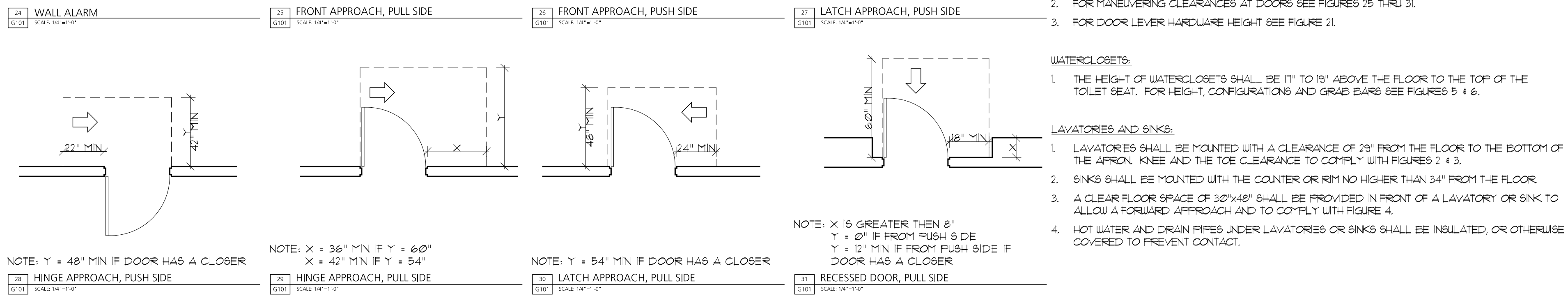
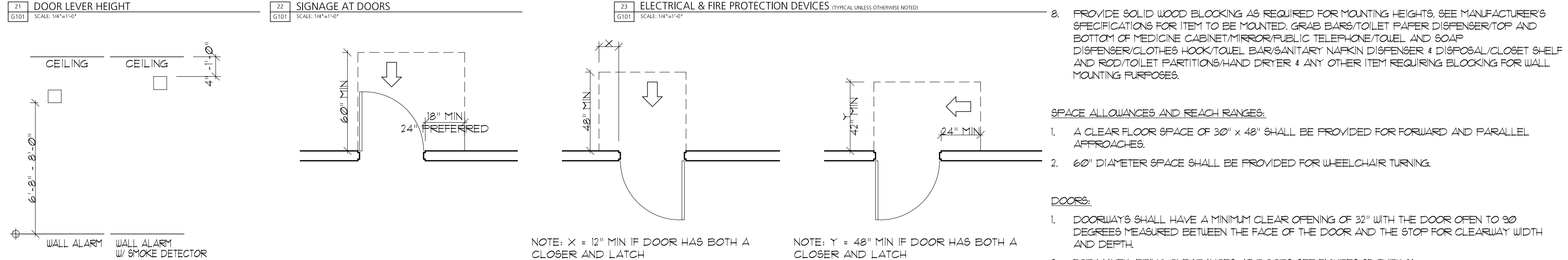
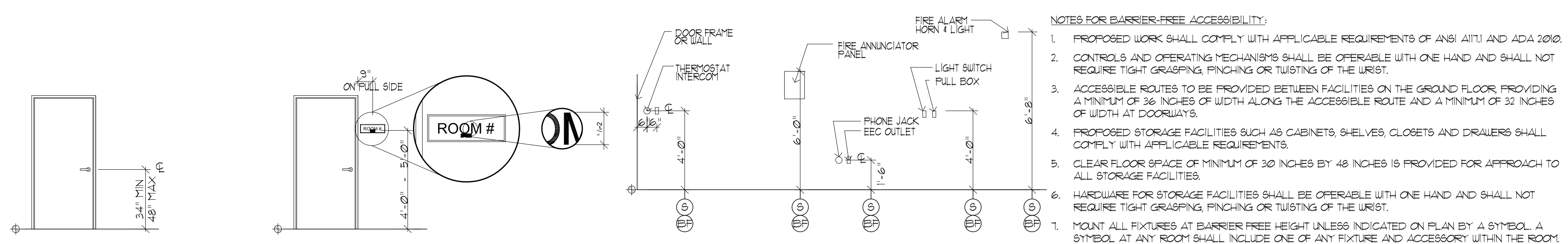
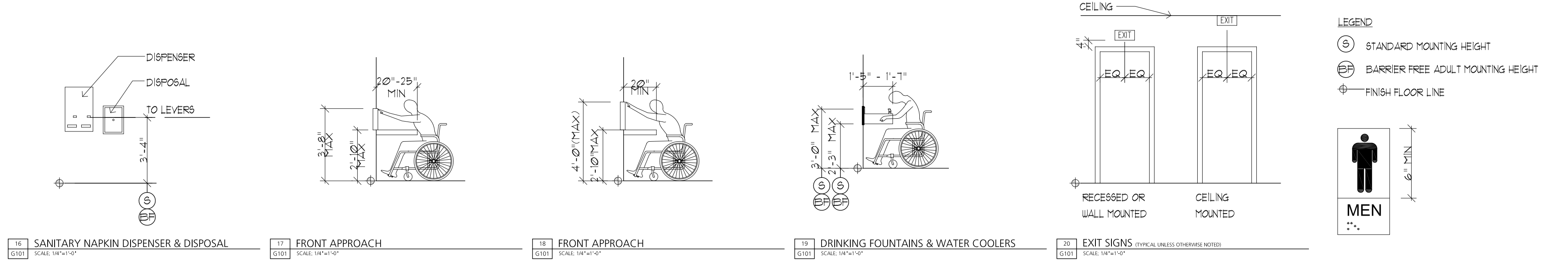
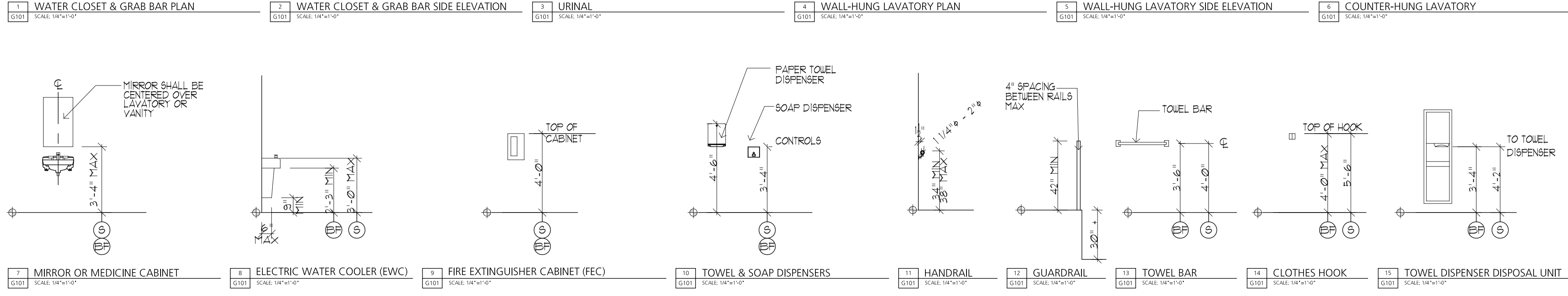
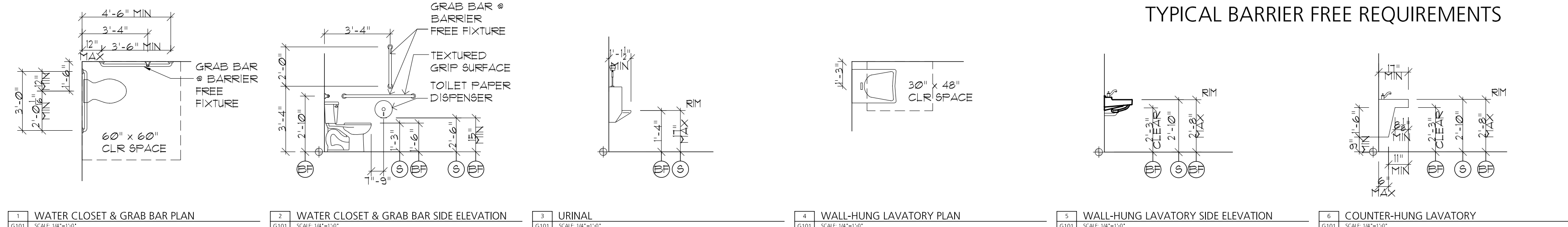


