

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

**2002-0230**  
Application I. D. Number  
**10/15/2002**  
Application Date

**A & M Partners Llc**  
Applicant  
**120 Exchange St, Portland, ME 04101**  
Applicant's Mailing Address

**Nissen Office Compled - Change of Us**  
Project Name/Description

Consultant/Agent  
**Applicant Ph: (207) 775-2100 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**59 - 59 Washington Ave, Portland, Maine**  
Address of Proposed Site  
**013 I043001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning **B4**

**Check Review Required:**

- |  |   |   |  |
|--|---|---|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review           | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> HistoricPreservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |   | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date \_\_\_\_\_

**Planning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions  
See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets  
Attached

OK to Issue Building Permit \_\_\_\_\_  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

Division Directors  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

November 20, 2002

Mr. Louis C. Wood  
A&M Partners LLC.  
120 Exchange Street  
Portland, ME 04101

RE: Change of Use, Vicinity of 59 Washington Street

CBL: 13-I-43

Dear Mr. Wood:

On November 20, 2002, the Portland Planning Authority granted minor site plan approval for the change of 8,353 square feet to office use at the former Nissen Bakery in the vicinity of 59 Washington Street.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.

If there are any questions, please contact Jonathan Spence at 756-8083.

Sincerely,

Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Sarah Hopkins, Development Review Program Manager  
Jonathan Spence, Planner  
Jay Reynolds, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator

# City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: <b>59 WASHINGTON AVE</b>		Zone: <b>B4</b>
Total Square Footage of Proposed Structure <b>EXISTING - 152,635 SF</b>		Square Footage of Lot <b>131,978 SF</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>13      I43      1</b>	Property owner, mailing address: <b>ATM PARTNERS, LLC 120 EXCHANGE ST, PORTLAND, ME</b>	Telephone: <b>7752100</b>
Consultant/Agent, mailing address, phone & contact person <b>SAME</b>	Applicant name, mailing address & telephone: <b>SAME</b>	Project name: <b>NISSENS OFFICE COMPLEX</b>
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots _____ \$25.00 per lot \$ _____ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00		
Major Development _____ \$500.00      Minor Development <input checked="" type="checkbox"/> \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00		
Who billing will be sent to: <b>AS ABOVE</b> Mailing address: State and Zip: _____      Contact person: <b>M. SCARKS</b> Phone: <b>7752100</b>		

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

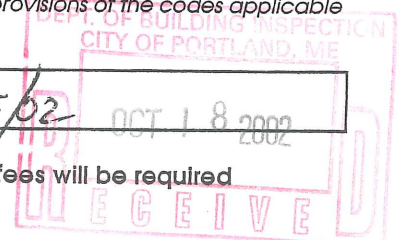
### ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [cl.portland.me.us](http://cl.portland.me.us) chapter 14

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant:	Date: <b>10/15/02</b>
-------------------------	-----------------------

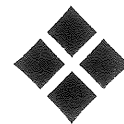
This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.



# A & M PARTNERS, INC.

REAL ESTATE DEVELOPMENT/MANAGEMENT

120 EXCHANGE STREET PORTLAND, MAINE 04101



(207) 879-1358

10/16/02

Sarah Hopkins  
Development Review Program Manager  
Planning Department  
City Hall  
389 Congress Street  
Portland, Maine 04101

Dear Sarah:

Please accept the attached plan and application for the change of use from manufacturing to business use (office).

The area of the change of use is 8353 square feet, the balance of the office area was existing.

The plan shows the location of the office buildout which is all on the third floor.

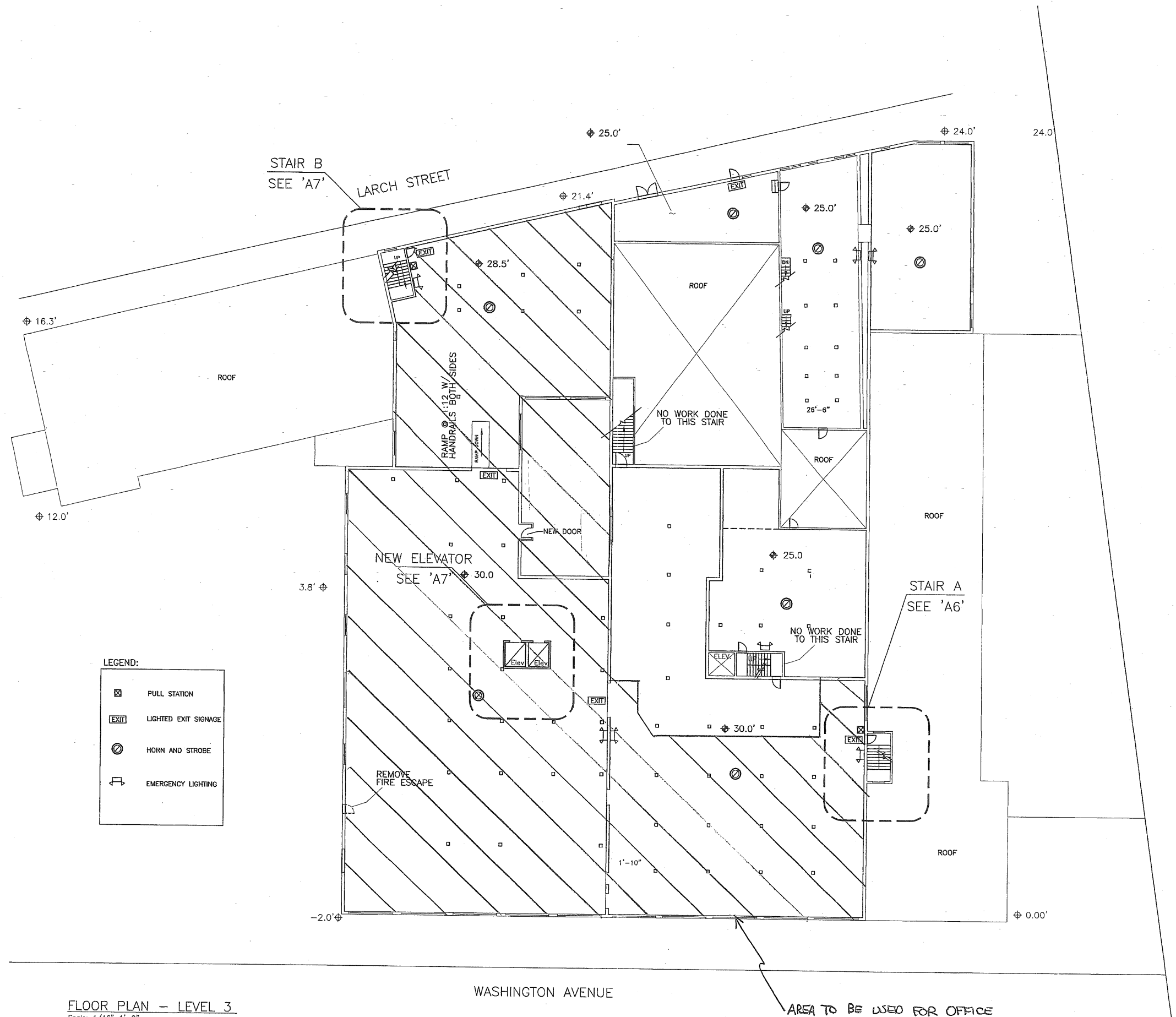
Parking required is one space per 400 square feet of office area or 63 spaces. There currently exists 69 spaces in the lot being reconstructed abutting the building on the north side.

I believe this addresses the items you requested in our meeting last week; if there is anything else please don't hesitate to call.

Your prompt turnaround on the minor site review, as always, would be greatly appreciated.

Sincerely,

Michael Scarks, President



FLOOR PLAN - LEVEL 3  
Scale: 1/16"=1'-0"

<b>Archetype, P.A. ARCHITECTS</b> 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	Date: 15 May, 2002 Drawn By: TO M.S.F.M. Revisions:	Scale: 1/16" = 1'-0" Checked By:
	Project: Elevator Addition, New Atrium Floor Window Reservations & Stairway Renovation to The Former Nissen Bakery Washington Ave., Portland	
Owner: A&M Properties, LLC 120 Exchange Street Portland, ME 04101		
<b>THIRD FLOOR PLAN</b>		
<span style="font-size: 2em; font-weight: bold;">A3</span>		

**From:** Marge Schmuckal  
**To:** Jonathan Spence  
**Date:** Wed, Nov 20, 2002 1:00 PM  
**Subject:** 59 Washington Ave - old Nissans bldg

Jonathan,

I have been given the 3rd floor change of use information for the Casey Family Group.

The entire office build out for this tenant is 25,203 sq. ft. 16,850 sq. ft is existing office and 8,353 sq. ft. is the change of use. The amount of parking required for this area is:

25,203 divided by 400 = 63 required parking spaces.

I believe that the new revised parking lot show 66 spaces. I understand that there are some other parking lots that are also part of this complex.

Any future change of uses and tenant fit-up will need to show us their entire parking plan.

Marge  
11/20/02

**CC:** Sarah Hopkins



# NISSEN'S SPACE USAGE SUMMARY

10/10/02

BUSINESS USE { OFFICE 11,750  
RETAIL 2500  
CATERING 3700

TOTAL = 17,950 SF

WAREHOUSE/STORAGE USE { WAREHOUSE/DIST 35900  
STORAGE 14,303

TOTAL = 50,203 SF

INDUSTRIAL/MANUFACTURING

TOTAL = 99,847 SF

## OCCUPIED TO DATE

## BALANCE AVAILABLE

BUSINESS USE 1100 SF	16,850 SF
WAREHOUSE/STORAGE 26000	24,203 SF
IND/MANUFACTURING 4410	95,437



10/10/02

PROPOSED ADDITIONAL USES

① BUSINESS USE = 25,203 SF  
BAL. AVAILABLE = 16,850

$$\text{CHANGE OF USE} = 25,203 - 16,850 = 8353 \text{ SF}$$

② WAREHOUSE/STORAGE = 6890 SF  
BAL. AVAILABLE = 24,203 SF

NO CHANGE OF USE

FUTURE BAL AVAILABLE FOR W/S =

$$24,203 - 6890 = 17,313$$

Planning and Development Department  
SUBDIVISION/SITE DEVELOPMENT

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: 9/4/02

Name of Project: NISSEK'S OFFICE COMPLEX

Address/Location: 59 WASHINGTON AVE.

Developer: A+M PARTNERS, LLC

Form of Performance Guarantee: LOC.

Type of Development: Subdivision \_\_\_\_\_ Site Plan (Major Minor)

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
<del>ROAD</del> PARKING LOT				2900 SF	60/SF	174000
Granite Curbing SLOPE				2000 LF	22/SF	15400
Sidewalks	91 SF	75/SF	7050			
Esplanades	78 SF	25/SF	1950			
Monuments						
Street Lighting				1	LS	1000
Street Opening Repairs						
Other						
2. EARTH WORK						
Cut				800 CF	8/CF	6400
Fill						
3. SANITARY SEWER						
Manholes						
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
4. WATER MAINS						
5. STORM DRAINAGE						
Manholes						
Catchbasins				40 V/S	75/V/S	3000
Piping				280 LF	20/LF	5600
Detention Basin						
Stormwater Quality Units						
Other				011/CFRT	LS	7000

6. SITE LIGHTING						
7. EROSION CONTROL						
Silt Fence						
Check Dams						
Pipe Inlet/Outlet Protection						
Level Lip Spreader						
Slope Stabilization						
Geotextile						
Hay Bale Barriers						
Catch Basin Inlet Protection				1	LS	1000
				1	LS	1000
8. RECREATION AND OPEN SPACE AMENITIES						
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)				1	LS	2500
10. MISCELLANEOUS		<del>8000</del> 4900				<del>64900</del>
TOTAL:		9000				64900
GRAND TOTAL:						

#73,900

OK 9-13-02  
J.R.

INSPECTION FEE (to be filled out by the City)

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:	180.00	1,298.00	1,478.00
or			
B: Alternative Assessment:			
Assessed by:	J.R. (name)	J.R. (name)	J.R.

Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

February 19, 2003

Mr. Louis Wood  
A & M Partners LLC  
120 Exchange Street  
Portland, Maine 04101

Subject: Former Nissen's Building, 59 Washington Avenue  
(ID # 2002-0164)(CBL# 013-I-043)

Dear Mr. Wood:

Thank you for your submittal of the photometric plan pertaining to the former Nissen's building at 59 Washington Avenue. This photometric plan was requested because changes to the approved lighting locations have been performed. Upon review of the plan, it appears that this lighting configuration does not meet our lighting standards. In particular, there appears to be light trespass that exceeds the maximum limits. The areas of most concern are to the north of the site where residential buildings are located adjacent to your site.

For these reasons, it appears the lighting configuration will have to be modified in some fashion in order to be in compliance with City standards.

Also, the Planning Department had requested an as-built site plan that reflects the other field changes that I had discussed with yourself, and approved in the field.

Please respond to this letter at your earliest convenience to discuss these items. I can be reached at (207) 874-8632.

Sincerely,

A handwritten signature in black ink that reads 'Jay Reynolds'.

✓ Jay Reynolds  
Development Review Coordinator



**CITY OF PORTLAND**

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

September 12, 2002

Mr. Louis C. Wood  
A&M Partners LLC.  
120 Exchange Street  
Portland, ME 04101

RE: Parking Lot Renovations, Vicinity of 59 Washington Street

CBL: 13-I-43

Dear Mr. Wood:

On September 12, 2002, the Portland Planning Authority granted minor site plan approval to reconfigure and renovate the parking lot at the former Nissen Bakery in the vicinity of 59 Washington Street. The approval is NOT for any change of use in any structure on the property. Additional review and approval may be required for the conversion of the former bakery for other uses.

The approval is subject to the following condition(s):

- i. The applicant will plant sufficient quantities of "Sea Green Juniper" in the area between the upper and lower parking lots in the vicinity of the three (3) Austrian Pines, per the City Arborists recommendation.
- ii. The applicant will provide catalog cuts for all proposed lighting.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

2002-0164

Application I. D. Number

7/23/02

Application Date

**Nissen Office Complex**

Project Name/Description

**A & M Partners Llc**

Applicant

120 Exchange St, Portland, ME 04101

Applicant's Mailing Address

Mike Scarks or Lou Wood

Consultant/Agent

Applicant Ph: (207) 775-2100 Agent Fax: 874-6988

Applicant or Agent Daytime Telephone, Fax

59 - 59 Washington Ave, Portland, Maine

Address of Proposed Site

013 I043001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

82,00 sq. ft.

131,978

B4

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$400.00 Subdivision \_\_\_\_\_ Engineer Review \$1,298.00 Date 9/24/02

**Planning Approval Status:**

Reviewer **Jonathan Spence**

- Approved  Approved w/Conditions See Attached  Denied

Approval Date 9/12/02 Approval Expiration 9/12/03 Extension to \_\_\_\_\_  Additional Sheets Attached

OK to Issue Building Permit **Jonathan Spence** \_\_\_\_\_  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	9/24/02	\$73,900.00	4/16/03
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	_____
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2002-0164

Application I. D. Number

7/23/02

Application Date

**Nissen Office Complex**

Project Name/Description

**A & M Partners Llc**

Applicant

**120 Exchange St, Portland, ME 04101**

Applicant's Mailing Address

**Mike Scarks or Lou Wood**

Consultant/Agent

**Applicant Ph: (207) 775-2100      Agent Fax: 874-6988**

Applicant or Agent Daytime Telephone, Fax

**59 - 59 Washington Ave, Portland, Maine**

Address of Proposed Site

**013 1043001**

Assessor's Reference: Chart-Block-Lot

---

**Approval Conditions of Planning**

- 1 i. The applicant will plant sufficient quantities of "Sea Green Juniper" in the area between the upper and lower parking lots in the vicinity of the three (3) Austrian Pines, per the City Arborists recommendation.
  - ii. The applicant will provide catalog cuts for all proposed lighting.
-

**PINKHAM & GREER**

CONSULTING ENGINEERS, INC.

