101

SHERIDAN STREET LLC
477 CONGRESS ST 1012
PORTLAND , ME 04101

SHERIDAN STREET LLC
477 CONGRESS ST 1012
PORTLAND , ME 04101

SMITH GORDON R
116 SHERIDAN ST
PORTLAND , ME 04101

STRAIT HAWLEY R &
SARAH L KUTZEN JTS
117 SHERIDAN ST # 7
PORTLAND , ME 04101

THOMAS GRACE A
135 SHERIDAN ST # 305
PORTLAND , ME 04101

TOLFORD CHRISTOPHER
135 SHERIDAN ST # 206
PORTLAND , ME 04101

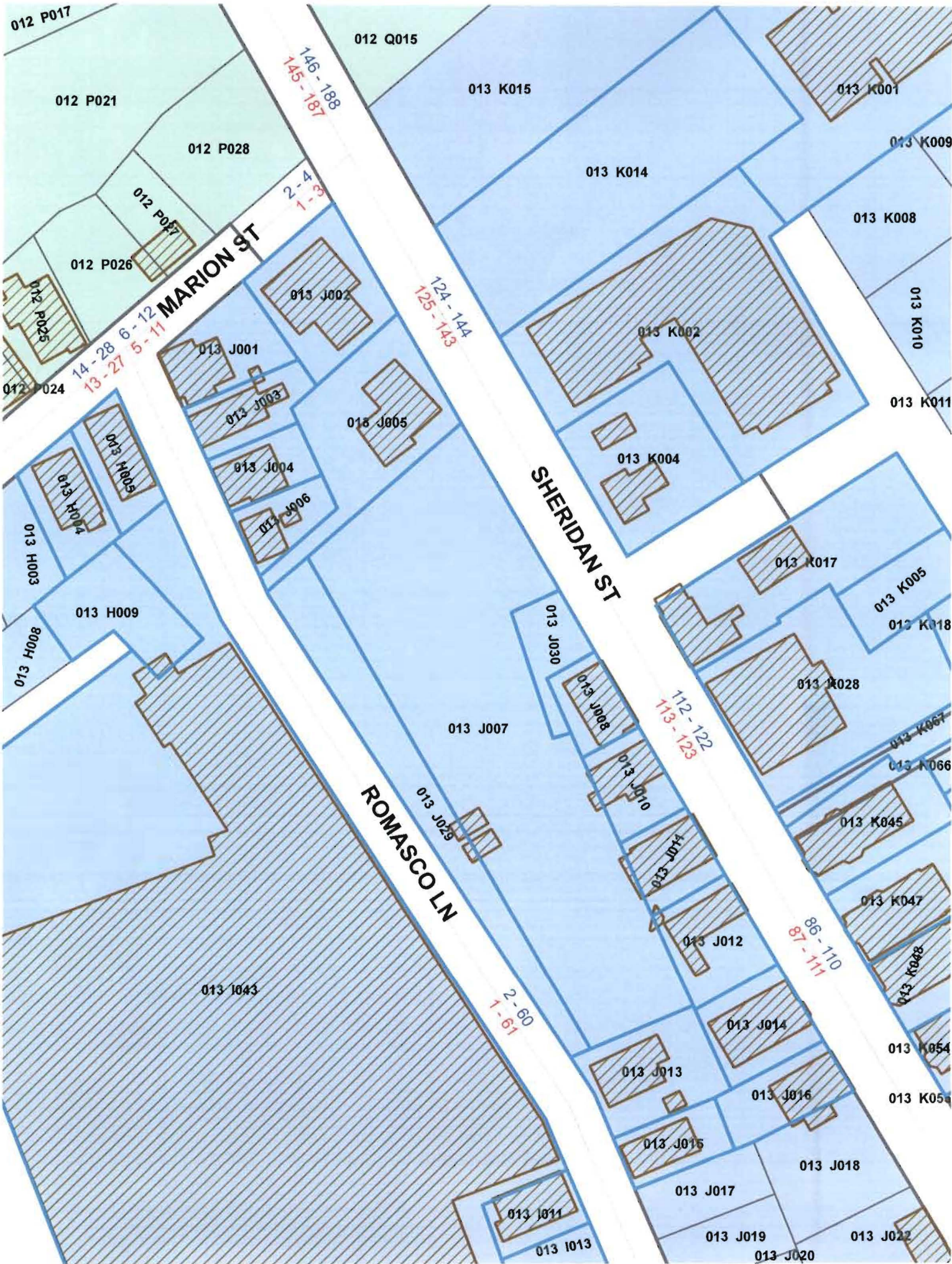