TYPICAL BARRIER FREE REQUIREMENTS



- NOTES FOR BARRIER-FREE ACCESSIBILITY:**
- PROPOSED WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI A117.1 AND ADA 2010.
 - CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
 - ACCESSIBLE ROUTES TO BE PROVIDED BETWEEN FACILITIES ON THE GROUND FLOOR, PROVIDING A MINIMUM OF 36 INCHES OF WIDTH ALONG THE ACCESSIBLE ROUTE AND A MINIMUM OF 32 INCHES OF WIDTH AT DOORWAYS.
 - PROPOSED STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS AND DRAWERS SHALL COMPLY WITH APPLICABLE REQUIREMENTS.
 - CLEAR FLOOR SPACE OF MINIMUM OF 30 INCHES BY 48 INCHES IS PROVIDED FOR APPROACH TO ALL STORAGE FACILITIES.
 - HARDWARE FOR STORAGE FACILITIES SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
 - MOUNT ALL FIXTURES AT BARRIER FREE HEIGHT UNLESS INDICATED ON PLAN BY A SYMBOL, A SYMBOL AT ANY ROOM SHALL INCLUDE ONE OF ANY FIXTURE AND ACCESSORY WITHIN THE ROOM.
 - PROVIDE SOLID WOOD BLOCKING AS REQUIRED FOR MOUNTING HEIGHTS. SEE MANUFACTURER'S SPECIFICATIONS FOR ITEM TO BE MOUNTED. GRAB BARS/TOILET PAPER DISPENSER/TOP AND BOTTOM OF MEDICINE CABINET/MIRROR/PUBLIC TELEPHONE/TOILET AND SOAP DISPENSER/CLOTHES HOOK/TOILET BAR/SANITARY NAPKIN DISPENSER 4 DISPOSAL/CLOSET SHELF AND ROD/TOILET PARTITION/HAND DRYER 4 ANY OTHER ITEM REQUIRING BLOCKING FOR WALL MOUNTING PURPOSES.

- SPACE ALLOWANCES AND REACH RANGES:**
- A CLEAR FLOOR SPACE OF 30" x 48" SHALL BE PROVIDED FOR FORWARD AND PARALLEL APPROACHES.
 - 60" DIAMETER SPACE SHALL BE PROVIDED FOR WHEELCHAIR TURNING.
- DOORS:**
- DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32" WITH THE DOOR OPEN TO 90 DEGREES MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP FOR CLEARWAY WIDTH AND DEPTH.
 - FOR MANEUVERING CLEARANCES AT DOORS SEE FIGURES 25 THRU 31.
 - FOR DOOR LEVER HARDWARE HEIGHT SEE FIGURE 21.

- WATERCLOSETS:**
- THE HEIGHT OF WATERCLOSETS SHALL BE 11" TO 19" ABOVE THE FLOOR TO THE TOP OF THE TOILET SEAT. FOR HEIGHT, CONFIGURATIONS AND GRAB BARS SEE FIGURES 5 & 6.
- LAVATORIES AND SINKS:**
- LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. KNEE AND TOE CLEARANCE TO COMPLY WITH FIGURES 2 & 3.
 - SINKS SHALL BE MOUNTED WITH THE COUNTER OR RIM NO HIGHER THAN 34" FROM THE FLOOR.
 - A CLEAR FLOOR SPACE OF 30" x 48" SHALL BE PROVIDED IN FRONT OF A LAVATORY OR SINK TO ALLOW A FORWARD APPROACH AND TO COMPLY WITH FIGURE 4.
 - HOT WATER AND DRAIN PIPES UNDER LAVATORIES OR SINKS SHALL BE INSULATED, OR OTHERWISE COVERED TO PREVENT CONTACT.

STANDARD ABBREVIATIONS

ABV	ABOVE	S	SOUTH
ACT, ATC	ACOUSTIC CEILING TILE	SEL	SEALANT
AF	ABOVE FINISHED FLOOR	SHT	SHEATHING
ALT	ALTERNATE	SIM	SIMILAR
APPROX	APPROXIMATE	SLR	SEALER
ARCH	ARCHITECT (URAL)	SPEC	SPECIFICATION (S) OR PROJECT MANUAL
AUTO	AUTOMATIC	SQ	SQUARE
		ST, STL, S/S	STAINLESS STEEL
		ST	STEEL
		STD	STANDARD
		STGL	SAFETY GLASS
		STOR, STO	STORAGE
		SUSP	SUSPENDED
		SYM	SYMMETRY (ICAL)
		SYM	SYNTHETIC
		SYS	SYSTEM
		TBD	TO BE DETERMINED
		TBS	TO BE SELECTED BY CONTRACTING OFFICER
		TEMP	TEMPERED OR TEMPORARY
		TGL	TEMPERED GLAZING
		THRESH	THRESHOLD
		THK	THICK (NESS)
		TOL	TOLERANCE
		TYP	TYPICAL
		UC	UNDERCUT
		UNO	UNLESS NOTED OTHERWISE
		VERT	VERTICAL
		VIF	VERIFY IN FIELD
		VIN	VINYL
		VNB	VINYL BASE
		VNR	VENEER
		VT	VINYL TILE
		W	WEST
		WB	WOOD BASE
		WC	WATER CLOSET
		WD	WOOD
		W/D	STACKING WASHER 4 DRYER
		WDW	WINDOW
		WH	WALL HUNG
		WIC	WALK IN CLOSET
		W/O	WITHOUT
		WR	WATER RESISTANT
		WSCT	WAINSCOT
BD	BOARD		
BF	BARRIER FREE (ADA)		
BLK	BLOCK (ING)		
BOT	BOTTOM		
BRG	BEARING		
BTW	BETWEEN		
CABT	CABINET		
CEM	CEMENT		
CHT	CEILING HEIGHT		
CL, CLO	CLOSET		
CLG	CEILING		
CLR	CLEAR (ANCE)		
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN		
CONC	CONCRETE		
CONT	CONTINUOUS OR CONTINUE		
CORR	CORRESPONDING		
CT	CERAMIC TILE		
CTR	COUNTER		
C.O.	CONTRACTING OFFICER		
DEMO	DEMOLISH, DEMOLITION		
DIM	DIMENSION		
DIV	DIVISION		
DN	DOWN		
DOC	DOCUMENT		
DR	DOOR		
DTL	DETAIL		
DWG	DRAWING		
E	EAST		
EA	EACH		
ELEC	ELECTRIC (AL)		
EL, ELEV	ELEVATION		
EMER	EMERGENCY		
EP	ELECTRICAL PANEL (SEE 'E'-DWGS)		
EQ	EQUAL		
EQUIP	EQUIPMENT		
EXIST	EXISTING		
EXP, EXPSD	EXPOSED		
EXT	EXTERIOR		
FA	FIRE ALARM		
FD	FLOOR DRAIN		
FIN	FINISH (ED)		
FLR	FLOOR (ING)		
FND	FOUNDATION		
FR	FIRE RATED		
FRAM'G	FRAMING		
FUR	FURRED (ING)		
GA	GAGE, GAUGE		
GB	GRAB BAR		
GC	GENERAL CONTRACT (OR)		
GL	GLASS, GLAZING		
GT	GROUT		
GV	GALVANIZED		
GYP BD, GWB	GYPSTUM WALL BOARD		
HDR	HEADER		
HGT	HEIGHT		
HORIZ	HORIZONTAL		
HRD	HARDWARE		
HT	HEIGHT		
HTG	HEATING		
HYAC	HEATING/VENTILATING/AIR CONDITIONING		
HWD	HARD WOOD		
INCL	INCLUDE (D), (ING)		
INDV	INDIVIDUAL		
INSUL	INSULATION		
INT	INTERIOR		
JC	JANITOR'S CLOSET		
JT	JOINT		
KEC	KITCHEN EQUIPMENT CONTRACTOR		
KITTE	KITCHENETTE		
LAM	LAMINATE (D)		
LAV	LAVATORY		
LT	LIGHT		
MAS	MASONRY		
MAX	MAXIMUM		
MBR	MEMBER		
MECH	MECHANIC (AL)		
MED	MEDIUM		
MFR	MANUFACTURE (ER)		
MIN	MINIMUM		
MIRR	MIRROR		
MM	MILLIMETER (S)		
M.O.	MASONRY OPENING		
MTD	MOUNTED		
MTL	METAL		
MTRL	MATERIAL (S)		
MU	MICROWAVE		
N	NORTH		
NOM	NOMINAL		
NTS	NOT TO SCALE		
OC	ON CENTER		
OH	OVERHEAD		
O.H.	OPPOSITE HAND		
PART	PARTITION		
PLAM	PLASTIC LAMINATE		
PLS	PLASTER		
PLUMB	PLUMBING		
PNT, PTD	PAINTED		
PLD	PLYWOOD		
QT	QUARRY TILE		
RCP	REFLECTED CEILING PLAN		
REF	REFERENCE		
REFR / REF.	REFRIGERATOR		
REG	REGISTER		
REQ'D	REQUIRED		
RESIL	RESILIENT		
RETR	REVISION (S), REVISED		
REV	REVISION (S), REVISED		
RM	ROOM		
RO	ROUGH OPENING		
ROW	RIGHT OF WAY		