170 U.S. Route One  
Falmouth, Maine 04105  
Tel: 207.781.5242  
Fax: 207.781.4245

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## MEMORANDUM

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TO: Jonathan Spence, City of Portland  
C: Tony Lombardo, Lou Wood

FROM: Tom Greer *Tom*

DATE: 9-23-02

RE: NISSEN BAKERY

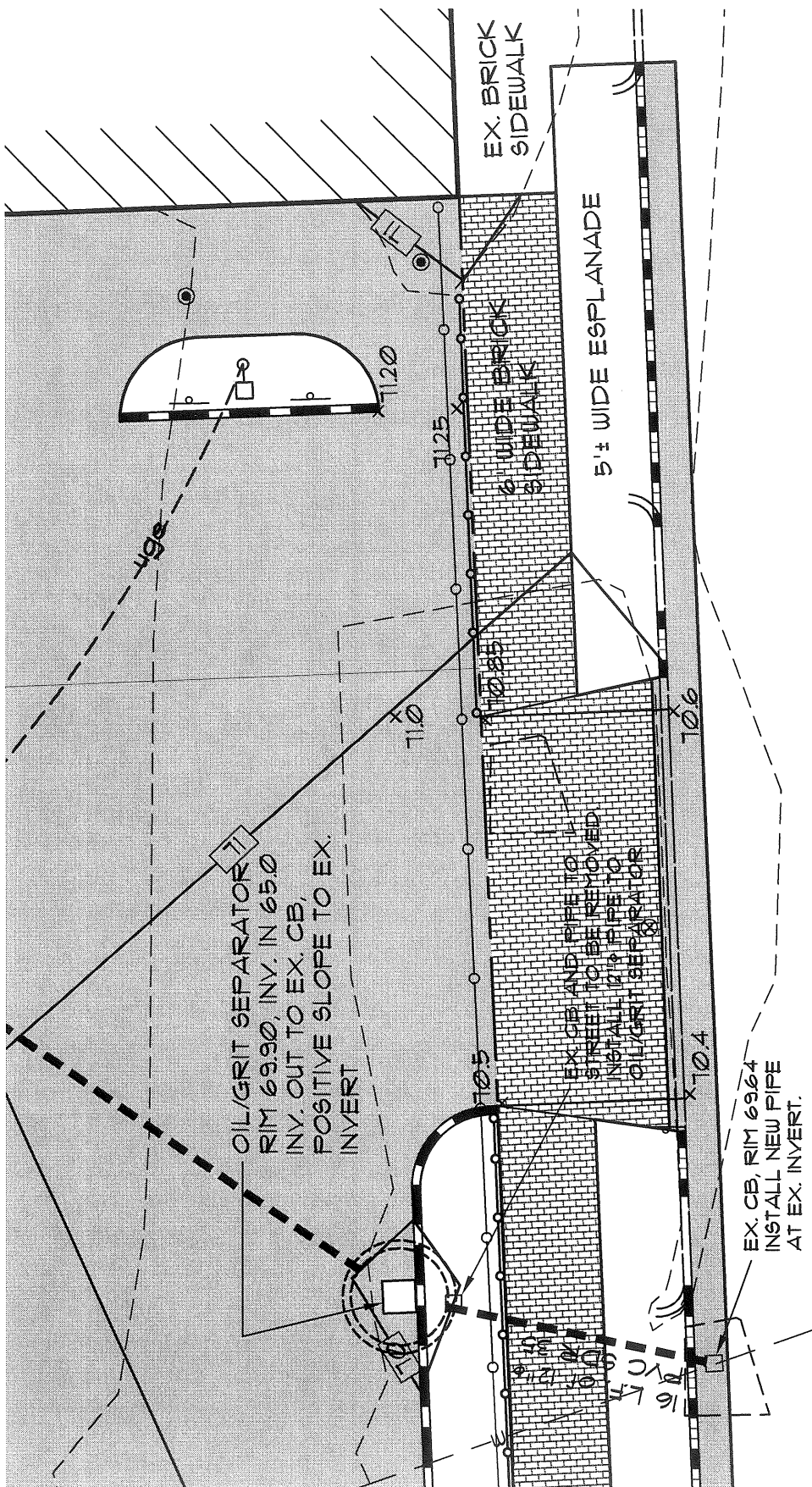
FILE: 02181

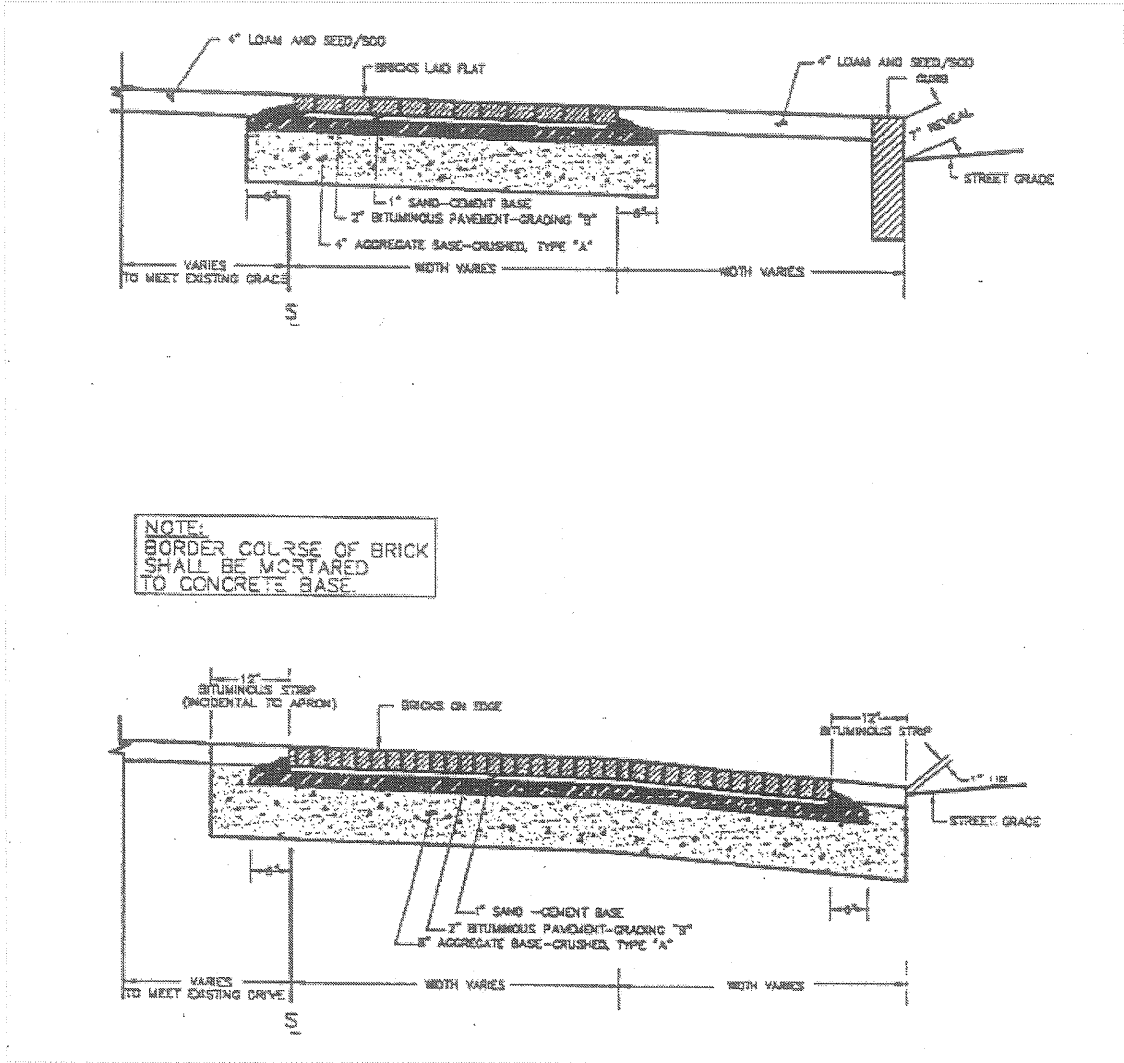
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I have reviewed the drainage calculations and believe the 18" pipe between the oil/grit separator and the catch basin is in error. This should be a 12" diameter pipe, making the connection to the existing catch basin reasonable. I believe this is more desirable than construction on Washington Avenue. A modified pipe size will be shown on the Drawing.

Attached is the sidewalk detail that will be added to the plans showing the brick sidewalk. The plan view will be changed as well.







SECTION @ DRIVEWAY

BRICK WITH BITUMINOUS BASE  
 SIDEWALK AND DRIVEWAY CONSTRUCTION

12

NOT TO SCALE

The following information represents my review of the plans dated 9/10/02:

1. The applicant proposes an 18 inch diameter inlet connection into the City's catch basin in Washington Avenue. This existing catch basin is a brick structure and the outlet pipe from this structure is smaller than 18 inches in diameter. Therefore, in order to maintain the structural integrity of the City's catch basin and due to the smaller diameter of the structure's outlet pipe, Public Works is requiring that the applicant outlet their site drainage directly into the combined sewer in Washington Avenue. As a result, the City's sewer must appear on the plans and the corresponding pipe and connection must also be specified. An appropriate connection detail must appear on the detail sheet.
2. Public Works is requesting that the applicant revise the plans to specify brick sidewalk construction to match the abutting sidewalk. An appropriate construction detail must appear on the plans.

**PUBLIC WORKS ENGINEERING REVIEW #3...9/27/02**

I have reviewed the memo dated 9/23/02, prepared by Pinkham & Greer and offer the following comments:

1. The City that any modification to the invert in the Washington Avenue catch basin be achieved by "core-drilling", if enlarged. In addition, this catch basin must be fitted with a "flexible connector" to receive the proposed 12 inch storm drain.

Otherwise, the applicant has modified the plans to the satisfaction of Public Works and we are granting approval with only the referenced "condition".

Performance Guarantee	<input checked="" type="checkbox"/> Required*	<input type="checkbox"/> Not Required	
* No building permit may be issued until a performance guarantee has been submitted as indicated below			
<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>9/24/02</u> date	<u>\$73,900.00</u> amount	<u>4/16/03</u> expiration date
<input type="checkbox"/> Inspection Fee Paid	<u>                    </u> date	<u>                    </u> amount	
<input type="checkbox"/> Building Permit Issue	<u>                    </u> date		
<input type="checkbox"/> Performance Guarantee Reduced	<u>                    </u> date	<u>                    </u> remaining balance	<u>                    </u> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	<u>                    </u> date	<input type="checkbox"/> Conditions (See Attached)	<u>                    </u> expiration date
<input type="checkbox"/> Final Inspection	<u>                    </u> date	<u>                    </u> signature	
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<input type="checkbox"/> Defect Guarantee Submitted	<u>                    </u> submitted date	<u>                    </u> amount	<u>                    </u> expiration date
<input type="checkbox"/> Defect Guarantee Released	<u>                    </u> date	<u>                    </u> signature	

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DEVELOPMENT REVIEW APPLICATION  
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2002-0164

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Nissen Office Complex

Project Name/Description

A & M Partners Llc

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Applicant's Mailing Address

Mike Scarks or Lou Wood

Consultant/Agent

Applicant Ph: (207) 775-2100 Agent Fax: 874-6988

Applicant or Agent Daytime Telephone, Fax

59 - 59 Washington Ave, Portland, Maine

Address of Proposed Site

013 1043001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

82,00 sq. ft.

131,978

B4

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan \$400.00 Subdivision \_\_\_\_\_ Engineer Review \$1,298.00 Date 9/24/02

**Engineering Comments**

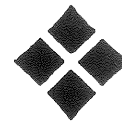
**PUBLIC WORKS ENGINEERING REVIEW...9/13/02**

I have reviewed the plans dated July 8,2002 and offer the following comments:

1. Having not received a complete application packet, I am not clear on the entire scope of this proposal.
2. The plans need to specify all existing utilities that exist within the Washington Avenue right of way, most importantly, the City's 18 inch diameter combined sewer.
3. The plans need to specify the proposed rim and invert elevations for the two (2) proposed catch basins.
4. The proposed catch basins must be fitted with catch basin traps on the respective outlet.
5. The size, material slope and length of pipe must be specified for the proposed catch basin outlet pipes.
6. The plans must specify the proposed location of the connection into the City's existing 18 inch diameter brick combined sewer in Washington Avenue, as well as the invert elevation into the sewer.
7. The plans need to specify granite tipdown curbing at the proposed entrances to the site.
8. The plans need to specify whether any of the existing granite curbing, removed to create the proposed entrances, will be reset to close out the two (2) existing entrance. Any existing curb not to be reset will remain the property of the City of Portland and must be delivered to the City's Congress Street stockyard. A note, to this effect, must appear on the plan.
9. The plans must specify the limits of pavement excavation and repair necessary to install curbing, repair sidewalk and install piping within the Washington Avenue right of way. The limits must be in conformance with the City's "street opening ordinance".
10. It is recommended that the applicant contact Carol Merritt at Public Works for a determination of the required permits and fees associated with proposed construction within the City right of way.
11. Based on the location of the new northwesterly entrance, it appears that an existing utility pole will need to be relocated. A note needs to be added to the plan and the applicant should contact the all utility companies on that pole.
12. According to the City's "sidewalk material policy", the applicant must replace and build brick sidewalks as necessary. The plans need to specify, in detail, the areas where sidewalk will need to be built and repaired.
13. The plan set received at Public Works did not include any construction details. Public Works is requesting the applicant resubmit a more complete set of plans that includes the requested revision, as well as construction details for all work specified within the Washington Avenue right of way.
14. It would appear that, according to the City's Technical and Design Standards, the applicant must provide some form of stormwater treatment for the runoff generated on site and discharged to the City sewer.