TOLFORD CHRISTOPHER W
135 SHERIDAN ST # 206
PORTLAND , ME 04101

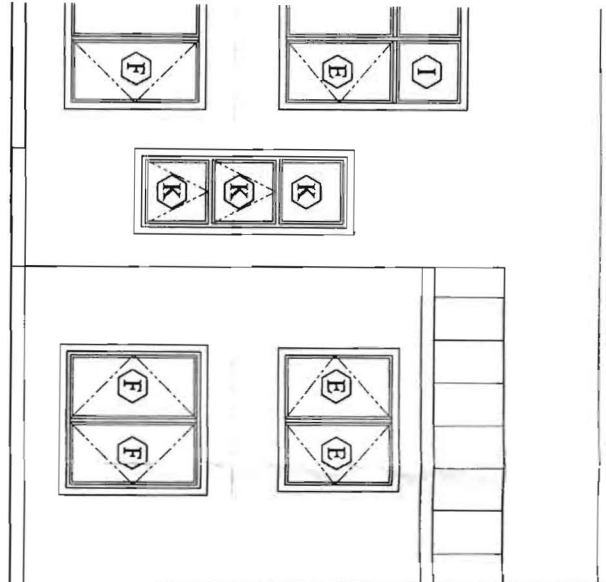
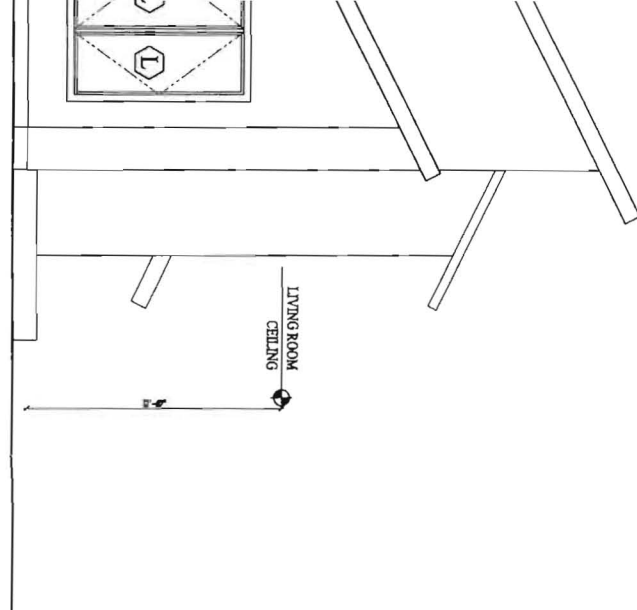
WAINBERG ERICKA B &
DAVID A WAINBERG JTS
14 MARION ST
PORTLAND , ME 04101

WAYNE THOMAS F
PO BOX 874
WESTBROOK , ME 04098

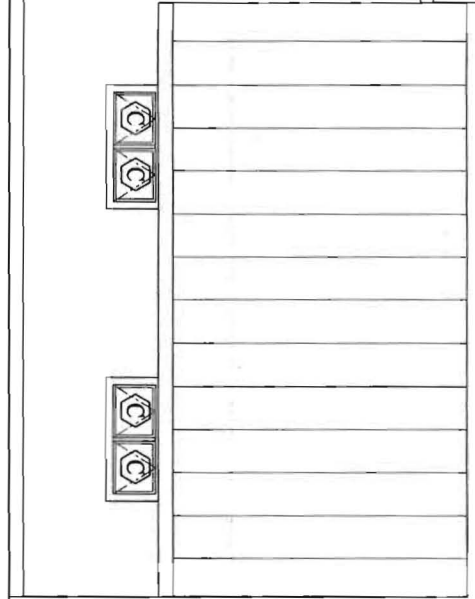
WHISTON DAVID P &
SANDRA C WHISTON JTS
135 SHERIDAN ST # 401
PORTLAND , ME 04101