MATERIAL DESIGNATION

CONCRETE		WOOD BLOCKING INTERRUPTED OR SHIMS	
GWB		RIGID INSULATION	
METALS		SPRAY FOAM INSULATION	
FINISH WOOD		BLOW-IN CELLULOSE INSULATION	
WOOD BLOCKING, NAILER, ETC.		BLANKET OR BATT INSULATION	
PLYWOOD		SEALANT	

GRAPHIC SYMBOLS

	ELEVATION NUMBER
	DRAWN ON SHEET NUMBER
	DETAIL NUMBER
	DETAIL NUMBER
	WALL TYPE
	WINDOW NUMBER
	DOOR NUMBER
	DEMO NOTE
	FURNITURE NUMBER
	CEILING FINISH
	LEVEL ELEVATION ABOVE FINISHED FIRST FLOOR
	DETAIL NUMBER
	DETAIL TITLE
	NORTH ARROW
	SCALE ON 22X34 SHEETS
	SHEET NUMBER

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ABBREVIATIONS, SYMBOLS, ADA NOTES & FIXTURE HEIGHTS

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G101

Code Review - NFPA 101 (Life Safety) 2009

Chapter 6 - Classification of Occupancy

Section 6.1.11 - This tenant space is currently classified as "S - Storage" and shall change to meet requirements of Chapter 38 New Business Occupancy. The new business occupancy will have an ancillary Assembly Space.
Section 6.1.14.1 - This occupancy shall be classified as a "Single Occupancy".
Table 6.1.14.4.1 - 2-Hour fire separation is required between Business (B) Occupancy and adjacent tenants on the first floor. This is reduced to a 1-Hour fire separation because the building is sprinklered.

Chapter 7 - Means of Egress

Section 7.1.3.2.1(1) - Exits connecting three stories or less shall be 1-hour fire rated.
Section 7.1.3.2.1(4) - All doors connecting to exit enclosures shall have automatic door closers.
Section 7.1.7 - Changes in level in means of egress over 21" shall fully meet new stair requirements. Existing change of level is 25".
Section 7.1.8 - Guards are not required at existing change of level because it is less than 30".
Section 7.1.10.2.1 - No furnishings or other objects shall obstruct exits or exit access.
Section 7.2.1 - Doors shall comply with this section (including self closing devices, section 7.2.1.8).
Section 7.2.1.5.4 - Exterior exit doors are permitted to have key-operated locks from the egress side with panic hardware (see 38.2.2.4).
Section 7.2.1.7 - Panic hardware is required at exit doors and must meet all requirements of this section. Bars shall be mounted not less than 34" nor more than 48" above the floor.
Section 7.2.2.2.1(a) - Minimum stair width is 3'-6" inches, max. riser is 7", min. riser height is 4", min. tread is 11 inches. New stair within egress access pathway shall meet these criteria.
Section 7.2.2.4.1.1 - New stairs shall have handrails on both sides.
Section 7.2.2.4.4 - New stairs shall meet all the criteria listed for handrail details.
Table 7.3.1.2 - Occupant Load: see Egress Plans.
 Assembly Spaces (Living Rooms and Conference Rooms): 1 person per 15 square feet, 1 person per 7 square feet (Lower Living Room)
 Business Use (Open Office Spaces): 1 person per 100 square feet

Chapter 8 - Features of Fire Protection

Table 8.2.1.2 - Construction Type shall be Type III (200)
Section 8.2.2.3 - Fire and smoke barriers shall be continuous from outside wall to outside wall or from fire barrier to fire barrier, including continuity through all concealed spaces, such as those found above ceilings and other interstitial spaces.
Section 8.3.3.1 - Door openings to exit stairs shall be protected by approved, listed, labeled fire door assemblies and fire window assemblies and their accompanying hardware, including all frames, closing devices, anchorage, and sills in accordance with NFPA 80 Standard for Fire Doors and Fire Windows.
Section 8.3.4.2 - Fire door assemblies at elevator shaft shall be 90 minute.
Section 8.3.5.1 - Penetrations in fire rated partitions shall be fire-stopped according to ASTM E 814 Standard Test Method for Fire Tests of Through Penetration Fire Stops or UL 1479, Standard for Fire Tests of Through-Penetration Firestops.

Chapter 12 - New Assembly Occupancies (Ancillary Use)

Section 12.2.2.2.3 - Exit doors in occupancies greater than 100 must have panic hardware complying with 7.2.1.7
Section 12.2.2.2.4 - Locking devices complying with 7.2.1.5.4 are permitted with occupant load less than 500 and with panic hardware.

Chapter 38 - New Business Occupancies (Primary Use)

Section 38.1.6 - No specified Minimum Construction Requirements.
Section 38.1.7 - Occupant Load is set by Table 7.3.1.2 - Business Occupancy shall be 100 SF per occupant. Concentrated Assembly Use without fixed seating shall be 7 net SF per occupant. Less Concentrated Assembly Use, without fixed seating shall be 15 net SF per occupant.
Section 38.2.2.4 - Exterior doors with key operated locks on the egress side complying with 7.2.1.5.4 are permitted. If used, a readily visible sign with 1" lettering shall be placed reading: "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED". A key must be immediately available to any occupant inside the building when it is locked.
Section 38.2.3.2 - The clear width of any passageway serving an occupant load greater than 50 shall not be less than 44".
Section 38.2.4.1 - Two separate exits are required if occupant load is 100 or greater. O.L. is 288 (max), and have two existing means.
Section 38.2.5.2 - Dead end corridors shall not exceed 50 ft.
Section 38.2.5.3.1 - Common path of travel shall not exceed 100 ft. in a sprinklered building.
Section 38.2.6.1 - Travel distance to an exit shall not exceed 300 ft. in buildings protected by and approved, supervised auto sprinkler system.
Section 38.2.8 - Means of Egress shall be illuminated in accordance with Section 7.8.
Section 38.2.9 - Emergency Lighting shall be provided in accordance with Section 7.9. Existing emergency lights are placed appropriately.
Section 38.2.10 - Means of egress signage shall be provided in accordance with Section 7.10.
Section 38.3.5 - A portable fire extinguisher is required next to each exit door in accordance with 9.7.4.1. Two wall mounted fire extinguishers will need to be added.