**PUBLIC WORKS ENGINEERING REVIEW#2...9/18/02**

**A & M PARTNERS, INC.**  
REAL ESTATE DEVELOPMENT/MANAGEMENT

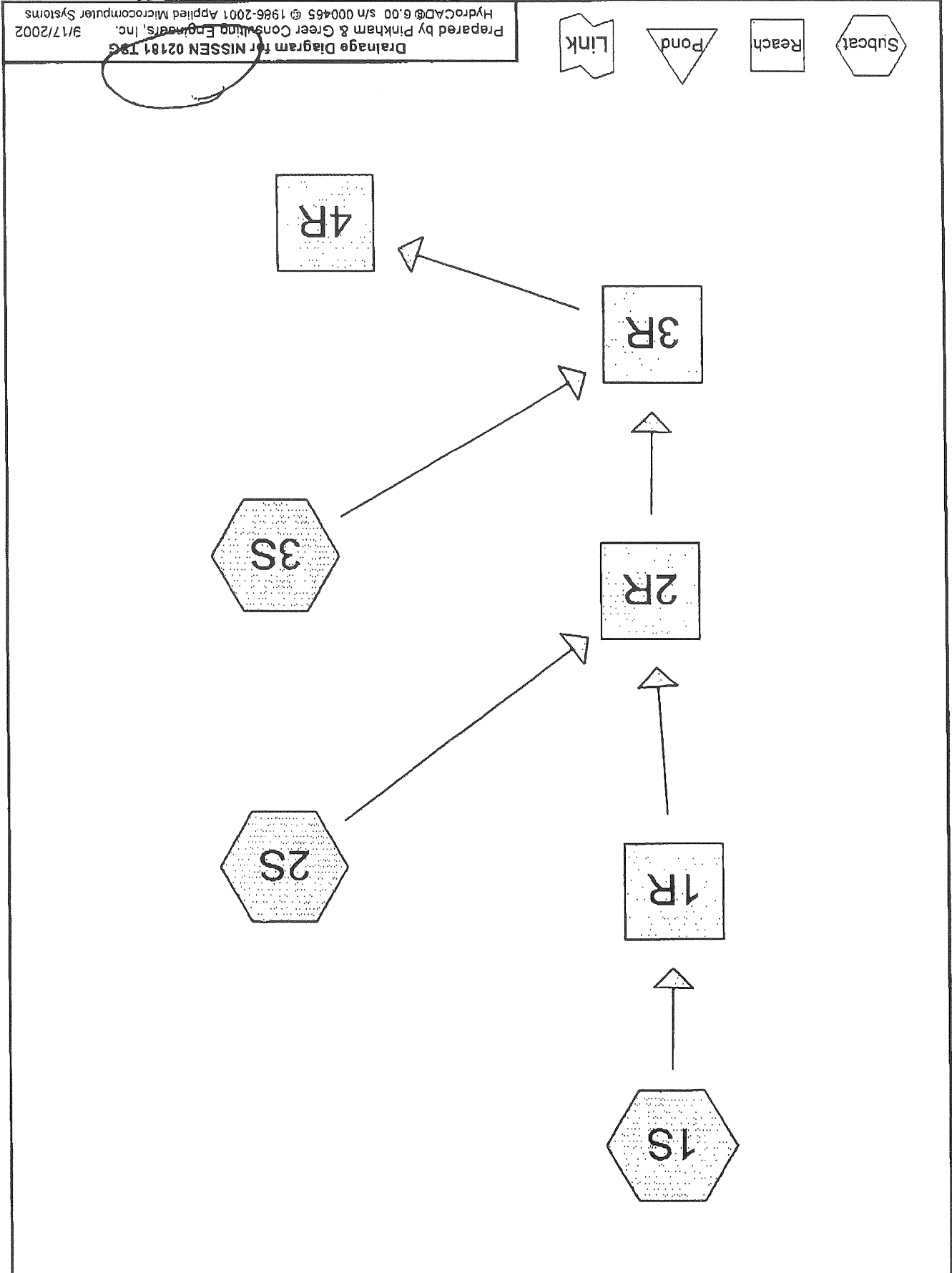


120 EXCHANGE STREET PORTLAND, MAINE 04101

(207) 879-1358

TO: JONATHAN SPENCE

FROM: LOU WOOD



**NISSEN 02181 TSG**

Type III 24-hr Rainfall=4.70"

Prepared by Pinkham & Greer Consulting Engineers, Inc.  
 HydroCAD® 6.00 s/n 000465 © 1986-2001 Applied Microcomputer Systems

Page 1  
 9/17/2002

**Subcatchment 1S: UPPER PARKING**

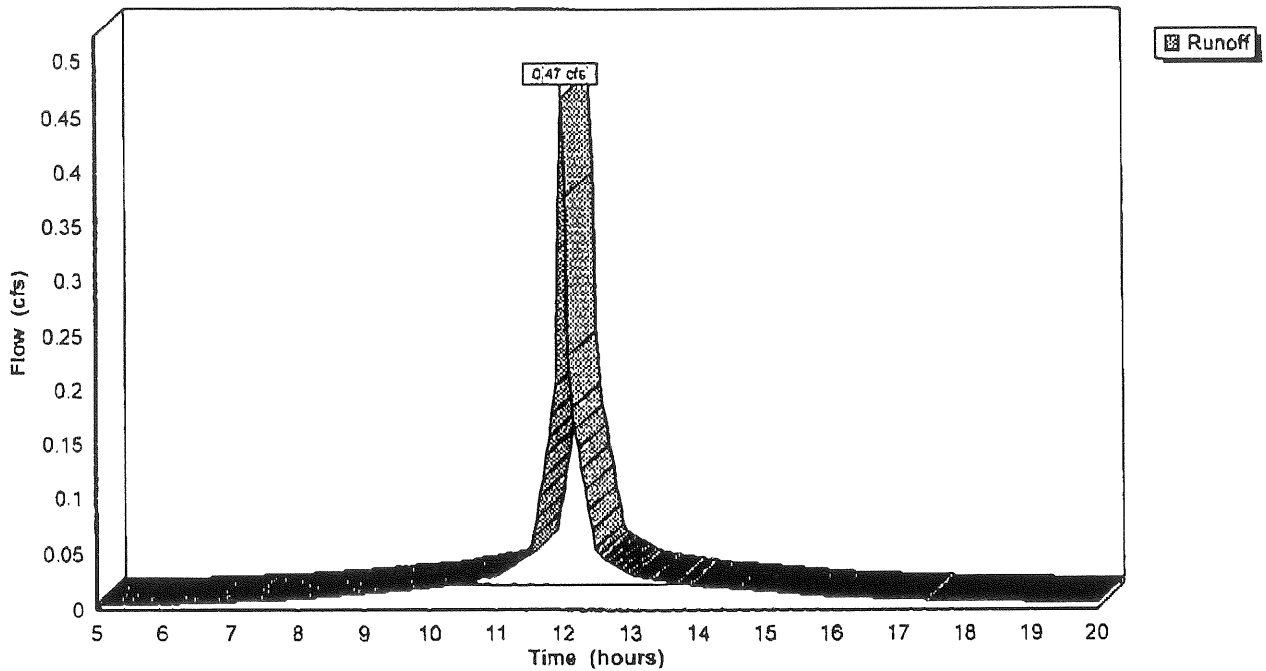
Runoff = 0.47 cfs @ 12.01 hrs, Volume= 0.031 af

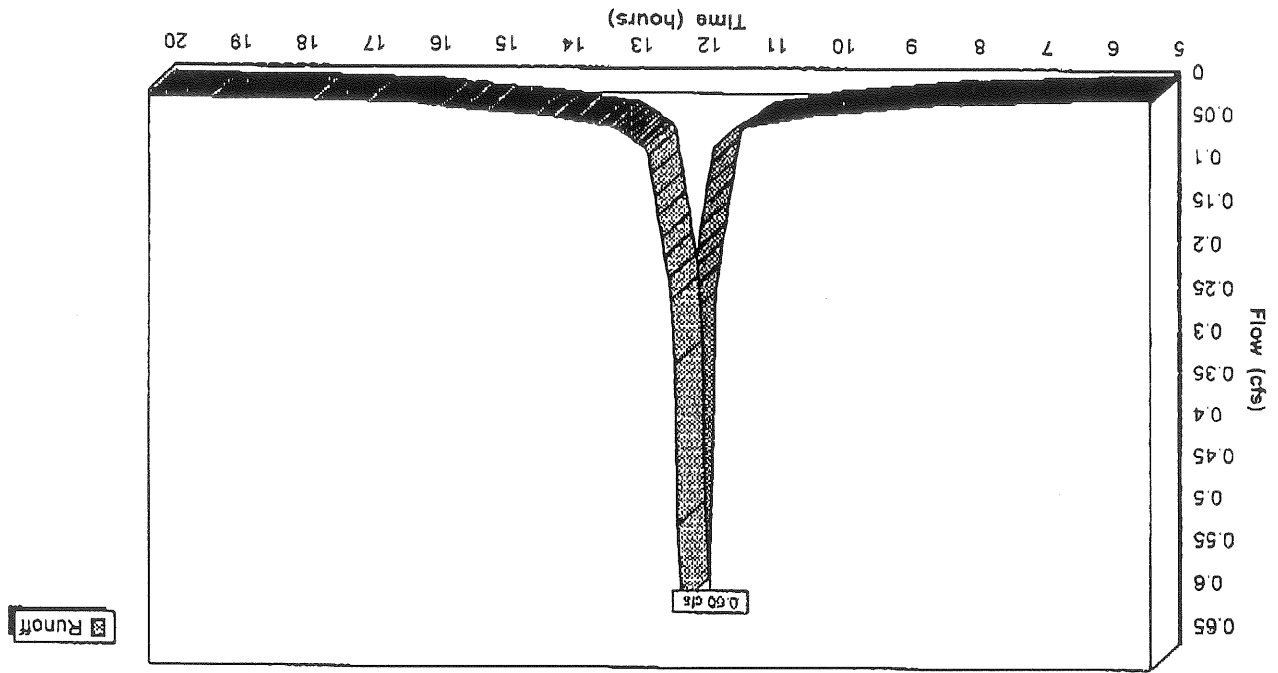
Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 Type III 24-hr Rainfall=4.70"

Area (sf)	CN	Description
3,900	98	PAVED

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.5	60	0.0600	1.9		Sheet Flow, SHEET Smooth surfaces n= 0.011 P2= 3.00"

**Subcatchment 1S: UPPER PARKING**





**Subcatchment 2S: MIDDLE PARKING**

Smooth surfaces n=0.011 P2=3.00"

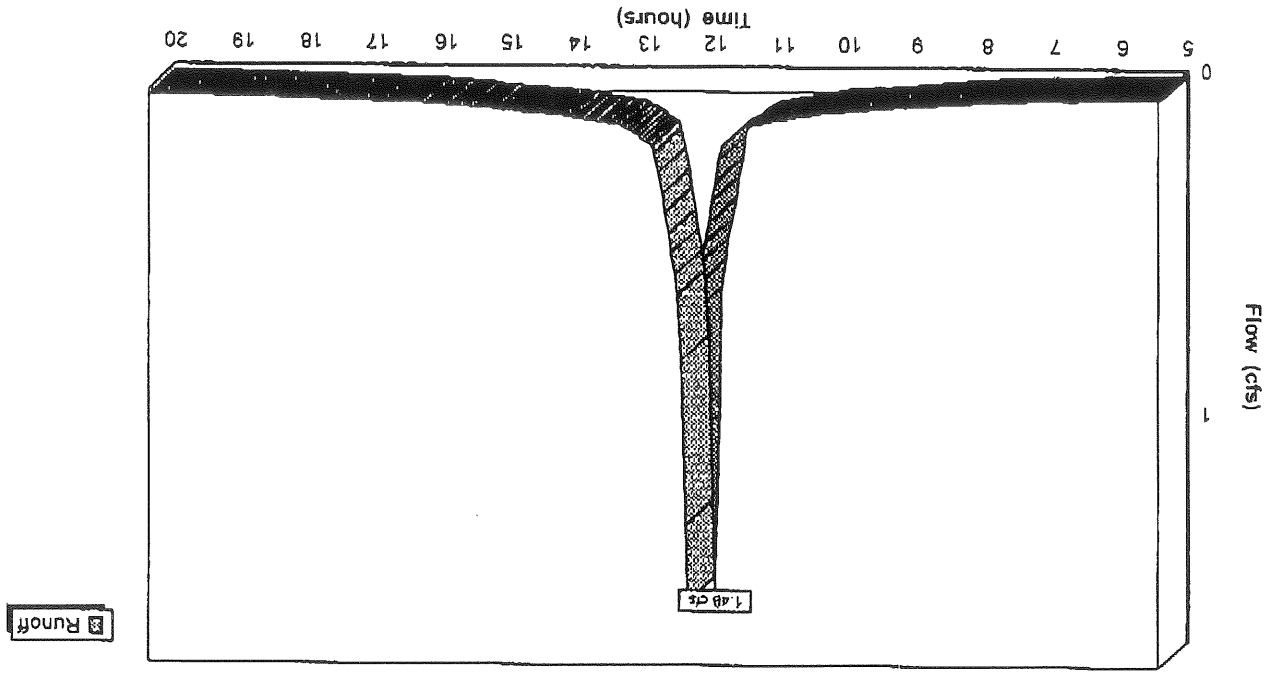
Area (sf)	CN	Description
5,040	98	PAVED
Tc Length (min)	90	0.0500
Slope (ft/ft)	1.9	
Velocity (ft/sec)		
Capacity (cfs)		
Description		
Sheet Flow, SHEET		

Runoff by SCS TR-20 method, UH=SCS, Time Span=5.00-20.00 hrs, dt=0.05 hrs  
 Type III 24-hr Rainfall=4.70"

Runoff = 0.60 cfs @ 12.01 hrs, Volume= 0.040 af

**Subcatchment 2S: MIDDLE PARKING**





Subcatchment 3S: LOWER PARKING

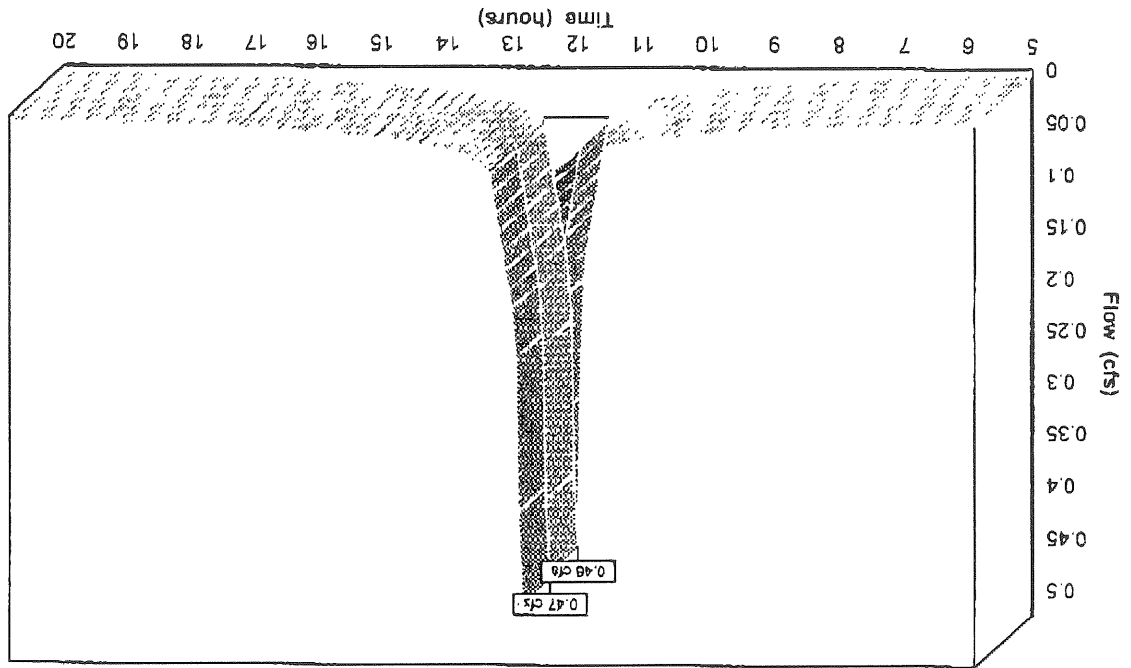
Smooth surfaces n=0.011 P2=3.00"

Area (sf)	CN Description	Tc Length (min)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12,500	98 PAVED	0.8	0.0800	2.4		Sheet Flow, SHEET

Runoff by SCS TR-20 method, UH=SCS, Time Span=5.00-20.00 hrs, dt=0.05 hrs  
 Type III 24-hr Rainfall=4.70"