YOUNG T RANDOLPH &
CAROLYN BESHARA YOUNG JTS
135 SHERIDAN ST # 201
PORTLAND , ME 04101





KEY PLAN
NOT TO SCALE



Date: 7 December 2010	Scale: 1/8" = 1'-0"	Revisions:	Project: Sheridan Street Residence	Architect: ARCHETYPE architects	Consulting Engineer:	Prepared For:
BUILDING ELEVATIONS			SHERIDAN STREET PORTLAND, MAINE	48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		

PROPOSED SITE PLAN

December 2010

Scale: 1/8" = 1'-0"

Revisions:

Project:

Sheridan Street
Residence

SHERIDAN STREET
PORTLAND, MAINE

Architect:
ARCHETYPE
architects

48 Union Wharf Portland, Maine 04101

(207) 772-6022 Fax (207) 772-4056

Consulting Engineer:

Prepared For:

CIR #2075
up 0.6'

NET&T #17

RIM: 121.66
12" pvc

INV: 115.2

NET&T #18

IM: 118.01

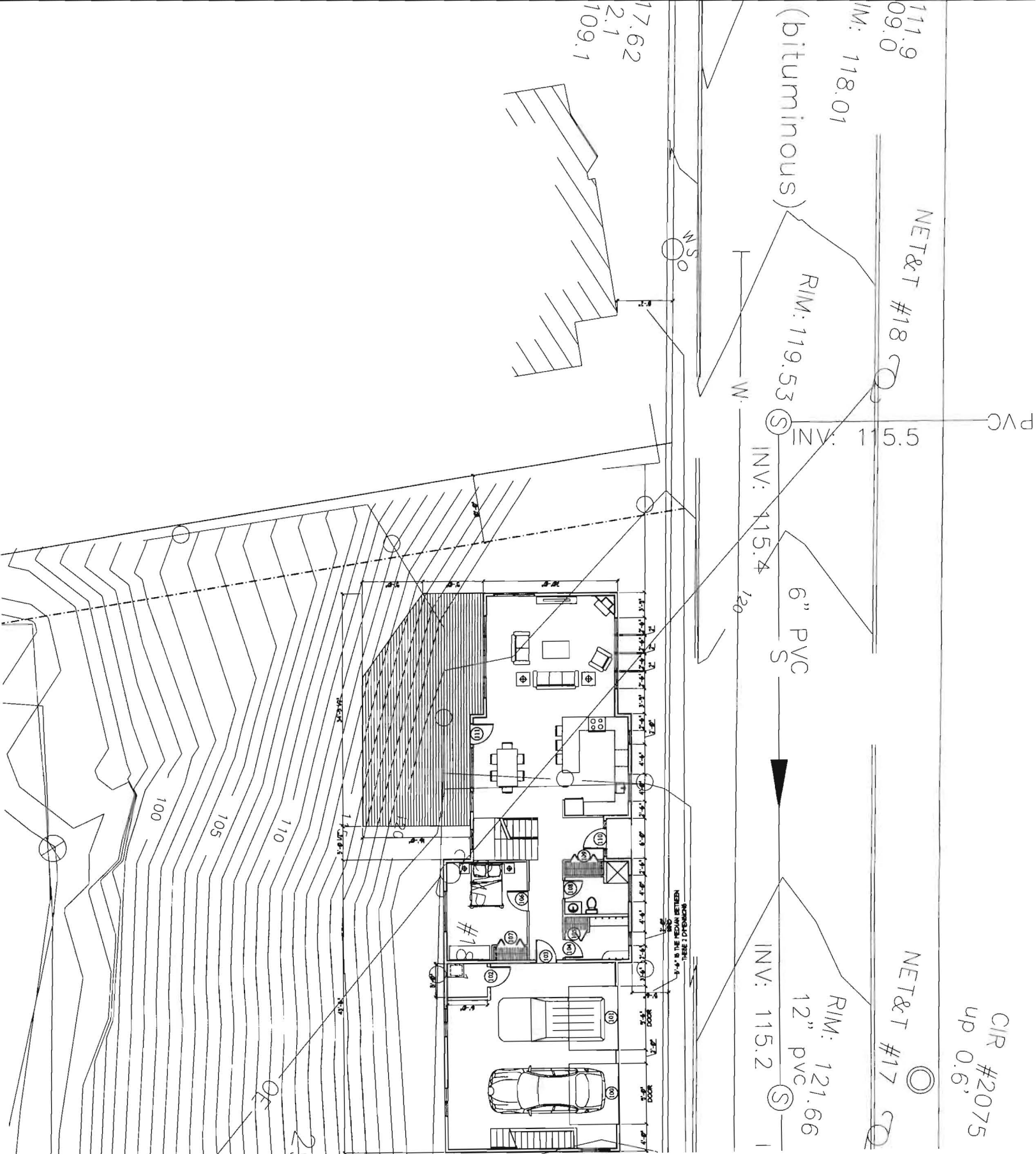
(bituminous)