Code Review - IBC 2009

Chapter 3 - Prescriptive Compliance Method

Section 302.1 - Alterations must comply with IBC for new construction. Occupancy will change from Storage to Business use.
Section 302.2 - Structural upgrades shall comply with requirements for new construction.
Section 303.6 - Means of egress does not need to meet Section 1005.1 of the IBC. The components of the means of egress shall be considered complying in any alteration, if in the opinion of the code official, they do not constitute a distinct hazard to life.
Section 308.6 - Alterations require compliance with Chapter 11 and IBC accessibility requirements where technically feasible.
Section 310.4 - Change of use may trigger accessibility upgrades.

Chapter 4 - Classification of Work

Section 401.3 - Occupancy and use as per IBC Chapter 3 shall be considered Group B, Business.
Section 404.1 - Alteration Level 2 - Reconfiguration of space and systems. Work area does not exceed 50% aggregate area of the building, therefore does not trigger Level 3. Level 2 needs to meet requirements of Chapters 6 and 7.
Section 406 - This project is a change of occupancy from Storage to Business use and shall comply with requirements of Chapter 9.

Chapter 7 - Alterations - Level 2

Section 701.3 - New construction elements, components, systems and spaces shall comply with the requirements of the IBC with the exception of windows, electrical to meet Section 708, dead-end corridors to meet Section 705.6 and min. ceiling height shall be 7'-0".
Section 704.2.4 - NFPA 13 automatic sprinkler system is required in Group B because of occupant load greater than 30.
Section 704.4 - Fire alarm and detection systems shall be installed in accordance with NFPA 72.
Section 705.1 - Means of Egress requirements are required for work areas shared by more than one tenant (rear exit).
Section 705.4.1.1 - Two means of egress are required because occupant load is greater than 50 and travel distance exceeds 75 ft.
Section 705.4.3 - Doors to exit stairs must be self-closing by listed closing devices.
Section 705.4.4 - Panic Hardware is required at the two exit doors because of ancillary Assembly use within the primary Business use.
Section 705.6.2 - Dead-end corridors shall not exceed 50 feet in Business Occupancies.
Section 705.8 - Exit signs are required within the work area as per the requirements of the IBC. Additional illuminated signs will need be needed.
Section 708.1 - Electrical equipment and wiring in newly installed partitions and ceilings shall comply with all applicable requirements of NFPA 70.
Section 709.1 - All reconfigured spaces within the work area and intended for occupancy shall be provided with natural or mechanical ventilation in accordance with the International Mechanical Code.
Section 709.1 - All reconfigured spaces within the work area and intended for occupancy shall be provided with natural or mechanical ventilation in accordance with the International Mechanical Code.
Section 711.1 - Level 2 alterations to existing buildings are permitted without requiring the entire building comply with the International Energy Conservation Code. Those portions within the work area shall conform to the IECC as they relate to new construction.

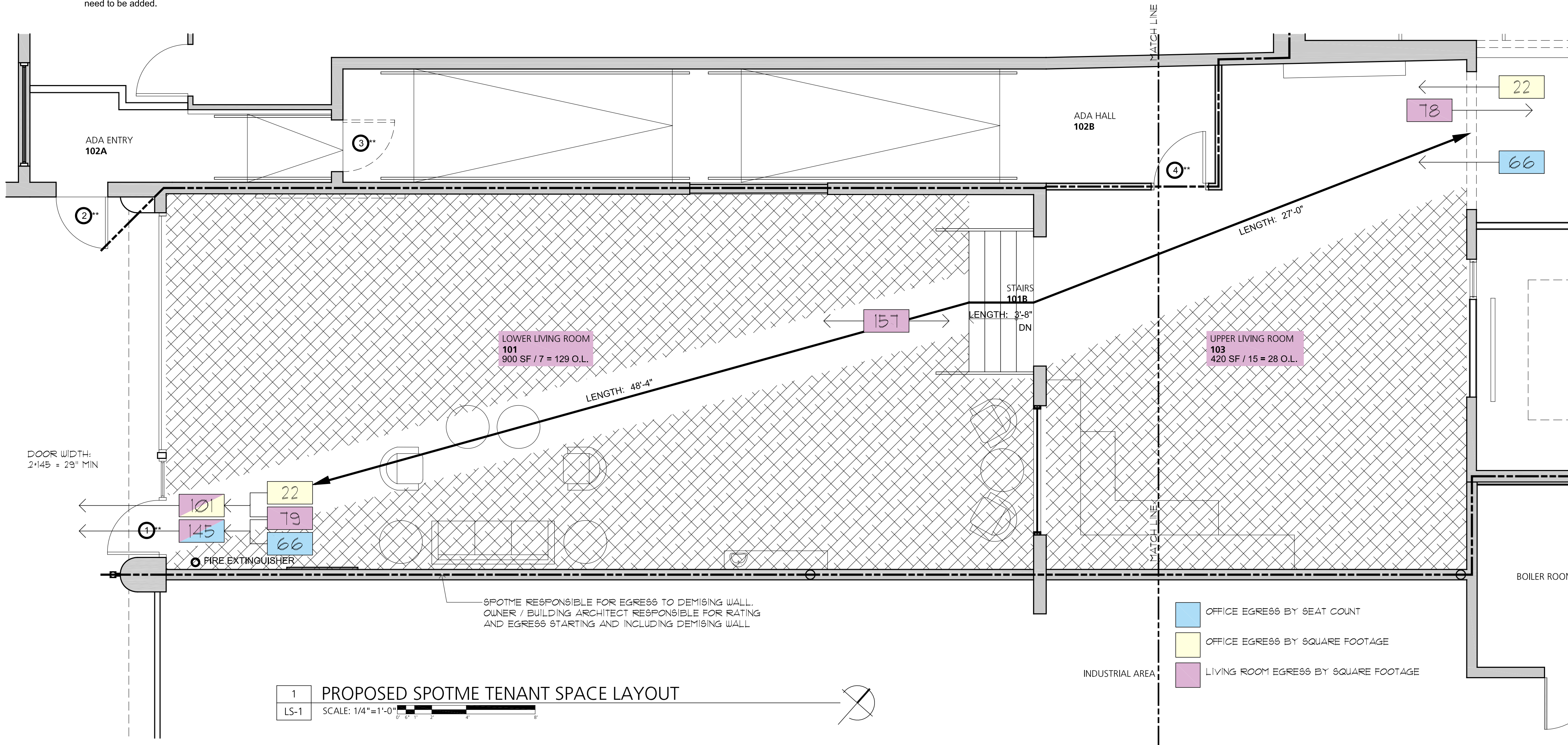
Chapter 9 - Change of Occupancy

Section 901.4 - A certificate of occupancy will be required for change from Storage use to Business use.
Section 910.1 - Because of increased plumbing demand, project requires adherence to International Plumbing Code requirements.
Section 912 - All provisions of this Change of Occupancy section apply.
Section 912.3 - Means of Egress requirements shall meet IBC for new Business Occupancy.
Section 912.8 - Portions of existing buildings undergoing a change of use shall meet all of the following accessibility requirements:
 • At least one accessible entry is required. This is provided by primary front entry door and Owner's common hallway with ramp to upper level.
 • At least one accessible route from an accessible building entrance to primary function areas. Provided by primary entry door and Owner's common hallway with ramp to upper level.
 • Signage complying with Section 1110 of the IBC must be provided.
 • Accessible parking must be provided.
 • At least one accessible passenger loading zone, if and where loading zone is provided.
 • At least one accessible route connecting accessible parking and accessible passenger loading zone to an accessible entry.

Code Review - IBC 2009

Chapter 11 - Accessibility

Section 1110.1 - Required accessible elements shall be identified by the International Symbol of Accessibility.
Section 1110.2 - Directional signage indicating route to accessible elements shall be installed and include International Symbol of Accessibility.