Runoff = 1.48 cfs @ 12.01 hrs, Volume= 0.099 af

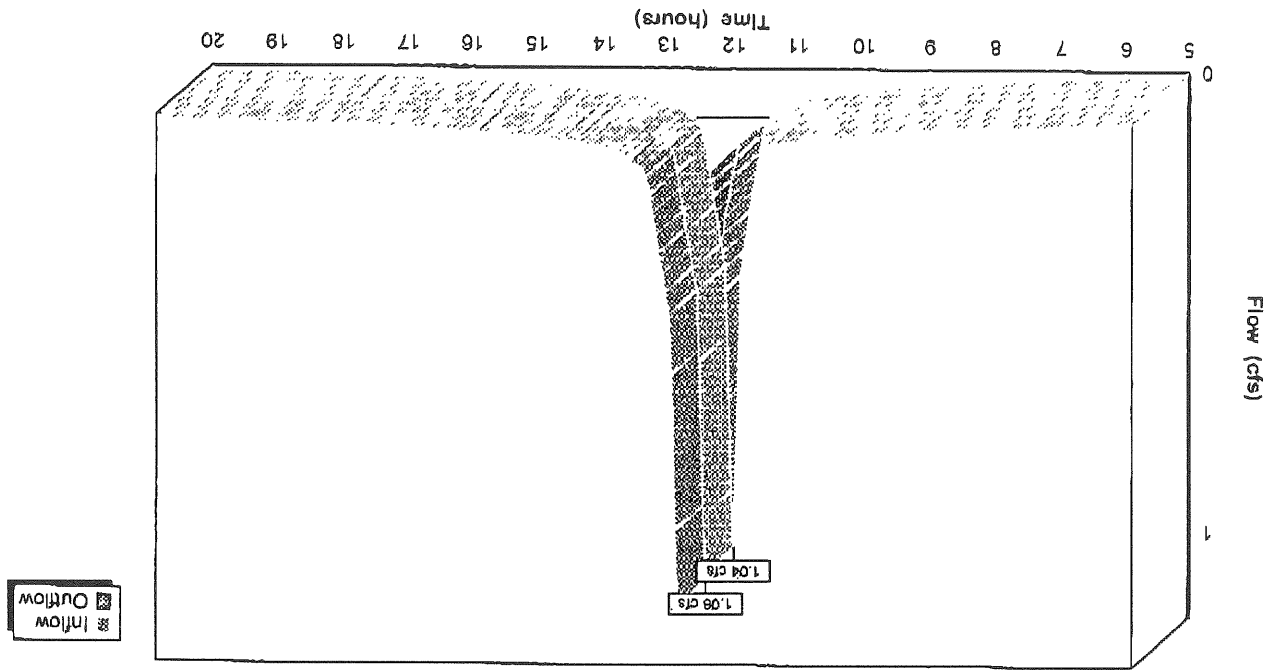
Subcatchment 3S: LOWER PARKING



**Reach 1R: CB 3 TO CB2**

Routing by Stor-Ind+Trans method, Time Span=5.00-20.00 hrs, dt=0.05 hrs  
 Max. Velocity=7.8 fps, Min. Travel Time=0.1 min  
 Avg. Velocity=2.9 fps, Avg. Travel Time=0.4 min  
 Peak Depth=0.13'  
 Capacity at bank full=13.10 cfs  
 12.0" Diameter Pipe n=0.010 Length=68.0' Slope=0.0800 %  
 Inflow = 0.47 cfs @ 12.01 hrs, Volume= 0.031 af  
 Outflow = 0.46 cfs @ 12.01 hrs, Volume= 0.031 af, Atten=1%, Lag=0.2 min

**Reach 1R: CB 3 TO CB2**

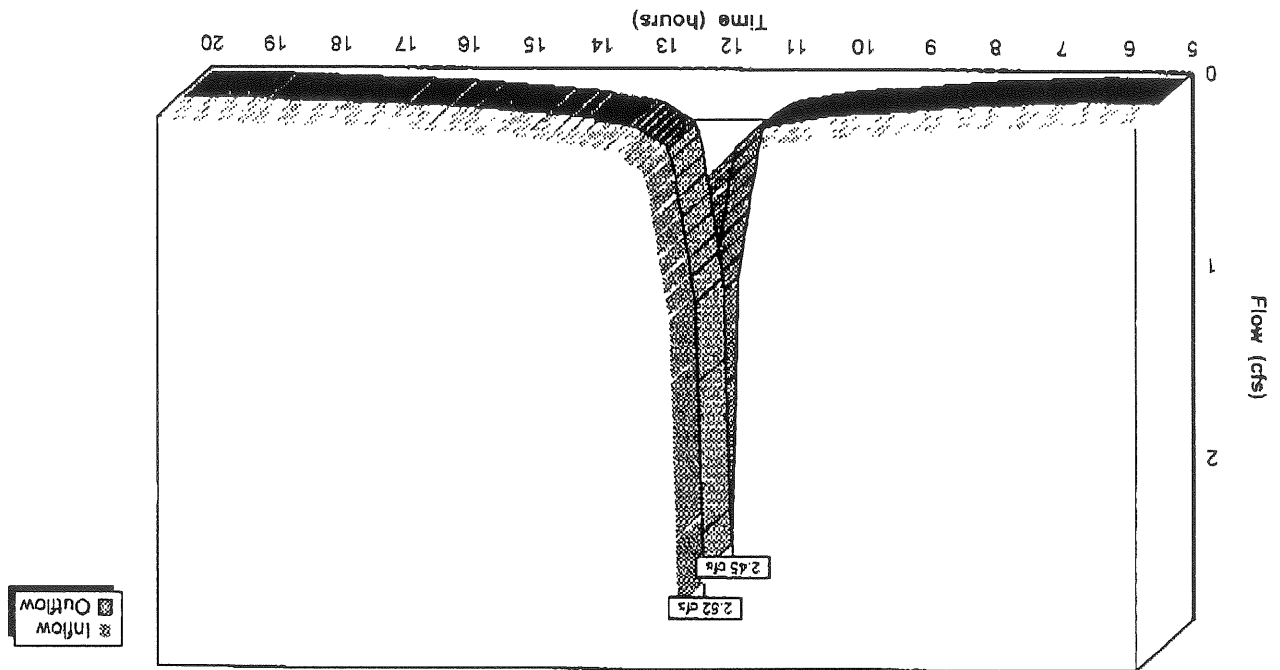


**Reach 2R: CB 2 TO CB 1**

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 Max. Velocity= 8.5 fps, Min. Travel Time= 0.1 min  
 Avg. Velocity = 3.1 fps, Avg. Travel Time= 0.4 min  
 Peak Depth= 0.22'  
 Capacity at bank full= 10.36 cfs  
 12.0" Diameter Pipe n= 0.010 Length= 71.0' Slope= 0.0500 %

Inflow	=	1.06 cfs @ 12.01 hrs, Volume= 0.071 af
Outflow	=	1.04 cfs @ 12.01 hrs, Volume= 0.071 af, Atten= 2%, Lag= 0.2 min

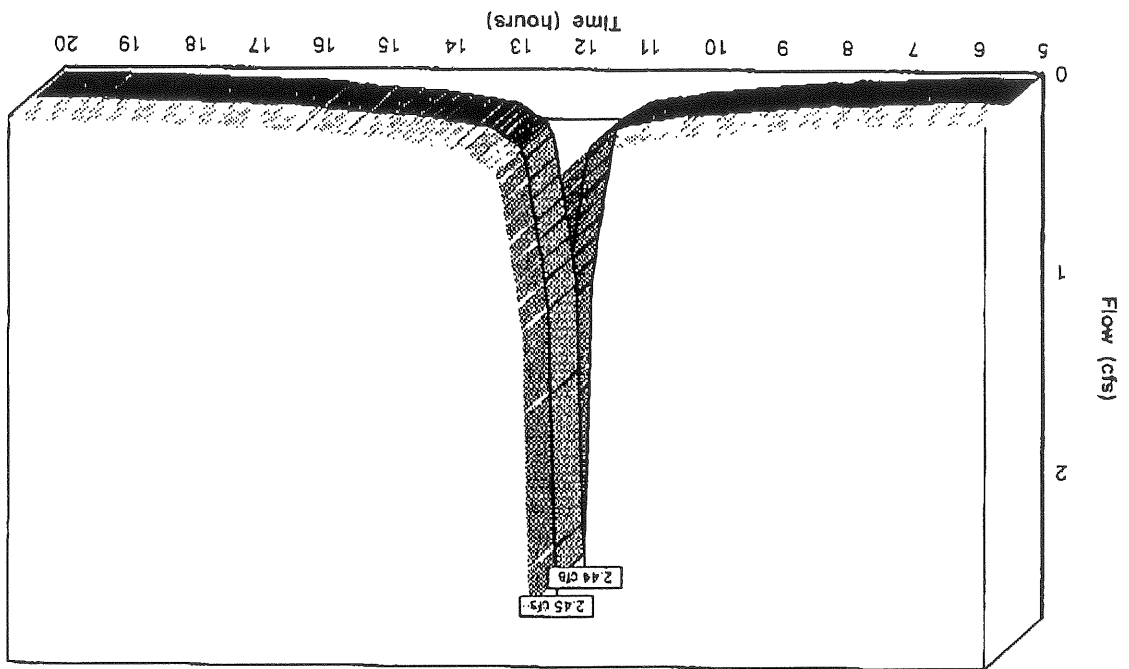
**Reach 2R: CB 2 TO CB 1**



Reach 3R: CB 1 TO OIL/GRIT

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 Max. Velocity= 6.0 fps, Min. Travel Time= 0.3 min  
 Avg. Velocity = 2.3 fps, Avg. Travel Time= 0.7 min  
 Peak Depth= 0.52'  
 Capacity at bank full= 4.63 cfs  
 12.0" Diameter Pipe n= 0.010 Length= 96.0' Slope= 0.0100 %  
 Inflow = 2.52 cfs @ 12.01 hrs, Volume= 0.170 af  
 Outflow = 2.45 cfs @ 12.02 hrs, Volume= 0.170 af, Atten= 3%, Lag= 0.5 min

Reach 3R: CB 1 TO OIL/GRIT  
 10 yr flow



**Reach 4R: OIL/GRIT TO CB IN STREET**

Inflow = 2.45 cfs @ 12.02 hrs, Volume = 0.170 af  
 Outflow = 2.44 cfs @ 12.02 hrs, Volume = 0.170 af, Atten=0%, Lag=0.1 min

Routing by Stor-Ind+Trans method, Time Span=5.00-20.00 hrs, dt=0.05 hrs  
 Max. Velocity=5.8 fps, Min. Travel Time=0.0 min  
 Avg. Velocity=2.2 fps, Avg. Travel Time=0.1 min

Peak Depth=0.43  
 Capacity at bank full=13.66 cfs  
 18.0" Diameter Pipe n=0.010 Length=16.0' Slope=0.0100 %

**Reach 4R: OIL/GRIT TO CB IN STREET**

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points  
Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=2.50"  
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: UPPER PARKING

Tc=0.5 min CN=98 Area=3,900 sf Runoff= 0.24 cfs 0.016 af

Subcatchment 2S: MIDDLE PARKING

Tc=0.8 min CN=98 Area=5,040 sf Runoff= 0.31 cfs 0.021 af

Subcatchment 3S: LOWER PARKING

Tc=0.8 min CN=98 Area=12,500 sf Runoff= 0.78 cfs 0.051 af

Reach 1R: CB 3 TO CB2

Inflow= 0.24 cfs 0.016 af  
Length= 68.0' Max Vel= 6.5 fps Capacity= 13.10 cfs Outflow= 0.24 cfs 0.016 af

Reach 2R: CB 2 TO CB 1

Inflow= 0.55 cfs 0.036 af  
Length= 71.0' Max Vel= 7.0 fps Capacity= 10.36 cfs Outflow= 0.54 cfs 0.036 af

Reach 3R: CB 1 TO OIL/GRIT

Inflow= 1.32 cfs 0.087 af  
Length= 96.0' Max Vel= 5.0 fps Capacity= 4.63 cfs Outflow= 1.27 cfs 0.087 af

Reach 4R: OIL/GRIT TO CB IN STREET

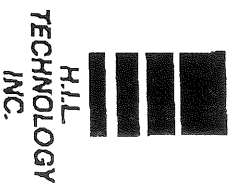
Inflow= 1.27 cfs 0.087 af  
Length= 16.0' Max Vel= 4.8 fps Capacity= 13.66 cfs Outflow= 1.27 cfs 0.087 af

Runoff Area = 0.492 ac Volume = 0.087 af Average Depth = 2.13"

## Downstream Defender™ Design Chart (Imperial)

UNIT DIAMETER (feet)	DESIGN FLOW <sup>1/</sup> CAPACITY		INLET PIPE DIAMETER (inches)	OUTLET PIPE DIAMETER (inches)	HEADLOSS <sup>2</sup> @DESIGN FLOW (inches)	HEADLOSS @CAPACITY (inches)	WEIGHT FULL (lbs)	WEIGHT EMPTY <sup>3</sup> (lbs)	OIL STORAGE CAPACITY (gallons)	SEDIMENT STORAGE CAPACITY (cy)	UNIT DIAMETER (feet)
	(cfs)	(gpm)									
4	0.75/3.0	330/1,350	8	12	3	23	13,200	10,000	70	0.70	4
6	1.5/6.0	1,350/3,590	12	18	7	33	32,800	22,400	230	2.10	6
8	7.00/15.0	3,140/6,730	18	24	9	23	63,000	39,000	525	4.65	8
10	13.0/25.0	5,830/11,220	24	30	10	22	140,300	94,000	1,050	8.70	10

1. Based on 90% removal of all particles with specific gravity of 2.65 down to 150 microns.
2. Headloss is defined as the difference between the top water level upstream and the top water level downstream of the unit.
3. Weights are calculated with stainless steel internal components. Components are also available in polypropylene.
  - AutoCAD drawings and WordPerfect specification available on disk.
  - For pricing, delivery, and custom designs, please call H.I.L. Technology, Inc., Proposal Engineering Department.



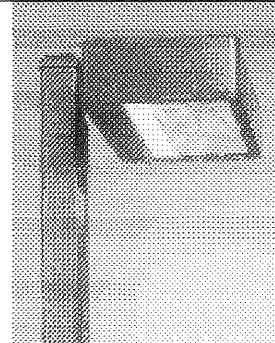
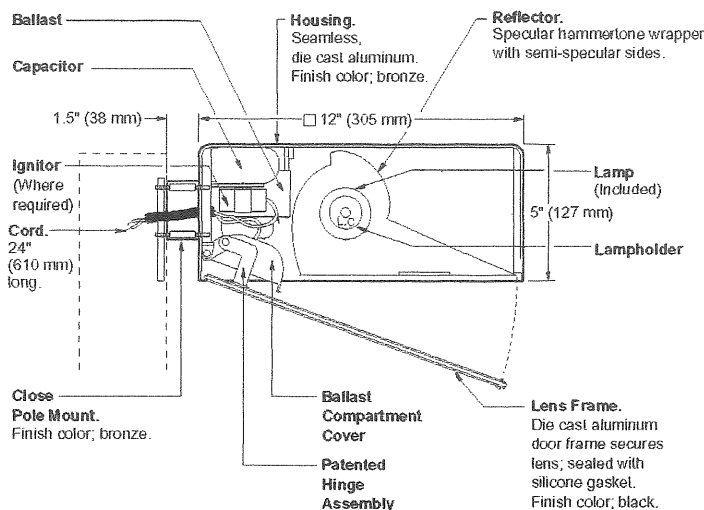
H.I.L. TECHNOLOGY INC., 94 Hutchins Drive, Portland, ME 04102 • (207) 756-6200 • (207) 756-6212 (Fax) • E-mail: hitech@hil-tech.com

HPDRD PRO

1-1/2" CLOSE POLE MOUNT

# 12" (305 mm) AREA CUTOFF FLOOD

AC1-12  
SERIES



SPEC #	WATTAGE	CATALOG #
<b>UNI-FORM® PULSE START METAL HALIDE</b>		
	125W PSMH	MAC1612-(a)(b)
	150W PSMH	MAC1615-(a)(b)
<b>METAL HALIDE</b>		
	50W MH	MAC1405-(a)(b)
	70W MH	MAC1407-(a)(b)
	100W MH	MAC1410-(a)(b)
	175W MH	MAC1417-(a)(b)
<b>HIGH PRESSURE SODIUM</b>		
	35W HPS	MAC1503-(a)(b)
	50W HPS	MAC1505-(a)(b)
	70W HPS	MAC1507-(a)(b)
	100W HPS	MAC1510-(a)(b)
	150W HPS	MAC1515-(a)(b)

Specify (a) Voltage & (b) Options.

(a) VOLTAGE SUFFIX KEY	
<b>D</b>	120/277V (Standard: 125W PSMH; 50 – 100W MH, 50W HPS)
<b>M</b>	120/208/240/277V (Standard: 150W PSMH; 175W MH, 70 – 150W HPS)
<b>T</b>	120/277/347V (Canada Only) (Standard: 150W PSMH; 70 – 175W MH, 70 – 150W HPS)
<b>1</b>	120V (Standard: 35W HPS)
<b>2</b>	277V
<b>27</b>	277V Energy Saving Ballast (ESB) (150W PSMH Only)
<b>3</b>	208V
<b>4</b>	240V
<b>5</b>	480V (175W MH; 70 – 150W HPS)
<b>6</b>	347V (Canada Only)

For voltage availability outside the U.S. and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized Int'l Distributor.