RIM: 119.53

INV: 115.4

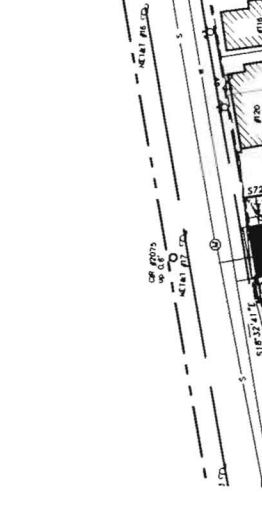
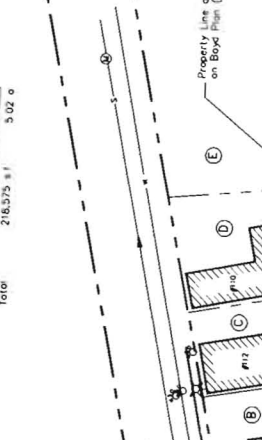
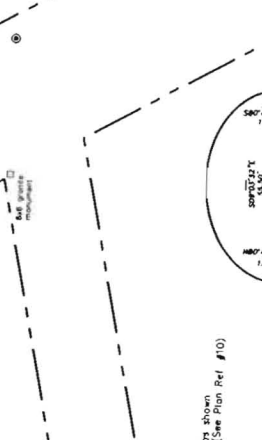
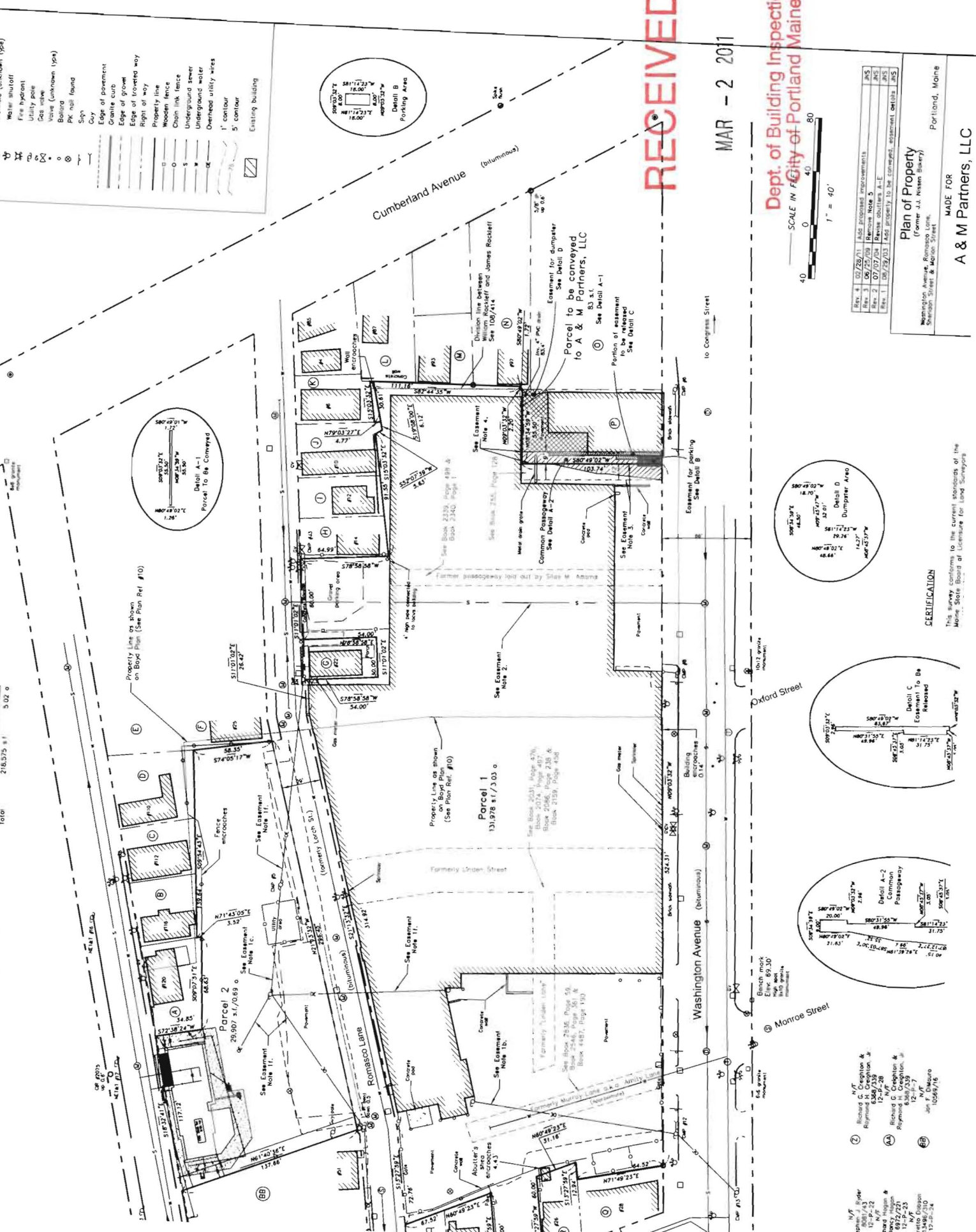
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117.62
2.1
109.1