GENERAL NOTES:

1. THIS PORTION OF THE BUILDING COMPLEX IS ONE STORY, SLAB ON GRADE.
2. PROPOSED WORK AREA IS SECOND FLOOR (NOT OWNER OCCUPIED BACK-OFF-HOUSE SPACE)
3. EXISTING FLOOR PLATE GROSS SQUARE FOOTAGE IS ??? SF
4. TENANT SQUARE FOOTAGE IS 7,625 SF
5. EXISTING BUILDING HAS A SUPERVISED AUTOMATIC SPRINKLER SYSTEM - VERIFY THAT SYSTEM MEETS NFPA 13 STANDARD FOR INSTALLATION OF SPRINKLE
6. EXISTING BUILDING HAS A FIRE ALARM SYSTEM - VERIFY CONFORMANCE WITH NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE.
7. EXISTING BUILDING HAS A EMERGENCY LIGHTS - VERIFY CONFORMANCE WITH NFPA 110 STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS.

NOTE:

IBC 2009
 NFPA 101 2009

SYMBOL	DESCRIPTION
---	DEMISING WALL, FIRE RATING PER BUILDING OWNER / BUILDING ARCHITECT
---	ONE HOUR RATED WALL, UL DESIGN NO. U404, 1 HR. NONBEARING WALL. ALL THROUGH PENETRATIONS TO BE UL RATED.
60	OPENING PROTECTIVE RATING IN MINUTES, TYPICAL
4**	DOOR TAG (** INDICATES DOOR IS PER BUILDING OWNER / BUILDING ARCHITECT)
22	NUMBER OF OCCUPANT EGRESS PER OPENING
♿	BARRIER-FREE LOCATION, CLEAR FLOOR AREA SHOWN WITH DASHED LINE OR CIRCLE

OCCUPANCY LEGEND	LOCATION	OCCUPANT LOAD PER IBC 2009
[Hatched Box]	OFFICE	1 OCCUPANT / 100 SF
[Cross-hatched Box]	LIVING ROOM	SEE PLANS

FLOOR	GROSS AREA	TOTAL OCCUPANT LOAD BY SQUARE FOOTAGE	TOTAL OCCUPANT LOAD BY SEAT COUNT
ENTRY LEVEL OCCUPANCY	7,656 SF	200 OCCUPANTS	288 OCCUPANTS

OCCUPANT LOAD ANALYSIS			
LOWER LIVING ROOM	129 O.L.	LOWER LIVING ROOM	129 O.L.
UPPER LIVING ROOM	28 O.L.	UPPER LIVING ROOM	28 O.L.
OFFICE / CONF. PER BUSINESS LOAD	43 O.L.	OFFICE / CONF. PER CHAIR COUNT	131 O.L.
TOTAL	200 O.L.	TOTAL	288 O.L.



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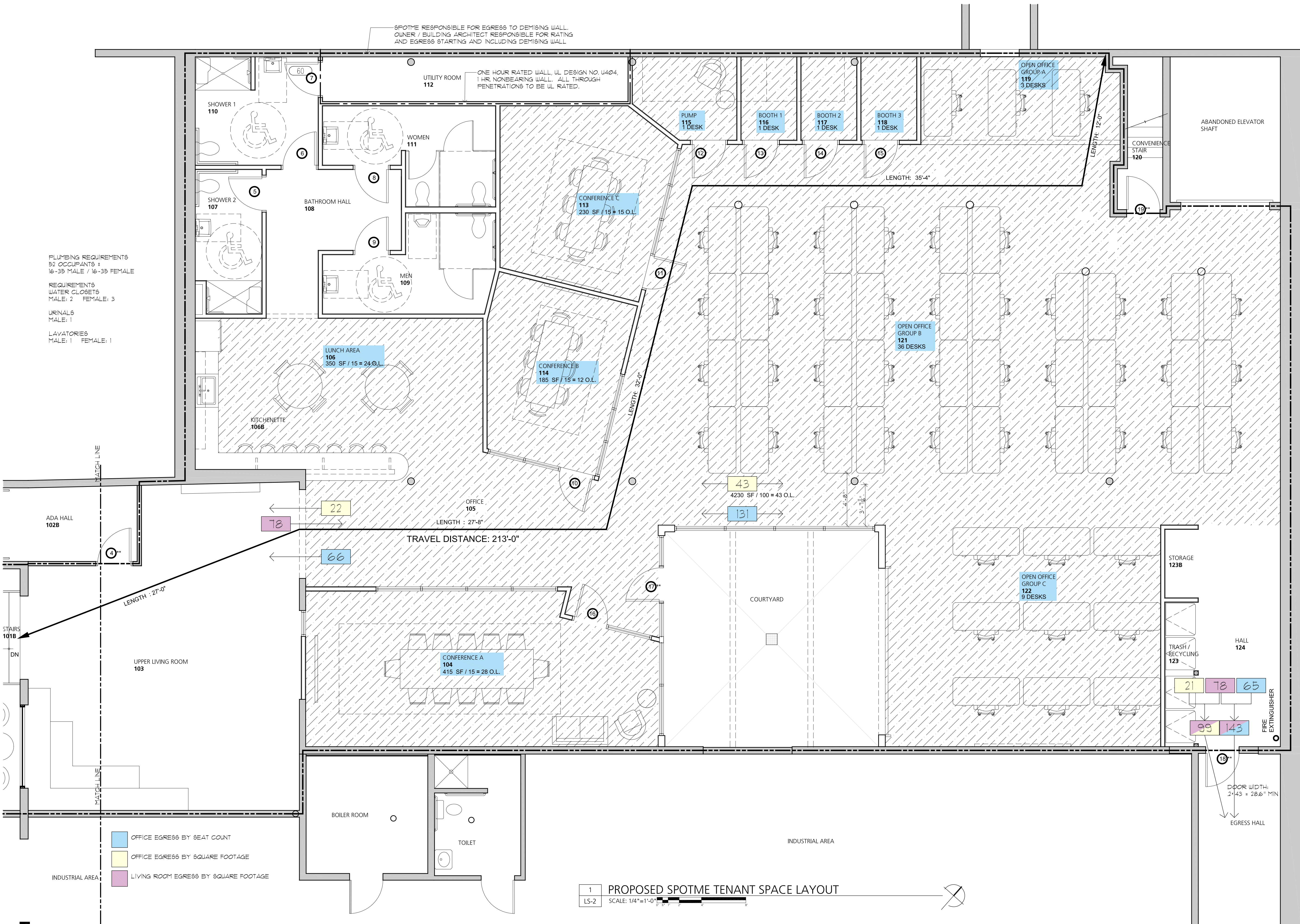
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LS-1



1 PROPOSED SPOTME TENANT SPACE LAYOUT
 LS-2 SCALE: 1/4"=1'-0"

PLUMBING REQUIREMENTS
 52 OCCUPANTS ±
 16-35 MALE / 16-35 FEMALE

REQUIREMENTS
 WATER CLOSETS
 MALE: 2 FEMALE: 3

URINALS
 MALE: 1

LAVATORIES
 MALE: 1 FEMALE: 1

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 Registered Architect
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PARTIAL LIFE SAFETY PLAN

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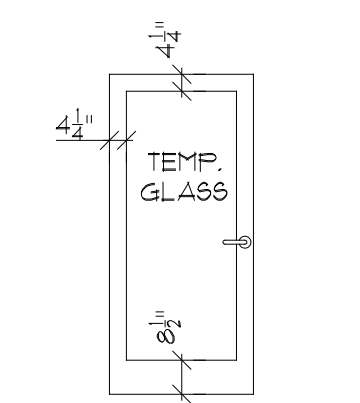
LS-2