(b) OPTIONS (factory installed)	
<b>-(a)F</b>	Fusing
<b>-(a)P</b>	Button Photocell
<b>-5P</b>	External Photocell (for 480V)
<b>Q</b>	Quartz Standby (includes 100W quartz lamp) (N/A on 277V ESB)

Specify (a) Single Voltage — See Voltage Suffix Key.

### GENERAL DESCRIPTION

60° forward throw sharp cutoff luminaire for HID lamp, totally enclosed. Housing is seamless, die cast aluminum. Mounting consists of a 1.8" (44 mm) wide by 2.5" (64 mm) high by 1.5" (38 mm) long extruded aluminum arm. The arm is held in place with two 3/8" (9 mm) mounting rods fastened to a steel backing plate inside the pole, and by two nuts inside the fixture housing. Mounting rods are provided with sealing washers to prevent water leakage. Lens assembly consists of rigid aluminum frame and high impact, clear tempered glass.

### ELECTRICAL

Fixture includes clear, medium base lamp. Pulse-rated porcelain enclosed, 4kv rated screw shell type lampholder. Lamp ignitor included where required. All ballast assemblies are high power factor and use the following circuit types:

*Energy Saving Ballast (ESB) (277V PSMH)*  
150W PSMH

*Reactor*  
120V: 35 – 150W HPS

*HX — High Reactance*  
50 – 100W MH; 50 – 150W HPS

*CWA — Constant Wattage Autotransformer*  
125 & 150W PSMH; 175W MH

### LABELS

ANSI lamp wattage label supplied, visible during relamping. UL Listed in U.S. and Canada for wet locations and enclosure classified IP65 per IEC 529 and IEC 598.

### FINISH

Exclusive DeltaGuard® finish features an E-Coat epoxy primer with bronze acrylic powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our 7 year limited warranty.

### PATENT

U.S. 4,689,729

### ACCESSORIES

<b>FWG-12</b>	Wire Guard
<b>SBL-12</b>	Backlight Shield

9201 Washington Avenue Racine, Wisconsin 53406-3772 U.S.A.

PHONE (262) 886-1900

FAX (262) 884-3309

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www.ruudlighting.com

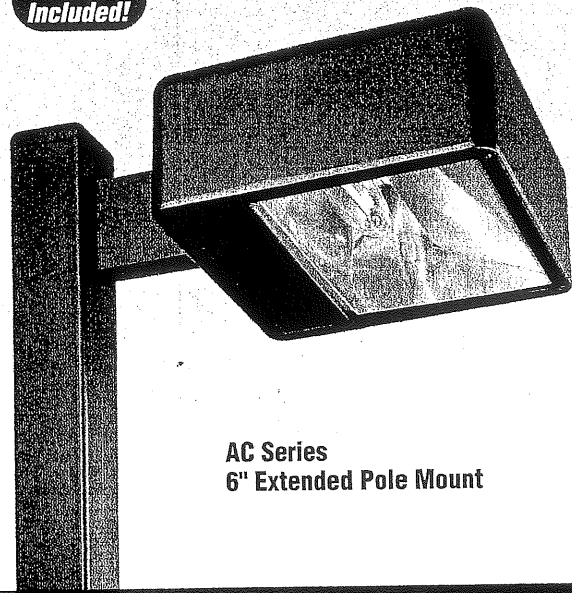
10/23/00



TO BE MOUNTED ON 3" SQ OR 3" ROUND STEEL POLE



**Lamp  
Included!**



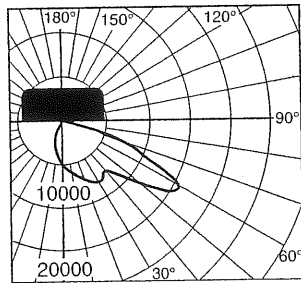
**AC Series  
6" Extended Pole Mount**

**Area Cutoff Floodlight**

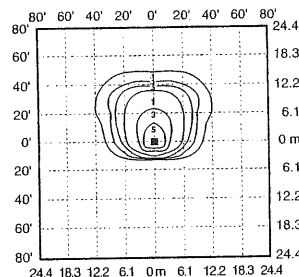
This compact forward-throw reflector has a main beam of 60°+ from vertical (30° from horizontal), providing wide lateral distribution and excellent uniformities. A Backlight Shield accessory (standard on Wall Mount) permits precise cutoff adjustability.

**Three Sizes:**

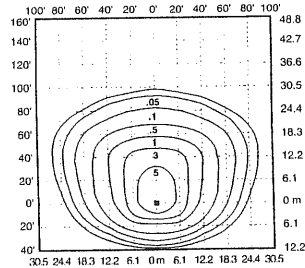
- 12" square x 5" deep (305 x 127 mm)
- 16" square x 6.5" deep (406 x 165 mm)
- 22" square x 9.25" deep (559 x 235 mm)



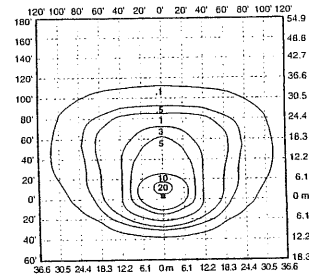
Candlepower distribution curve of 400W MH 16" Area Cutoff Floodlight.



Isofootcandle plot of 175W MH Area Cutoff Floodlight at 15' (4.6 m) mounting height, 0° tilt above horizontal, with backlight shield located for backlight cutoff.



Isofootcandle plot of 400W MH Area Cutoff Floodlight at 25' (7.6 m) mounting height, 0° tilt above horizontal, with backlight shield removed.



Isofootcandle plot of 1000W MH Area Cutoff Floodlight at 30' (9.1 m) mounting height, 0° tilt above horizontal, with backlight shield removed.



02P164

**TO:** Jonathan Spence - Planner  
**FROM:** Jim Seymour  
Development Review Coordinator, Sebago Technics, Inc.  
**RE:** A & M Partners, LLC-Former Nissen Bakery Parking Renovation  
**DATE:** September 3, 2002

---

Sebago Technics has reviewed the Site Plan package, as submitted by A & M Partners for the Parking Renovations at the Former Nissen Bakery on the property located at 59 Washington Avenue. The following comments are organized by submitted drawing:

**Drawing C-1, Layout Plan**

- ✓ • The plan should label the extent of work (LF or SF) that is proposed in the City's Right-of-Way, such as sidewalks, ramps, curbing and pavement cuts.
- ✓ • The handicap parking stalls signs shall be labeled.
- ✓ • Will all of the existing fencing on site be removed?
  - Who has ownership of the accessory building associated at #26 Marion Street. If no rights or easements exist will the building be relocated to meet current zoning laws or will the current Owners continue to allow its nonconformance onto their property. This may require more survey or deed research.

**Drawing C-2, Grading and Utility Plan**

- ✓ • Please show general layout of electrical services to proposed light poles.
- ✓ • Please show locations where silt fencing shall be installed for sediment transport protection.
- ✓ • All steep slopes that are to be grassed shall be protected with an erosion control blanket or mesh.
- ✓ • A separate drain structure may be needed to collect runoff before being treated by the proposed Downstream Defender.

**Drawing C-3, Details**

- ✓ • A detail of the handicap parking space icon and sign is needed

# H.I.L. Technology, Inc. offers a cost-effective alternative for treating stormwater runoff.

The Downstream Defender™ is a treatment device designed to capture settleable solids, floatables, oils and grease from stormwater runoff. More versatile than conventional stormwater treatment systems, Downstream Defenders require a fraction of the land area of storage tanks and detention ponds. Standard sizes are available, each designed to treat a predetermined design flow to a predetermined solids removal efficiency based on particular solids grading curves.

The Downstream Defender is simple, effective, and economical.

## SIMPLE

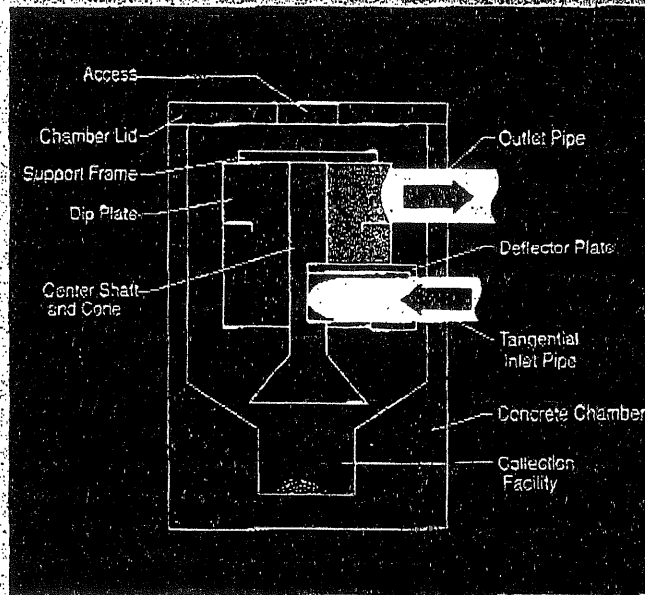
### How it Works

The Downstream Defender consists of a concrete cylindrical vessel with a sloping base and internal components.

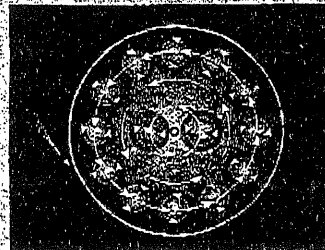
Raw liquid is introduced tangentially into the side of the cylinder and spirals down the perimeter allowing heavier particles to settle out by gravity and the drag forces on the wall and base of the vessel.

The base of the Downstream Defender is formed at a 30 degree angle. As the flow rotates about the vertical axis, solids are directed towards the base of the vessel where they are stored in the collection facility. The internal components direct the main flow away from the perimeter and back up the middle of the vessel as a narrower spiraling column rotating at a slower velocity than the outer downward flow.

A dip plate is suspended from the underside of a component support frame. This dip plate serves two purposes:  
 1.) It locates the shear zone, the interface between the outer downward circulation and the inner upward circulation where a marked difference in velocity encourages



Diagrammatic Cutaway

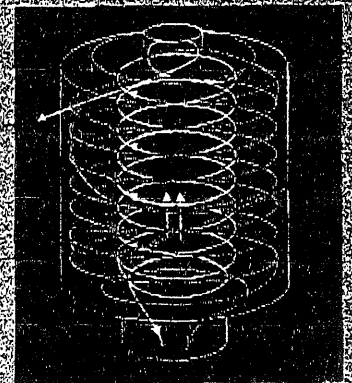


Flow Pattern Plan View

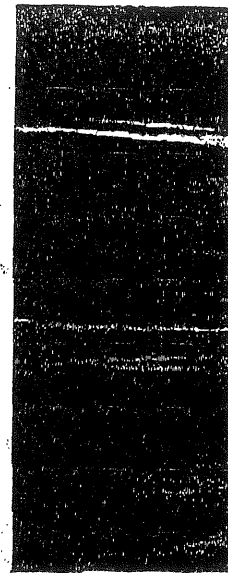
solids separation and 2.) It establishes a zone between the inner and the outer wall for floatables, oil and grease capture.

By the time the flow reaches the top of the vessel, it is virtually free of solids and is discharged through the outlet pipe.

A simple pump and procedure is used to periodically remove the floatables and solids from the collection facility.



Flow Pattern Profile



Date	9/12	# of pages	3
From	TSG	Co.	
Phone #		Phone #	
Fax #		Fax #	

Post-it® Fax Note 7671

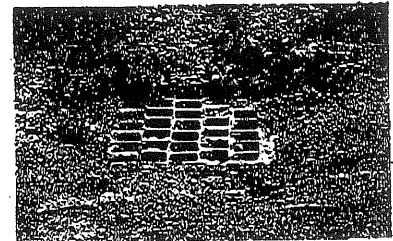
To: L. Wood

EFFECTIVE

**Performance**

The Downstream Defender regulates both the quality and quantity of stormwater runoff for more effective pollution control. Each installation is designed to achieve the performance objectives set forth in the U.S. EPA's National Pollutant Discharge Elimination System (NPDES) requirements.

- Typical results show overall removal efficiencies in excess of 90% of particles greater than 150 microns.
- It retains floatables, oils and grease.
- Interception of the first flush – a bypass is available.
- Headloss across the Downstream Defender is typically less than 12".
- Used with the Reg-U-Flo® Vortex Valve to maximize storage in the collection system, it provides an effective control of quantity and improves the quality of stormwater discharges.



According to the 1992 U.S. EPA Needs Survey, stormwater runoff from urban areas significantly impairs the Nation's surface water quality.

**Design**

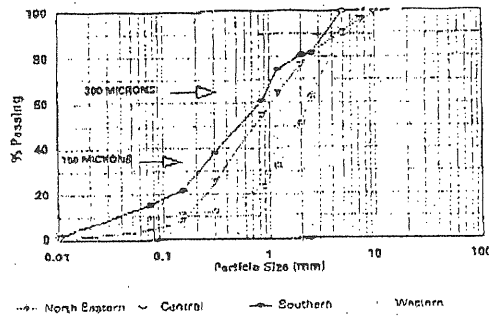
**Preliminary Sizing Chart**

Unit Diameter (feet)	Approximate Flow Range* (cfs)
4	0 - 0.75
6	0.75 - 3
8	3 - 7
10	7 - 13

\* Based on 90% removal of all particles with a specific gravity of 2.65 down to 150 microns.

**GRIT CHARACTERISTICS**

North American Influent Solids Grading



**Design Procedure**

**On receipt of:**

- Design Flow
- Peak Flow
- Required particle removal efficiency
- Available grit gradation information
- Site Plan and Elevations

**We provide free of charge:**

- Recommended size of Downstream Defender
- Proposals and Specifications
- Installation Drawings
- Quotation for the design and supply of the Downstream Defender

389 Congress Street, 4<sup>th</sup> Floor  
Portland, ME 04101  
(207)874-8721 or (207)874-8719  
Fax: (207)756-8258

**City of Portland  
Planning and Development Department  
Planning Division**

# Fax

<b>To:</b>	<b>Lou Wood</b>	<b>Company:</b>	
<b>Fax:</b>	<b>874-6988</b>	<b>Date:</b>	<b>9-19-2002</b>
<b>From:</b>	<b>Jonathan Spence</b>		

**Good Morning Lou-**

This fax memo is concerning the Nissen Parking Lot project. Unfortunately, in our rush to get this project approved and on its way, comments from Tony Lombardo were overlooked. Please have Tom Greer incorporate the following two comments into the plans in addition to Mr. Seymour's requirements concerning the Downstream Defender.

1. The applicant proposes an 18 inch diameter inlet connection into the City's catch basin in Washington Avenue. This existing catch basin is a brick structure and the outlet pipe from this structure is smaller than 18 inches in diameter. Therefore, in order to maintain the structural integrity of the City's catch basin and due to the smaller diameter of the structure's outlet pipe, Public Works is requiring that the applicant outlet their site drainage directly into the combined sewer in Washington Avenue. As a result, the City's sewer must appear on the plans and the corresponding pipe and connection must also be specified. An appropriate connection detail must appear on the detail sheet.

2. Public Works is requesting that the applicant revise the plans to specify brick sidewalk construction to match the abutting sidewalk. An appropriate construction detail must appear on the plans.

I apologize for the unanticipated cost and time this is resulting in. Please have 7 sets of the revised plans delivered and contact Jay Reynolds to schedule a pre-construction meeting.

Please contact me if you have any questions.

Thank you.