- 3) Elevations are based on the City of Portland datum. Benchmark: granite monument at the southwest corner of Washington Avenue and Monroe Street. Elevation: 69.30'
- 4) Utility information shown on this plan is approximate, based on field information, locations marked by others and indicated on drawings, and drawings. Prior to any excavation or construction, the appropriate utilities should be contacted.
- 5) Easement in Murray Lane (a.k.a. Amity Lane) may reside in the Heirs of Michael Murray.

AREA	Area	Total
Parcel 1	131,978 s.f.	3.03 a
Parcel 2	29,907 s.f.	0.68 a
Parcel 3	173,982 s.f.	3.98 a
Subtotal	44,593 s.f.	1.02 a
Parcel 3	44,593 s.f.	1.02 a
Total	218,575 s.f.	5.02 a



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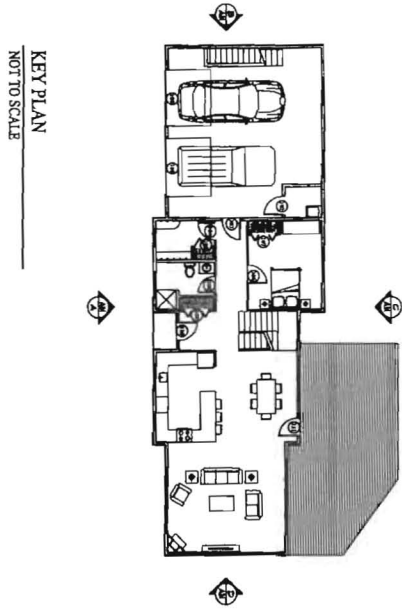
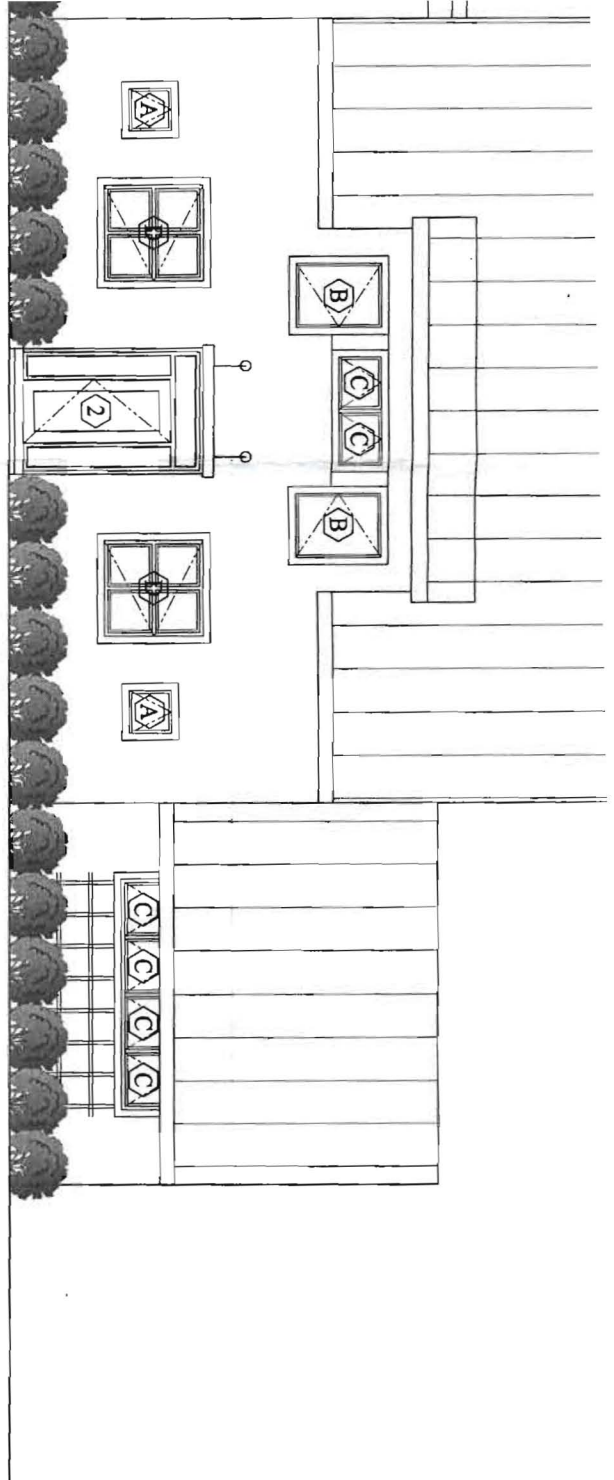
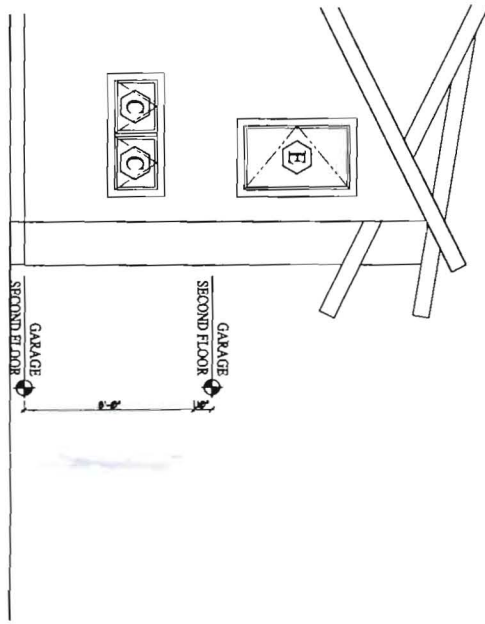
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KEY PLAN
NOT TO SCALE

Date: December 2010	Scale: 1/8" = 1'-0"	Revisions:	Project:	Architect:	Consulting Engineer:	Prepared For:
BUILDING ELEVATIONS			Sheridan Street Residence	 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056		
			SHERIDAN STREET PORTLAND, MAINE			



Titcomb Associates

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www.titcombsurvey.com

39 Court Street
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(207) 443-9199
Fax: (207) 386-5077
www.titcombsurvey.com

April 19, 2011

Diane Doyle
A & M Partners
Warren Avenue
Portland, Maine

RE: Building on Sheridan Street, Portland

Diane:

Our firm staked the proposed building on Sheridan Street in accordance with the site plan submitted to the City of Portland. It is in compliance with the setback requirements of the City for that zoning district.

Please feel free to contact me if you have any questions.

Regards,

Judith N. Soule, P.L.S.
Project Manager