1 DOOR SCHEDULE

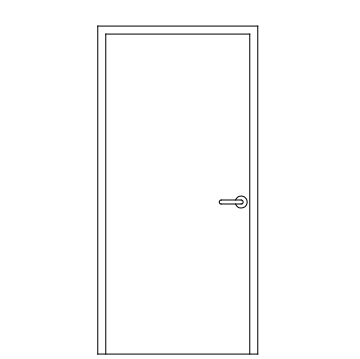
DOOR #	DOOR TYPE	NEW / EXISTING / RELOCATED	DOOR MATERIAL	LOCATION	DOOR SIZE			FRAME MATERIAL	NEW / EXISTING / RELOCATED	FRAME DETAIL			FIRE RATING	REMARKS
					WIDTH	HEIGHT	THICK			HEAD	JAMB	THRESHOLD		
1	E	E		EXT				E					** DOOR PER BUILDING OWNER / BUILDING ARCHITECT PANIC HARDWARE REQUIRED	
2	E	E		EXT				E					** DOOR PER BUILDING OWNER / BUILDING ARCHITECT	
3	E	E		INT				E					** DOOR PER BUILDING OWNER / BUILDING ARCHITECT REMOVE EXISTING DOOR LEAVE HM FRAME IN PLACE. PATCH HINGE AND HARDWARE HOLES.	
4	N	N		INT				N				60 MIN	** DOOR PER BUILDING OWNER / BUILDING ARCHITECT	
5	B	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
6	B	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
7	B	N	MTL	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	60 MIN	-	
8	B	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
9	B	N	WD	EXT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
10	A	N	WD	EXT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
11	A	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
12	B	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
13	A	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
14	A	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
15	A	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
16	A	N	WD	INT	3'-0"	7'-0"	1-3/4"	MTL	N	-	-	-	-	
17													** DOOR PER BUILDING OWNER / BUILDING ARCHITECT	
18		E						E				60 MIN	** DOOR PER BUILDING OWNER / BUILDING ARCHITECT PANIC HARDWARE REQUIRED	
19													** DOOR PER BUILDING OWNER / BUILDING ARCHITECT	

2 DOOR TYPES

A101 SCALE: 1/4"=1'-0"