Jonathan Spence

756-8083

389 Congress Street, 4<sup>th</sup> Floor  
Portland, ME 04101  
(207)874-8721 or (207)874-8719  
Fax: (207)756-8258

**City of Portland  
Planning and Development Department  
Planning Division**

# Fax

<b>To:</b>	<b>Lou Wood</b>	<b>Company:</b>	
<b>Fax:</b>	<b>874-6988</b>	<b>Date:</b>	<b>9-05-2002</b>
<b>From:</b>	<b>Jonathan Spence</b>		

**Good Morning Lou-**

**Attached please find a copy of Jim Seymour's comments. I am anxious to move this along but we need to still follow the steps.**

**Here is an encapsulation of Jeff Tarling's comments.**

- 1. Make all street trees the same species.**
- 2. Place 3 Austrian Pines and some Sea Green Juniper in the area between the upper and lower lots.**
- 3. When plantings daylilies be sure to have a large number of specimens.**

**One last thing. I have the photometrics but no catalog cuts. Please forward those to me.**

**Please contact me if you have any questions.**

**Thank you.**

**Jonathan Spence**

**756-8083**

You should receive   3   page(s), including this cover sheet. If you do not receive all of the pages, please call (207)874-8721.

- ✓ • A detail of the proposed retaining wall and Catch Basin is needed. If the wall is going to be designed by a structural engineer this may be included with the Building Permit Submittal or as part of the manufacturers design.

#### **Drawing C-4, Details**

- ✓ • The detail for the Downstream Defender should indicate the size of particulate to be removed, the design flow rate it can handle, and proposed sediment removal efficiency. Also can the structure act both as a catch basin and oil/grit separator and perform to the documented levels?

#### **Remaining Issues**

The submitted application will need both a Landscape Plan and Lighting Plan. Please check with the Planner regarding issues with these requirements.

Overall I was very impressed with the revisions made and feel that most of these comments are minor detail corrections with exception to the accessory structure encroachment by the Property at 26 Marion Street. Please feel free to contact me with any questions.

TS:tc/jc

200 @ 0164

# City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: <b>59 WASHINGTON AVE</b>		Zone: <b>B4</b>
Total Square Footage of Proposed Structure <b>EXISTING - 152,635</b>		Square Footage of Lot <b>131,978</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>13      <del>113</del>      043</b>	Property owner, mailing address: <b>ATM PARTNERS, LLC      04101</b> <b>120 EXCHANGES ST, PORTLAND, ME</b>	Telephone: <b>7752100</b>
Consultant/Agent, mailing address, phone & contact person <b>SAME (MICHAEL SCARBS)</b>	Applicant name, mailing address, telephone #/Fax#/Pager#: <b>SAME</b> <b>FAX 8746988</b>	Project name: <b>NISSAN OFFICE COMPLEX</b>
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input checked="" type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots <input type="checkbox"/> \$25.00 per lot \$ _____ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00  Major Development _____ \$500.00      Minor Development <input checked="" type="checkbox"/> \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00		
Who billing will be sent to: <b>SAME AS ABOVE</b> Mailing address: State and Zip: _____      Contact person: _____      Phone: _____		

Submittals shall include (9) separate folded packets of the following:

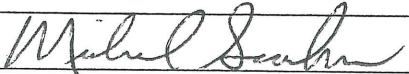
- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

### ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <b>7/22/02</b>
---	----------------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.



## NISSEN'S OFFICE COMPLEX – PROJECT SUMMARY

The site plan approval A & M Partners, LLC is seeking for is “change of use” to increase the amount of space used for office and to improve the existing parking lot at the north end of the building.

This parking lot will continue to be accessed from Washington Avenue, Romasco Street (Larch Street), and Marion Street. The existing grading will be changed to allow grade level access to the new main entry on the north face of the main building. This new entrance will serve a new elevator lobby. The approximate number of spaces in this parking lot will remain the same (70+/-) but will be re-configured to include better traffic flow, pedestrian access, and lighting.

The building uses will be repositioned away from bakery/manufacturing and toward office and/or retail space. The space devoted to warehouse/distribution will remain approximately the same at this time. No residential uses are planned.

The total land area of this parcel is 131,978 SF+/-, while the building footprint is about 82,00 SF. The easements that benefit/burden this site are listed on the survey and are primary utility related.

The solid waste will be handled by dumpsters, one for the office users and one for the distribution tenants. The building is currently served by all utilities and consumption of gas, water, and electricity will be greatly reduced from the former Bakery use. There are no changes to the current drainage of the parking lot which drains toward Washington Avenue, other than adding a basin at each relocated entrance on Washington Avenue to intercept surface waste before reaching Washington Avenue. The parking lot construction will start as soon as approvals are granted with final paving taking place before Thanksgiving. We would like to begin the improvement in early September. There are no State or federal permits anticipated for this work.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

**2002-0164**  
Application I. D. Number  
**07/23/2002**  
Application Date

**A & M Partners Llc**  
Applicant  
**120 Exchange St, Portland, ME 04101**  
Applicant's Mailing Address  
**Mike Scarks or Lou Wood**  
Consultant/Agent  
**Applicant Ph: (207) 775-2100 Agent Fax: 874-6988**  
Applicant or Agent Daytime Telephone, Fax

**59 - 59 Washington Ave, Portland, Maine**  
Project Name/Description  
Address of Proposed Site  
**013 1043001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**82,00 sq. ft.** **131,978** **B4**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan **\$400.00** Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date **07/23/2002**

**Planning Approval Status:**

Reviewer \_\_\_\_\_

- Approved**  **Approved w/Conditions**  **Denied**  
See Attached

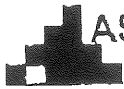
Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

OK to Issue Building Permit \_\_\_\_\_  
signature date

**Performance Guarantee**  **Required\***  **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |



**ASSOCIATED DESIGN  
PARTNERS INC.**

80 Leighton Road, Falmouth, ME. 04105

**F A X M E M O**

DATE: 12/21/07

TO: PHIL D. PIERRO

FAX: 756 - 8258

FROM: A. Wilson

PHONE: 207-878-1751 FAX: 207-878-1788

RE: 6 WASH. AVE COST ESTIMATE  
REVISED

Number of pages including cover sheet: 3

Message

Item	PUBLIC				PRIVATE			
	Quantity	Unit	Unit Cost	Subtotal	Quantity	Unit	Unit Cost	Subtotal
<b>1. STREET/SIDEWALK</b>								
Road/Parking Areas	0			0	1500	SF	4	6000
Curbing	208	LF	30	6240	0			0
Sidewalks	800	SF	10	8000	0			0
Esplanades	0			0	750	SF	2	1500
Monuments	NA			NA	NA			NA
Street Lighting	NA			NA	NA			NA
Street Opening Repairs	640	SF	4	2560	0			0
Other	0			0	0			0
<b>2. EARTH WORK</b>								
Cut	NA			NA	NA			NA
Fill	NA			NA	NA			NA
<b>3. SANITARY SEWER</b>								
Manholes	NA			NA	NA			NA
Piping	10	LF	100	1000	10	LF	100	1000
Connections	1	EA	200	200	2	EA	200	400
Main Line Piping	NA			NA	NA			NA
House Sewer Service Piping	NA			NA	NA			NA
Pump Stations	NA			NA	NA			NA
Grease Trap	0			0	1	EA	4000	4000
<b>4. WATER MAINS</b>								
	50	LF	40	2000	0			0
<b>5. STORM DRAINAGE</b>								
Manholes	NA			NA	NA			NA
Catchbasins	NA			NA	NA			NA
Piping	NA			NA	NA			NA
Detention Basin	NA			NA	NA			NA
Stormwater Quality Units	NA			NA	NA			NA
Other	NA			NA	NA			NA
<b>6. SITE LIGHTING</b>								
	0			0	14	EA	300	4200
<b>7. EROSION CONTROL</b>								
Silt Fence	NA			NA	NA			NA
Check Dams	NA			NA	NA			NA
Pipe Inlet/Outlet Protection	NA			NA	NA			NA
Level Lip Spreader	NA			NA	NA			NA

Slope Stabilization	NA		NA	NA			NA
Geotextile	NA		NA	NA			NA
Hay Bale Barriers	NA		NA	NA			NA
Catch Basin Inlet Protection	NA		NA	NA			NA
<b>8. RECREATION AND OPEN SPACE AMENITIES</b>	NA		NA	NA			NA
<b>9. LANDSCAPING</b> (Attach breakdown of plant materials, quantities, and unit costs)				1	EA	7500	7500
<b>10. MISCELLANEOUS</b>							
Wood Guardrails	0		0	320	LF	10	3200
Stockade Fencing				133	LF	12	1596
Dumpster Pad				100	SF	10	1000
Retaining Wall				20	SF	30	600
			<b>Public Total</b>	<b>\$20,000.00</b>		<b>Private Total</b>	<b>\$30,996.00</b>
			<b>Grand Total</b>	<b>\$50,996.00</b>			

Grand Total → \$50,996 OK  
 1/2/08 *JAD*

Inspection Fee \$ \$1,019.92

Public \$ 400

Private \$ 619.92

total \$1,019.92

**From:** Shukria Wiar  
**To:** Philip DiPierro  
**Date:** 12/12/2007 8:41:16 AM  
**Subject:** Fwd: cost estimate (again)

Here is the cost estimate for Bingas Wingas on Washington Ave. Tehy will be sending the letter of credit as well.

Thanks.

Shukria

>>> "Aaron Wilson" <AWilson@adpengineering.com> 12/11 8:09 AM >>>  
this time with attachment.

Aaron S. Wilson, P.E.  
Structural Engineer

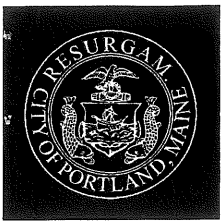
Associated Design Partners, Inc  
80 Leighton Rd  
Falmouth, ME 04105

Ph: 207.878.1751  
Fx: 207.878.1788

12/21/07

Aaron Wilson will be sending a revised Estimate

- Sidewalks ✓
- Fencing ✓
- Dumpster ✓
- retaining Wall ✓



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* <sup>®</sup> [www.portlandmaine.gov](http://www.portlandmaine.gov)

## Planning and Development Department

Lee D. Urban, Director

## Planning Division

Alexander Jaegerman, Director

August 29, 2007

Greg's Properties WashAve, LLC  
C/o Alec Altman  
26 Village Brook Road  
Yarmouth, ME 04096

Aaron Wilson  
Associated Design Partners, Inc.  
80 Leighton Road  
Falmouth, ME 04105

RE: Change of Use, Site Improvements/ Rehab of Existing Building  
CBL: 013 G007001  
Application ID: 2007-0054

Dear Mr. Altman,

On August 27, 2007, the Portland Planning Authority approved a minor site plan for the site improvements and rehabilitation of the existing four-story building currently located at 6 Washington Avenue as shown on the approved plan with the following conditions:

1. The applicant shall submit catalogue cuts of the proposed lighting prior to the issuance of a certificate of occupancy; the proposed lighting fixture shall be in compliance with the City's lighting standards.
2. Parking spaces 18 to 22 shall incorporate the wooden guide rails as proposed on the site for the remaining parking spaces. This is to prevent cars from hitting the abutting residential building at 223 Congress Street and should be shown on the revised plan.
3. The revised final site plan shall not include any crosswalks in the driveways in either parking area.

The approval with conditions is based on the submitted site plan. Seven sets of the final plan meeting conditions #2 and 3 must be submitted for review and approval prior to the issuance of a building permit. The first condition must be met prior to the issuance of a certificate of occupancy. If you need to make any modifications to the approved site plan during the construction period, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at 756-8083 or [shukriaw@portlandmaine.gov](mailto:shukriaw@portlandmaine.gov)

Sincerely,



Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
Philip DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Jeanie Bourke, Inspections Division  
Michael Bobinsky, Public Works Director  
Kathi Earley, Public Works



Bill Clark, Public works  
Jim Carmody, Transportation Manager  
Michael Farmer, Public Works  
Leslie Kaynor, Public Works  
Jeff Tarling, City Arborist  
Captain Greg Cass, Fire Prevention  
Assessor's Office  
Approval Letter File



# PORTLAND MAINE

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Planning and Development Department  
Lee D. Urban, Director

Planning Division  
Alexander Jaegerman, Director

November 30, 2007

Greg's Properties WashAve, LLC  
C/o Alec Altman  
26 Village Brook Road  
Yarmouth, ME 04096

Aaron Wilson  
Associated Design Partners, Inc.  
80 Leighton Road  
Falmouth, ME 04105

Leslie E. Lowry, Esq.  
Jensen Baird Gardner & Henry  
Ten Free Street  
P.O. Box 4510  
Portland, Maine 04112-4510

RE: Rehabilitation of Existing Building  
CBL: 013 G007001  
Application ID: 2007-0054

Dear Mr. Altman,

On August 27, 2007, the Portland Planning Authority approved a minor site plan for the site improvements and rehabilitation of the existing four-story building currently located at 6 Washington Avenue. This approval is still valid with the following conditions:

1. The limit of demolition and the proposed rehabilitation shall be done in accordance with the Leslie Lowery, Esq. email dated November 20, 2007 and accordance with Mr. James Thibodeau, P.E.'s correspondence of November 27, 2007.
2. The demolition permit application, submitted on October 17, 2007 to the Inspection Department, shall be formally withdrawn by the applicant.

This approval is for Portland's site plan review only. Attached is a copy of the stop work order issued by the Inspection Division. You must contact Jeanie Bourke, Director of Inspection Division, to satisfy the City's requirements for releasing the stop work order.

If there are any questions regarding the Planning Divisions review, please contact Shukria Wiar at 756-8083 or [shukriaw@portlandmaine.gov](mailto:shukriaw@portlandmaine.gov)

Sincerely,

Alexander Jaegerman  
Planning Division Director

Attachments:

1. Leslie Lowery, Esq. Dated: November 20, 2007
2. Mr. James Thibodeau, P.E. Dated: November 27, 2007
3. Copy of Stop Work Order Dated: October 25, 2007

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Shukria Wiar, Planner  
Philip DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Jeanie Bourke, Inspections Division  
Jon Rioux, Code Enforcement Officer  
Michael Bobinsky, Public Works Director  
Kathi Earley, Public Works  
Bill Clark, Public works  
Jim Carmody, Transportation Manager  
Michael Farmer, Public Works  
Leslie Kaynor, Public Works  
Jeff Tarling, City Arborist  
Captain Greg Cass, Fire Prevention  
Assessor's Office  
Approval Letter File

**From:** Alex Jaegerman  
**To:** Shukria Wiar  
**Date:** 11/30/2007 11:36:37 AM  
**Subject:** Fwd: 6 Washington Avenue--Site Plan issues

>>> "Leslie E. Lowry" <LLowry@JBGH.com> 11/20/2007 3:00:06 PM >>>  
Alex:

This message follows our conversation from earlier this afternoon regarding the above project.

I subsequently spoke further with Aaron Wilson of ADP to get some more facts. Aaron advised me as follows:

1. The demolition permit that you and I discussed was a 2006 permit for interior demolition. Eric Altman was advised this year that that interior demo permit was still valid as long as some demolition had been undertaken (which apparently was the case).
2. With respect to the rehabilitation of the existing building, approximately 80% of the existing structural components of the existing building will remain. In a number of places, existing structural members will be reinforced. Other areas will be upgraded. All of this work is necessary to make the building building code compliant, as I understand it.
3. Approximately 90% of the existing foundation will remain. Additional foundation wall will be installed inside the existing foundation in order to support the building, as approved.

In reference to the discussion you and I had, it is very clear that the structure of the building is "salvageable." Aaron Wilson is confident of that fact, and reconfirmed to me his written statements to the City, in letters of Oct. 17th and 23rd, that the reason for a requested change to re-construction had to do with financial reasons and not otherwise, i.e. not because the building was not salvageable. The statements in your letter of November 9, 2007, that the building is "unsalvageable" and "replacement of all the major structural elements, the framing, the foundation, the floor joists, and the roof is needed" is a misunderstanding of what was being stated at the meeting and in those letters.

ADP suggests that it submit a building permit application to replace the roof immediately, and that it then will proceed to complete its remaining building permit application process as required by the Site Plan approval. I would appreciate a prompt reply as the weather is not doing anyone any good at this date.

Thank you, as always, for your consideration of this letter, and I truly hope that this can be resolved both quickly and amicably.

Lee

Leslie E. Lowry, Esq.  
Jenson Baird Gardner & Henry  
Ton Free Street  
P.O. Box 4510  
Portland, Maine 04112-4510  
Phone: (207) 775-7271  
Fax: (207) 775-7935

**REQUIRED DISCLOSURE:**

United States Treasury Regulations require us to inform you that any tax advice contained in this communication and any attachment or enclosure is not intended or written by us to be used, and cannot be used, by any taxpayer for the purpose of avoiding tax penalties.

**DISCLAIMER:**

This e-mail and any file or attachment transmitted with it, is only intended for the use of the person and/or entity to whom it is addressed and may contain information that is privileged, confidential, and exempt from disclosure under applicable law. If the recipient of this message is not the intended recipient or otherwise responsible for delivering the message to the intended recipient, be notified that any disclosure, distribution or copying of this information is strictly prohibited. If you received this communication in error, destroy all copies of this message, attachments and/or files in your possession, custody or control and any other copies you may have created, and notify the sender at (207) 775-7271 or at the sender's e-mail address listed above.

November 27, 2007

06202

Mr. Alex Jaegerman  
 Planning Division Director  
 389 Congress St  
 Portland, ME 04101

Re: 6 Washington Ave  
 Portland, ME  
 CBL 013 G007001  
 2007-0054

Dear Mr. Jaegerman;

Associated Design Partners Inc. has prepared the following responses to comments from a letter composed by you dated November 26, 2007 relating to the Bingas Wingas project at 6 Washington Ave. The original comments are in regular type font, with our responses listed in italics. Please contact this office if you have any questions.

1. Please explain how the Bingas Wingas present proposal addresses the limitations imposed by Portland City Code Sec. 14-382 (e) and 385.
  - 1.1 *The City planning department has implied that if the wood framed structure of the existing building is demolished down to the level of the existing foundation, a new site plan approval would be required. Because of the time and costs involved in resubmitting for a new site plan approval, it is desirable for this project to proceed as previously proposed and approved on 8/27/07 – Rehabilitate the existing structure and make site improvements as depicted within the previously approved submission materials. This will be explained in depth in the response to item 2. We offer the following list to illustrate conformance of the prior approved plans with Sec. 14-382 (e). The items have been presented in prior submission material(s).*
    - 1.1.1 *The proposed uses (restaurant & residential) are in conformance with sections 14-182 (a) 2, 14-182 (b) 5 & 6.*
    - 1.1.2 *The existing lot size of 7518sf meets the requirements of sec 14-185 (a) 2 & 4. There is no min. lot size for non-residential uses in the B-2b zone. The min. lot size for 1 dwelling unit above the first floor is 1000sf.*
    - 1.1.3 *The existing street frontage of 143ft is in accordance with 14-185 (b)*
    - 1.1.4 *As stated in the letter from Shukria Wiar, item 14 states that the front and side setbacks are in conformance with the B-2b zone (Sec 14-185 (c) 1 & 3. The rear setback of the existing building is in non-conformance (10ft min setback per 14-185 (c) 2 a). The proposed accessory building has a 5.3ft setback (5ft min per sec. 14-185 (c) 2 b) and subsequently does not increase the non-conformance of the rear setback of the existing building. Sec. 14-436(a) states that building extensions to existing lawfully non-conforming structures are allowed to be constructed to no more than 50% of the first floor footprint of the building. The accessory structure has a proposed one-story area of 530sf, 50% of the existing first floor footprint is 1046sf (measured to the outside of the foundations).*
    - 1.1.5 *The 4ft landscaped area around the parking lot that abuts Washington and Congress satisfies 14-185 I i. Per email from Shukria Wiar dated 7/20/07, the city arborist is not requiring an ornamental fence.*
    - 1.1.6 *Maximum structure height is 45ft per 14-185 (e). The roof of the existing building was (and will be when replaced) 45ft above the average exterior grade.*

- 1.1.7 *The existing impervious surface ratio of the parcel at 6 Wash. Ave is 100%, a mix of asphalt pavement, compacted gravel surface, and buildings. The proposed impervious surface ratio is 95% due to the addition of the landscaping between the parking area and the sidewalk. Per the letter from Marge Schmuckal dated 7/11/07, the proposed 95% impervious surface ratio is acceptable under zoning.*
  - 1.1.8 *The requirements of section 14-186 "Other Requirements" (a thru h) pertain to the site development (not specifically to the proposed modifications, alterations, additions to the existing building, which is the topic of interest discussed here). It is our understanding that the planning department has deemed the proposed re-development in conformance with Sec. 14-186.*
  - 1.1.9 *The use will be contained within an enclosed structure, as required by sec. 14-187 (a), except that an open-air patio is proposed, which we understand will require special licensing from the City.*
  - 1.1.10 *There is a proposed roof top mounted kitchen exhaust fan that produces 53.4 decibels of noise at the unit when operating. This is in conformance with sec. 14-187 (b). This information was provided to Marge Schmuckal after her letter dated 7/11/07 was issued, and as far as we know is acceptable.*
  - 1.1.11 *The proposed use will not generate excessive vibration and heat, meeting the requirements of sec. 14-187 (c).*
  - 1.1.12 *All kitchen exhaust will be ducted and vented to the max. Roof elevation of 45ft to minimize the perceptibility of fumes at the lot boundaries in accordance with 14-187 (d).*
  - 1.1.13 *Smoke is not anticipated to be generated with an opacity greater than 20% in accordance with 14-187 (e).*
  - 1.1.14 *All solid wastes generated by the building use is proposed to be disposed of via enclosed dumpsters located on the North West corner of the site. Waste water will be transmitted to the City collection and treatment system. According to the letter dated 5/16/07 from Frank Brancely, the existing system has the capacity to handle the new wastewater generated.*
- 1.2 *It is questionable as to whether this building should be considered "damaged" or not. Though it has been exposed to weather for approximately 1 month, it is our professional opinion that the building has not been "damaged by fire, explosion, flood, riot, act of the public enemy, accident of any kind, decay or otherwise" as specified by Sec. 14-385. Though the existing structural elements have periodically dampened by rain, it will be possible to dry out the interior framing after a new roof is installed. There is relatively little rot (decay) within the existing framing, mostly at the existing rough sawn sill plates, which will be replaced or reinforced as necessary once the proper building permits are obtained and construction begins. Whether or not the building is considered damaged, the previously approved site plan (the desired plan under which to proceed with) meets the conditions of 14-385 (a), (c) and (d). 14-385 (b) states that the reconstruction must be within the existing footprint, which is what the site plan proposes, with the exception of the approved 530sf new accessory structure. The approved site plan is also in accordance with the part of Sec. 14-385 (b) that states that no new non-conformities may be created.*

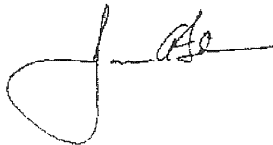
2. Please submit a plan detailing what/how the owner intends to build on the site. The estimates and percentages of building reuse contained within your email do not correspond to the representations made in the October 23, 2007 letter to the City submitted by Aaron Wilson, P.E. At this point, therefore, the City does not know what is being proposed vis a vis the site.

*2.1 As stated in item 1.1, it is desirable for this project to proceed as previously proposed and approved on 8/27/07. We are rescinding the proposal to demolish the wood framed section of the building and re-build a new wood structure as outlined in Aaron Wilson's October 23, 2007 letter. The percentages of the structural elements to remain as outlined in my email of 11/20/2007 represent the approximate portions of the existing structure that would not be demolished under the approved plan to rehabilitate the building. The general scope of rehabilitation includes the following (not necessarily in order of actual occurrence).*

- Immediately submit a roof framing plan to the code enforcement for a roof only building permit to get the existing building closed in as soon as possible. Board up all existing window openings.*
- Complete the construction documents for the modifications and upgrades to the existing building and submit for necessary building permits.*
- Send the construction drawings to contractors for bidding.*
- Select a contractor and begin construction after necessary permits obtained.*
- Demolish sections of the walls and floors to allow for the installation of new windows and vertical circulation.*
- Reinforce / upgrade existing structural elements that are shown to be deficient by structural analysis.*
- Construct new masonry stair / elevator shafts.*
- Install exterior finishes as depicted on approved building elevation drawings A301 and A302.*
- Install interior finishes and non-structural assemblies.*

We trust this letter addresses your questions at this time; we look forward to moving ahead with this project. Please contact us here at the office if you have any additional questions.

Sincerely,



James A Thibodeau, P.E.  
President  
Associated Design Partners, Inc

Cc: Lee Lowry





Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban - Director of Planning and Development  
Jeanie Bourke - Inspection Division Services Director

October 25, 2007

COPY

GREG'S PROPERTIES WASHAVE LLC  
26 VILLAGE BROOK RD  
YARMOUTH, ME 04096

CBL: 013 G007001  
Located at 6 WASHINGTON AVE

Certified Mail 70070710000135801109

**POSTING NOTICE/ STOP WORK ORDER**

**Dear Greg's Properties Washave LLC.:**

An evaluation of the above-referenced property on the 23<sup>rd</sup> day of October, 2007 revealed that the structure fails to comply with § 6-120. (a) of the Housing Code of the City of Portland, and § 105.1 of the IBC®, 2003 Code.

Attached is a list of the violations.

Based on that list, and pursuant to § 6-120. (c), and § 105.1 of the IBC, 2003 Code, this office declares the dwelling unit is unfit for human habitation. This notice serves as a Stop-Work-Order, all un-permitted demolition work must cease immediately.

A re-inspection of the premises will occur on the 5<sup>th</sup> day of November, 2007, at which time the vacant building must be: (1) weather-proof and watertight, (2) secured from vandalism, (3) verified structurally sound by a licensed structural engineer, or submit the appropriate materials for acceptance of a demolition permit from this office.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in § 1-15 of the Code in Title 30-A of M.R.S.A § 4452.

This constitutes an appealable decision pursuant to § 6-127 of the Code. Please feel free to contact me if you have any questions or would like to discuss this matter further.

Sincerely,

Jon Rioux,  
Code Enforcement Officer

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
 Portland, Maine 04101

**Inspection Violations**

<b>Owner/Manager</b> GREG'S PROPERTIES WASHAVE LLC		<b>Inspector</b> Jon Rioux	<b>Inspection Date</b> 10/23/2007
<b>Location</b> 6 WASHINGTON AVE	<b>CBL</b> 013 G007001	<b>Status</b> Posting Notice	<b>Inspection Type</b> Housing-Inspection

Code	Int/Ext	Floor	Unit No.	Area	Compliance Date
------	---------	-------	----------	------	-----------------

1)

**Violation:**

**Notes:** Sec. 6 124. Property to be secured if not improved.

If the owner or operator of any property which has been condemned as unfit for habitation does not proceed to make the necessary corrections to bring the property into compliance with the provisions of this article, such owner or operator shall proceed to make the property safe and secure so that no danger to life or property or fire hazard shall exist.

2) 6-109/5.1

**Violation:** Found.,cellars, exterior walls, roofs.

**Notes:** (a) Foundations, basements, cellars, exterior walls, roofs. Every foundation, basement, cellar, exterior wall and roof shall be substantially weathertight, watertight and vermin proof; shall be structurally sound and in good repair; and shall be safe for the intended use as well as capable of supporting whatever load normal use may cause to be placed thereon. Every exterior wall or portion thereof shall be painted or stained. Water from roofs shall be so drained and conveyed therefrom as not to cause repeatedly wet floors, walls or ceilings, or hazard to adjacent buildings or the occupants thereof.

3) 6-109/5.2

**Violation:** Interior floors, walls, ceilings,doors.

**Notes:** (b) interior floors, walls, ceilings and doors. Every floor, wall, ceiling and door shall be in a structurally sound condition and shall be substantially vermin proof.

4) 6-109/5.3

**Violation:** Exterior windows, doors and skylights.

**Notes:** (c) Exterior windows, doors and skylights. Every window or door, including basement or cellar door and hatchway, and skylight shall be substantially weathertight, watertight and vermin proof, and shall be kept secured to prevent ingress of people and animals.

5) 6-120.1 thru 5

**Violation:** Posted against occupancy.

**Notes:** (a) Properties which are either damaged, decayed, dilapidated, unsanitary, unsafe, or vermin infested in such a manner as to create a serious hazard to the health, safety, and general welfare of the occupants or the public;

6) 105.1

Interior

Various locations

**Violation:** Building w/o Permit

**Notes:** Building and or demolishing without benefit of a permit.

**Comments:**

**Planning and Development Department  
SUBDIVISION/SITE DEVELOPMENT**

**COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE**

Date: 12-10-07

Name of Project: Bingas Wingas

Address/Location: 6 Washington Ave.

Application ID #: 2007-0054

Developer: Greg's Properties Washave LLC – c/o Alec Altman

Form of Performance Guarantee: \_\_\_\_\_

Type of Development: Subdivision -- Site Plan (Major/Minor) Major

**TO BE FILLED OUT BY THE APPLICANT:**

	PUBLIC				PRIVATE			
<u>Item</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Subtotal</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Subtotal</u>
<b><u>1. STREET/SIDEWALK</u></b>								
Road/Parking Areas	0			0	1500	SF	4	6000
Curbing	208	LF	30	6240	0			0
Sidewalks	800	SF	4	3200	0			0
Esplanades	0			0	750	SF	2	1500
Monuments	NA			NA	NA			NA
Street Lighting	NA			NA	NA			NA
Street Opening Repairs	640	SF	4	2560	0			0
Other	0			0	0			0
<b><u>2. EARTH WORK</u></b>								
Cut	NA			NA	NA			NA
Fill	NA			NA	NA			NA
<b><u>3. SANITARY SEWER</u></b>								
Manholes	NA			NA	NA			NA
Piping	10	LF	100	1000	10	LF	100	1000
Connections	1	EA	200	200	2	EA	200	400
Main Line Piping	NA			NA	NA			NA
House Sewer Service Piping	NA			NA	NA			NA
Pump Stations	NA			NA	NA			NA
Grease Trap	0			0	1	EA	4000	4000
<b><u>4. WATER MAINS</u></b>								
	50	LF	40	2000	0			0
<b><u>5. STORM DRAINAGE</u></b>								

Manholes	NA			NA		NA			NA
Catchbasins	NA			NA		NA			NA
Piping	NA			NA		NA			NA
Detention Basin	NA			NA		NA			NA
Stormwater Quality Units	NA			NA		NA			NA
Other	NA			NA		NA			NA
<b>6. SITE LIGHTING</b>	0			0		14	EA	300	4200
<b>7. EROSION CONTROL</b>									
Silt Fence	NA			NA		NA			NA
Check Dams	NA			NA		NA			NA
Pipe Inlet/Outlet Protection	NA			NA		NA			NA
Level Lip Spreader	NA			NA		NA			NA
Slope Stabilization	NA			NA		NA			NA
Geotextile	NA			NA		NA			NA
Hay Bale Barriers	NA			NA		NA			NA
Catch Basin Inlet Protection	NA			NA		NA			NA
<b>8. RECREATION AND OPEN SPACE AMENITIES</b>	NA			NA		NA			NA
<b>9. LANDSCAPING</b> (Attach breakdown of plant materials, quantities, and unit costs)						1	EA	7500	7500
<b>10. MISCELLANEOUS</b>									
Wood Guardrails	0			0		320	LF	10	3200
			Public Total	\$15,200.00			Private Total		\$27,800.00
			<b>Grand Total</b>	<b>\$43,000.00</b>					

**INSPECTION FEE (to be filled out by the City)**

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	_____	_____	_____
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	