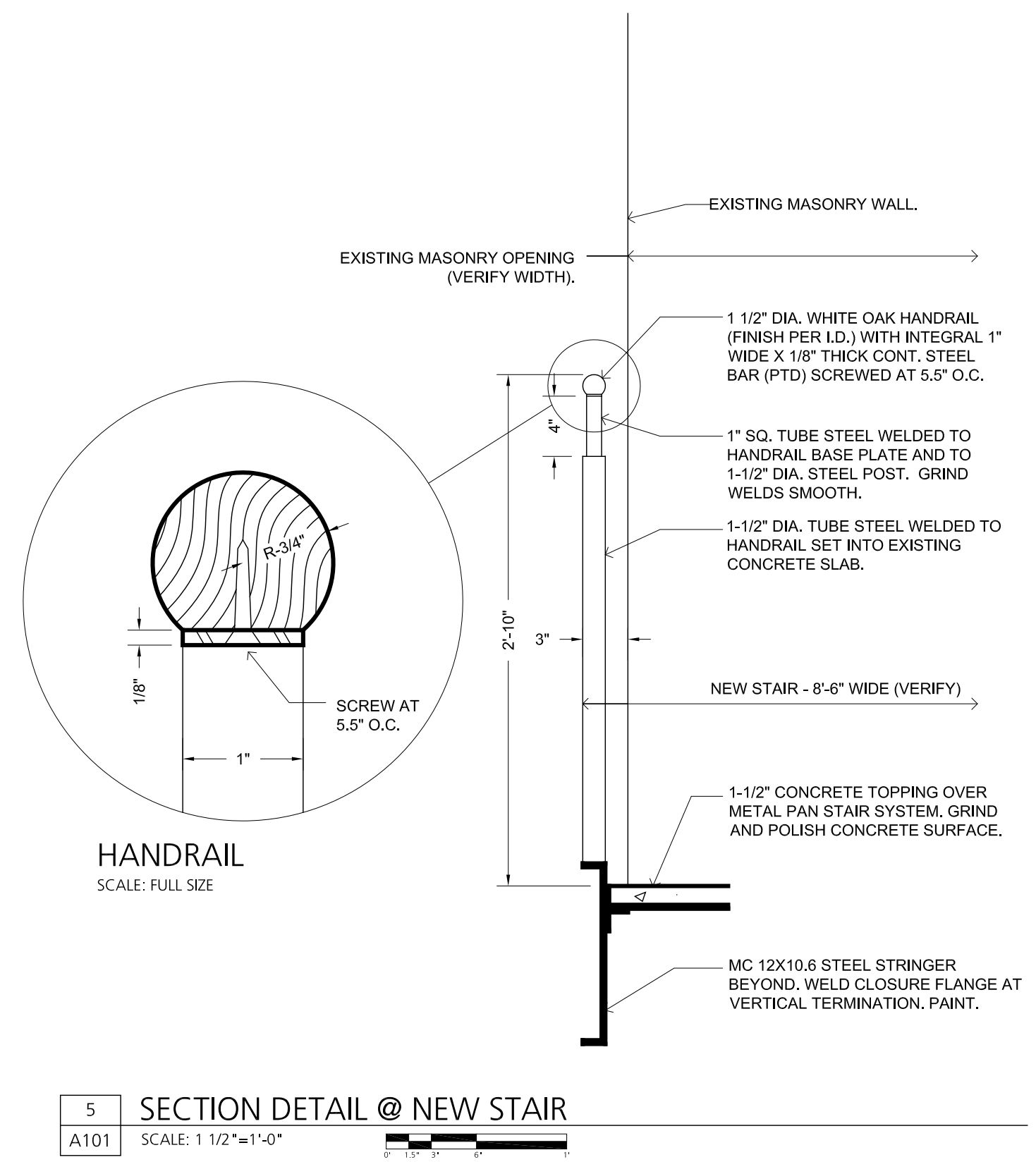


A FLUSH WOOD DOOR LEVER HARDWARE



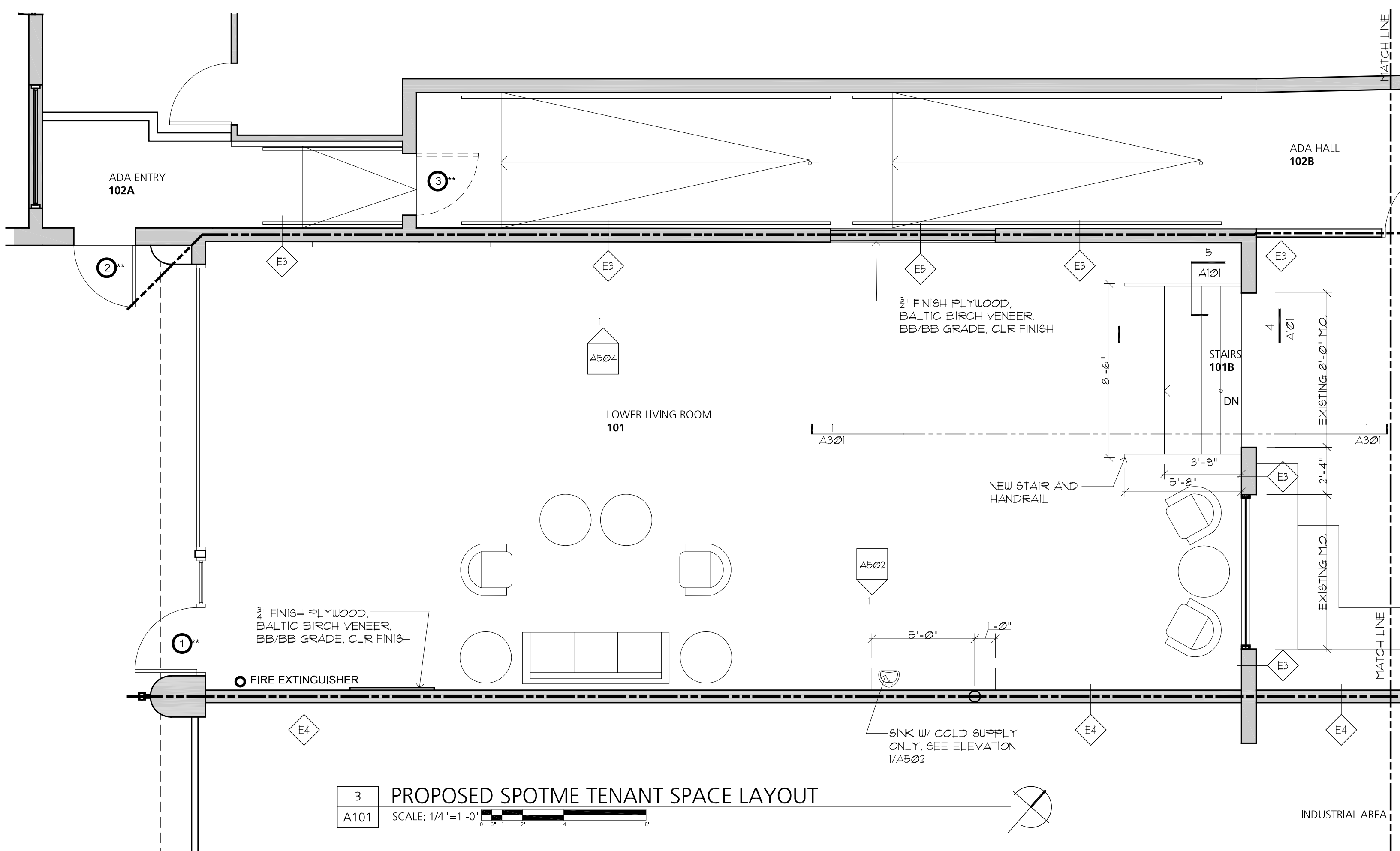
B HOLLOW METAL DOOR AND FRAME LEVER HARDWARE

**SPOTME RESPONSIBLE FOR EGRESS TO DEMISING WALL. OWNER / BUILDING ARCHITECT RESPONSIBLE FOR RATING AND EGRESS STARTING AND INCLUDING DEMISING WALL



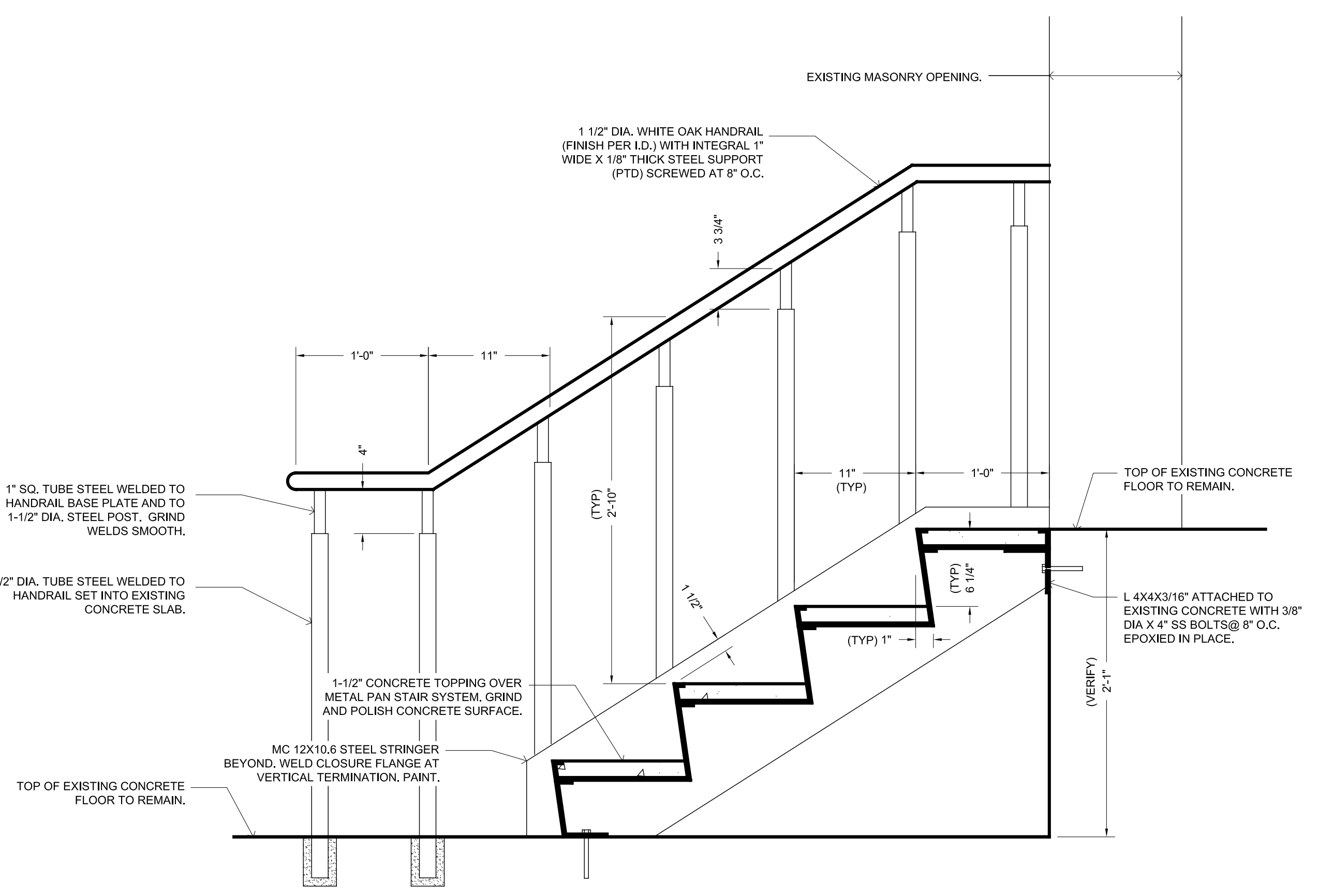
5 SECTION DETAIL @ NEW STAIR

A101 SCALE: 1 1/2"=1'-0"



3 PROPOSED SPOTME TENANT SPACE LAYOUT

A101 SCALE: 1/4"=1'-0"



4 SECTION DETAIL @ NEW STAIR

A101 SCALE: 1 1/2"=1'-0"

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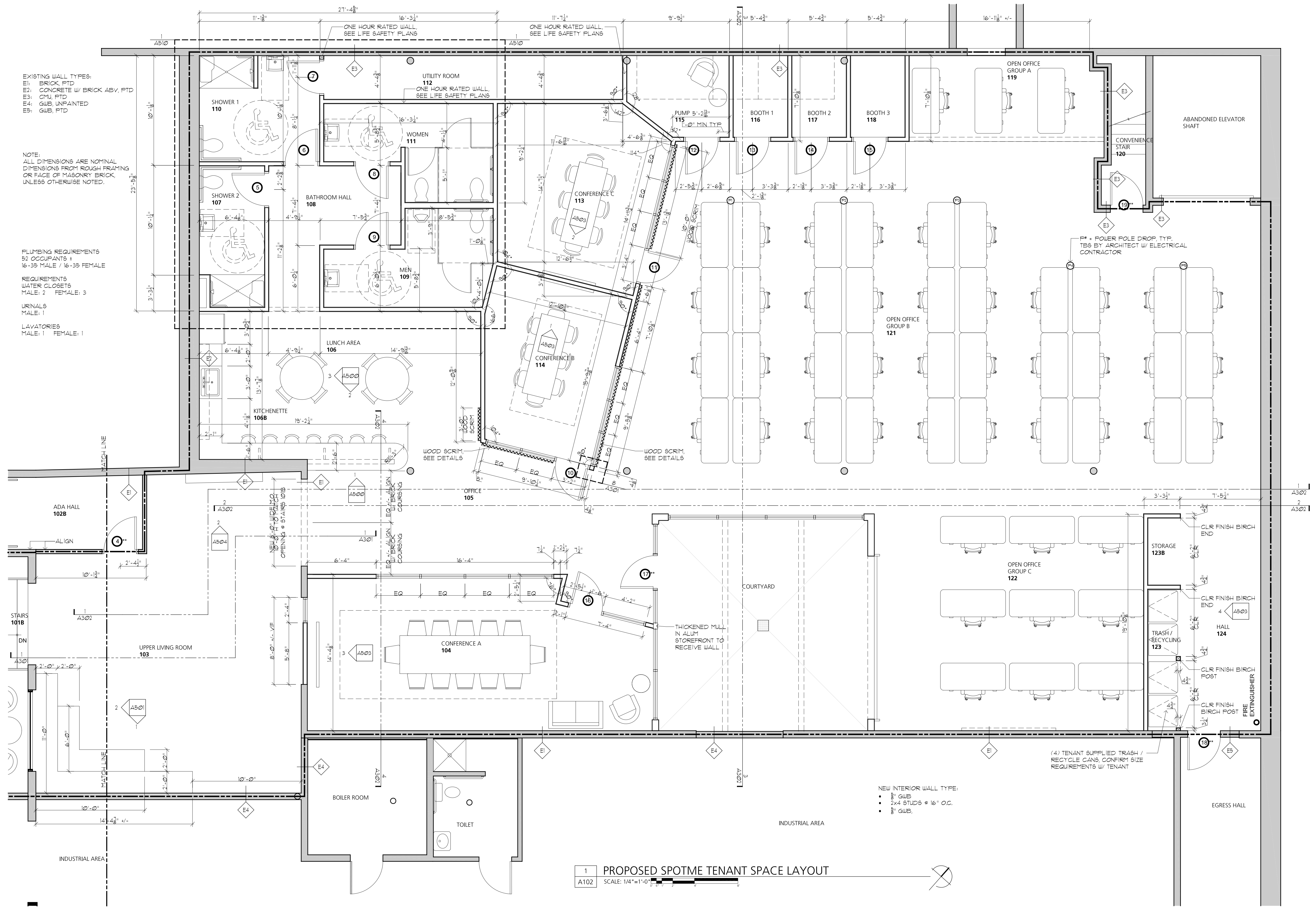