**Planning and Development Department  
SUBDIVISION/SITE DEVELOPMENT**

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Item	Quantity	Unit	PUBLIC		Quantity	Unit	PRIVATE	
			Unit Cost	Subtotal			Unit Cost	Subtotal
<b>1. STREET/SIDEWALK</b>								
Road/Parking Areas	0			0	✓ 1500	SF	4	6000
Curbing	208	LF	30	6240	0			0
Sidewalks	800	SF	10 4	<del>3200</del> 8000	0			0
Esplanades	0			0	✓ 750	SF	2	1500
Monuments	NA			NA	NA			NA
Street Lighting	NA			NA	NA			NA
Street Opening Repairs	✓ 640	SF	4	2560	0			0
Other	0			0	0			0
<b>2. EARTH WORK</b>								
Cut	NA			NA	NA			NA
Fill	NA			NA	NA			NA
<b>3. SANITARY SEWER</b>								
Manholes	NA			NA	NA			NA
Piping	10	LF	100	1000	30 ?	LF	100	<del>1000</del> 3000
Connections	✓ 1	EA	200	200	✓ 2	EA	200	400
Main Line Piping	NA			NA	NA			NA
House Sewer Service Piping	NA			NA	NA			NA
Pump Stations	NA			NA	NA			NA
Grease Trap	0			0	1	EA	✓ 4000	4000
<b>4. WATER MAINS</b>								
	✓ 50	LF	40	2000	0			0
<b>5. STORM DRAINAGE</b>								

Manholes	NA		NA	NA		NA		NA
Catchbasins	NA		NA	NA		NA		NA
Piping	NA		NA	NA		NA		NA
Detention Basin	NA		NA	NA		NA		NA
Stormwater Quality Units	NA		NA	NA		NA		NA
Other	NA		NA	NA		NA		NA
<b>6. SITE LIGHTING</b>	0		0	14	EA	300		4200
<b>7. EROSION CONTROL</b>								
Silt Fence	NA		NA	NA				NA
Check Dams	NA		NA	NA				NA
Pipe Inlet/Outlet Protection	NA		NA	NA				NA
Level Lip Spreader	NA		NA	NA				NA
Slope Stabilization	NA		NA	NA				NA
Geotextile	NA		NA	NA				NA
Hay Bale Barriers	NA		NA	NA				NA
Catch Basin Inlet Protection	NA		NA	NA				NA
<b>8. RECREATION AND OPEN SPACE AMENITIES</b>	NA		NA	NA				NA
<b>9. LANDSCAPING</b> (Attach breakdown of plant materials, quantities, and unit costs)				1	EA	7500		7500
<b>10. MISCELLANEOUS</b>								
Wood Guardrails	0		0	320	LF	?	10	3200
Dumpster Enclosure								
Fencing								
Retaining Walls								
		Public Total	\$15,200.00			Private Total		\$27,800.00
		<b>Grand Total</b>	<b>\$43,000.00</b>					

**INSPECTION FEE (to be filled out by the City)**

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	_____	_____	_____
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	



Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

September 17, 2004

Mansour Al-Alwi  
Green Land Construction  
P.O. Box 10419  
Portland, ME 04104

RE: 30 Washington Avenue Addition  
CBL: 013 F007001

Dear Mr. Al-Alwi:

On September 17, 2004, the Portland Planning Authority approved the proposed building addition at 30 Washington Avenue as shown on the approved plan.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

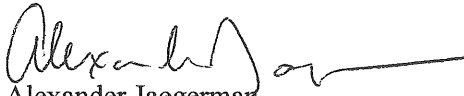
1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files with seven (7) sets of the final plans.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
4. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)



The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Sarah Hopkins at 874-8720.

Sincerely,



Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Sarah Hopkins, Development Review Services Manager  
Jay Reynolds, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Gayle Guertin, Inspections  
Michael Bobinsky, Public Works Director  
Traffic Division  
Eric Labelle, City Engineer  
Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention  
Assessor's Office  
Approval Letter File

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

**2004-0183**  
Application I. D. Number  
**9/1/2004**  
Application Date  
**Seavey Addition**  
Project Name/Description

**Green Land Construction**  
Applicant  
**P.O. Box 10419, Portland, ME 04104**  
Applicant's Mailing Address

Consultant/Agent  
**Applicant Ph: (207) 318-8449 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**30 - 30 Washington Ave, Portland, Maine**  
Address of Proposed Site  
**013 F007001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**600 s.f.** Proposed Building square Feet or # of Units **B2b**  
Acreage of Site Zoning

**Check Review Required:**

- |   |  |  |   |
|---|--|--|---|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input checked="" type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification          |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             |  | <input type="checkbox"/> Other _____                      |

Fees Paid: Site Pla **\$400.00** Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date **9/8/2004**

**Planning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

OK to Issue Building Permit \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                            |  |                             |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____ date _____           | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid                | _____ date _____           | _____ amount _____                                 |                             |
| <input type="checkbox"/> Building Permit Issue              | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____ date _____           | _____ remaining balance _____                      | _____ signature _____       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____           | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection                   | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Certificate Of Occupancy           | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Released     | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____ submitted date _____ | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released          | _____ date _____           | _____ signature _____                              |                             |

# City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: <u>30 Washington Ave.</u>		Zone:
Total Square Footage of Proposed Structure: <u>600 SF</u>		Square Footage of Lot: <u>3669 SF</u>
Tax Assessor's Chart, Block & Lot:		Property owner's mailing address:
Chart# <u>13</u>	Block# <u>F</u>	Lot# <u>7</u>
		Telephone #:
Consultant/Agent, mailing address, phone # & contact person:		Applicant's name, mailing address, telephone #/Fax#/Pager#: <u>GREEN Land construction</u> <u>P.O. Box 10419</u> <u>PORTLAND, ME 04104</u> <u>207-318-8449</u>
		Project name: <u>SEAVEY Addition</u>
<p><b>Proposed Development (check all that apply)</b></p> <p> <input type="checkbox"/> New Building    <input checked="" type="checkbox"/> Building Addition    <input type="checkbox"/> Change of Use    <input type="checkbox"/> Residential    <input type="checkbox"/> Office    <input type="checkbox"/> Retail  <input type="checkbox"/> Manufacturing    <input type="checkbox"/> Warehouse/Distribution    <input type="checkbox"/> Parking lot  <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____  <input type="checkbox"/> Site Location of Development (\$3,000.00)  (except for residential projects which shall be \$200.00 per lot _____ )  <input type="checkbox"/> Traffic Movement (\$1,000.00)    <input type="checkbox"/> Stormwater Quality (\$250.00)  <input checked="" type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)  <input type="checkbox"/> Other _____ </p> <p><b>Major Development (more than 10,000 sq. ft.)</b></p> <p> <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)  <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)  <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)  <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)  <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)  <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)  <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p><b>Minor Site Plan Review</b></p> <p> <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)  <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p><b>Plan Amendments</b></p> <p> <input type="checkbox"/> Planning Staff Review (\$250.00)  <input type="checkbox"/> Planning Board Review (\$500.00) </p>		
- Please see next page -		

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

GREEN Land construction

207-318-8449  
att: Mansour Al-alwi

P.O. Box 10419  
Portland, ME 04104

Submittals shall include (9) separate folded packets of the following:

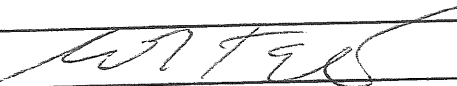
- copy of application
- cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)  
**ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM**

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11)  
you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date: 9-1-04

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.



**Remodeling and building affordable homes**

P. O. Box 10419, Portland, ME, 04104

August 31, 2004

City of Portland  
Building Permit Application  
Site Plan Application

Dear Sir/ Madam:

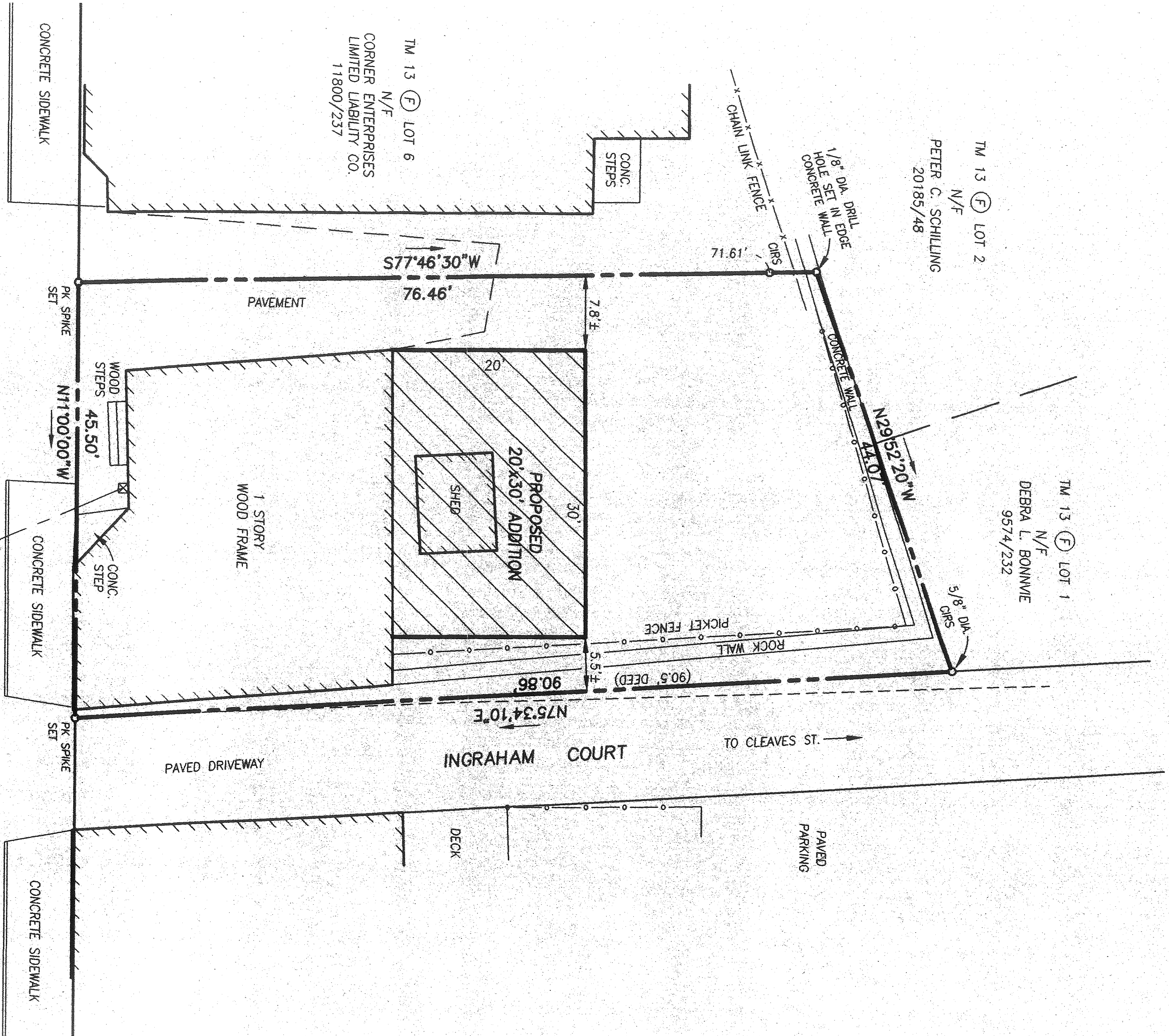
The proposed addition located at 30 Washington Avenue is 20 by 30 square feet of retail space. It will be a one story wood frame addition directly connected to the rear of the existing building as you see in the boundary survey map.

The addition will have frost wall foundation, four inch concrete slab, 2x6 framing, 7/16 OSB sheathing, vinyl siding, R-19 wall insulation, 5-12 trusses, 5-8 CDX, 25 year architectural roof shingles, R-38 ceiling insulation, half inch sheetrock, ice and water shield, and one steel door.

Thank you for considering the application. I look forward to hearing from you. If you have any questions, please do not hesitate to call me.

Sincerely,

Mansour T. Al-Alwi  
President



WASHINGTON AVENUE  
 PAVED - PUBLIC 66' WIDE

Scale 1" = 10'  
 Original on file with  
 Miss Hopkins

⊗  
 W

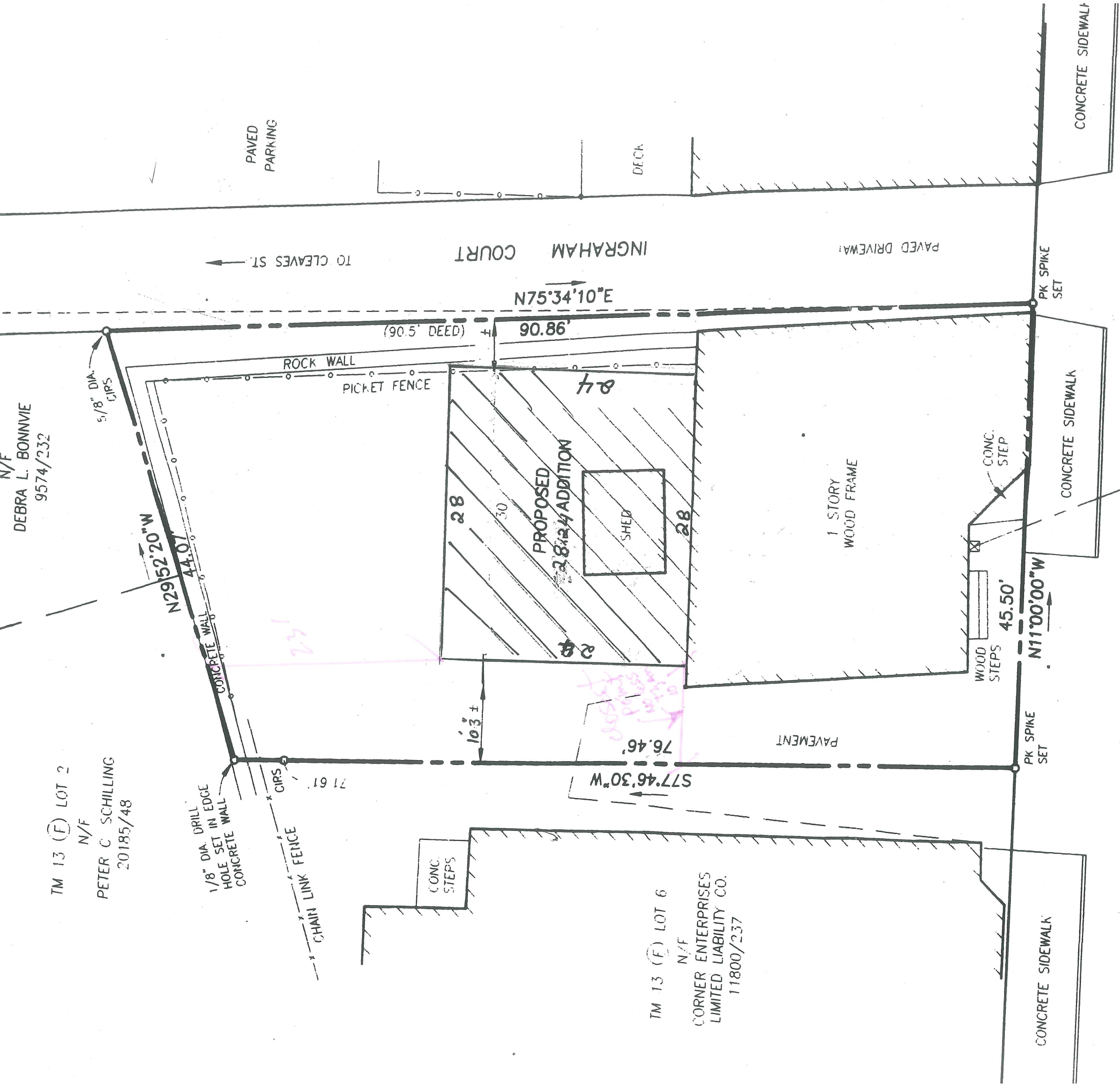
⊗  
 N

00

N/F  
DEBRA L. BONNIE  
9574/232

TM 13 (F) LOT 2  
N/F  
PETER C. SCHILLING  
20185/48

TM 13 (F) LOT 6  
N/F  
CORNER ENTERPRISES  
LIMITED LIABILITY CO.  
11800/237



30 WASHINGTON AVENUE

PAVED - PUBLIC 66' WDE



041323