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PARTIAL FLOOR PLAN, DOOR SCHEDULE, STAIR DETAILS
ISSUED FOR REVISION: FOR PERMIT
SHEET SIZE: 22" x 34"
DATE: 10/12/2016
DRAWN BY: B+W
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EXISTING WALL TYPES:
 E1: BRICK, PTD
 E2: CONCRETE W/ BRICK ABV, PTD
 E3: CMU, PTD
 E4: GUB, UNPAINTED
 E5: GUB, PTD

NOTE:
 ALL DIMENSIONS ARE NOMINAL
 DIMENSIONS FROM ROUGH FRAMING
 OR FACE OF MASONRY BRICK,
 UNLESS OTHERWISE NOTED.

PLUMBING REQUIREMENTS
 52 OCCUPANTS ±
 16-35 MALE / 16-35 FEMALE

REQUIREMENTS
 WATER CLOSETS
 MALE: 2 FEMALE: 3

URINALS
 MALE: 1

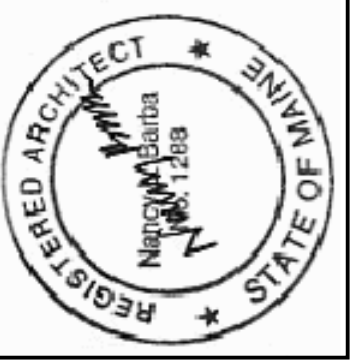
LAVATORIES
 MALE: 1 FEMALE: 1

NEW INTERIOR WALL TYPE:
 • 1/2" GUB
 • 2x4 STUDS @ 16" O.C.
 • 5/8" GUB

(4) TENANT SUPPLIED TRASH /
 RECYCLE CANS, CONFIRM SIZE
 REQUIREMENTS W/ TENANT

1 PROPOSED SPOTME TENANT SPACE LAYOUT
 A102 SCALE: 1/4"=1'-0"

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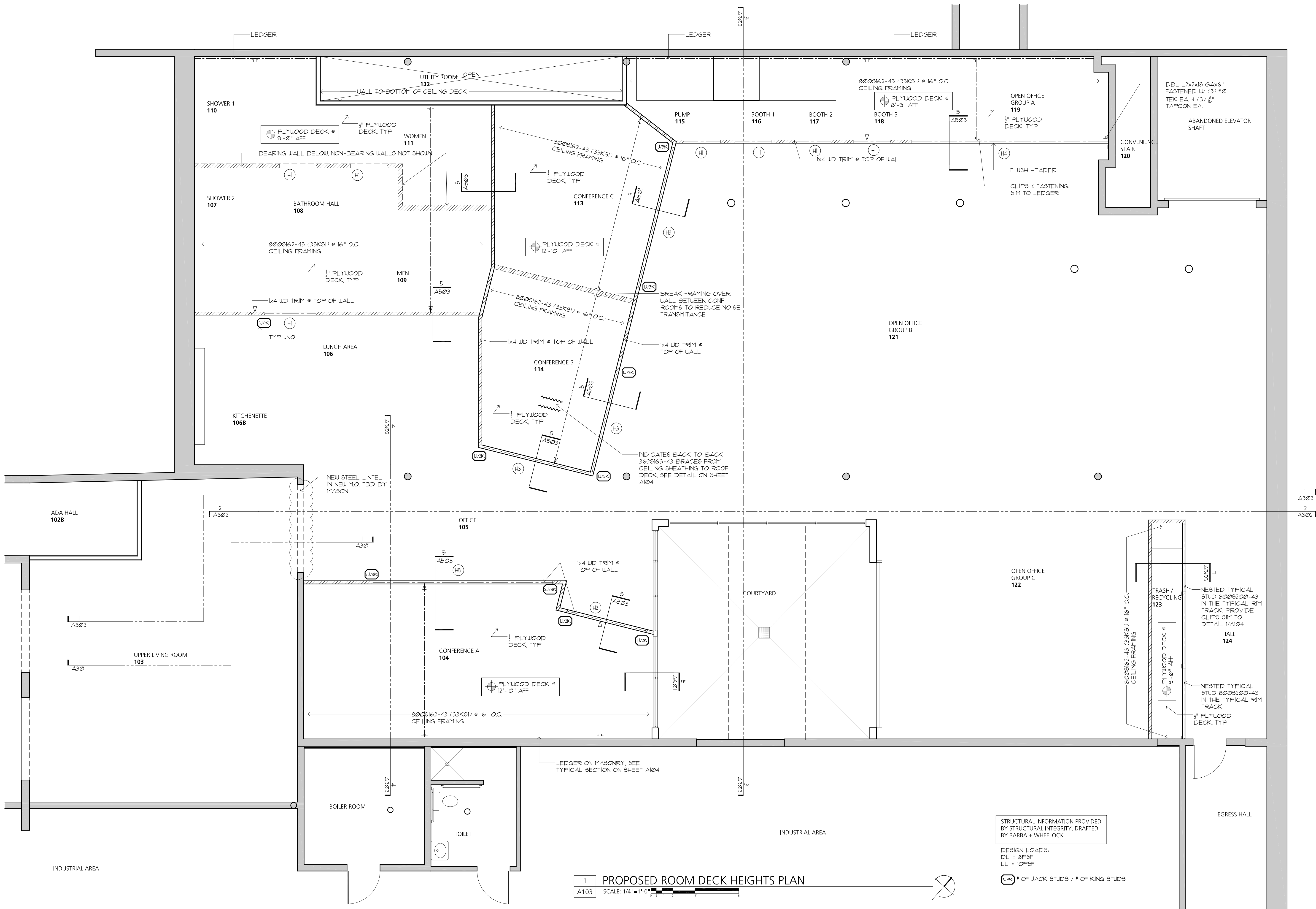
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PARTIAL FLOOR PLAN

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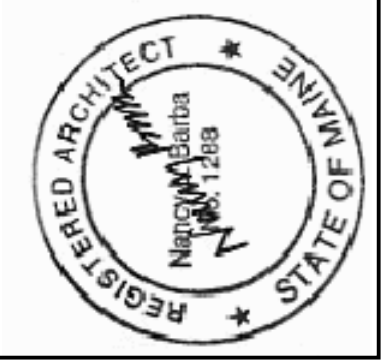
A102



STRUCTURAL INFORMATION PROVIDED BY STRUCTURAL INTEGRITY, DRAFTED BY BARBA + WHEELOCK

DESIGN LOADS:
 DL = 8PSF
 LL = 10PSF
 (UJK) # OF JACK STUDS / # OF KING STUDS

1 PROPOSED ROOM DECK HEIGHTS PLAN
 A103 SCALE: 1/4"=1'-0"



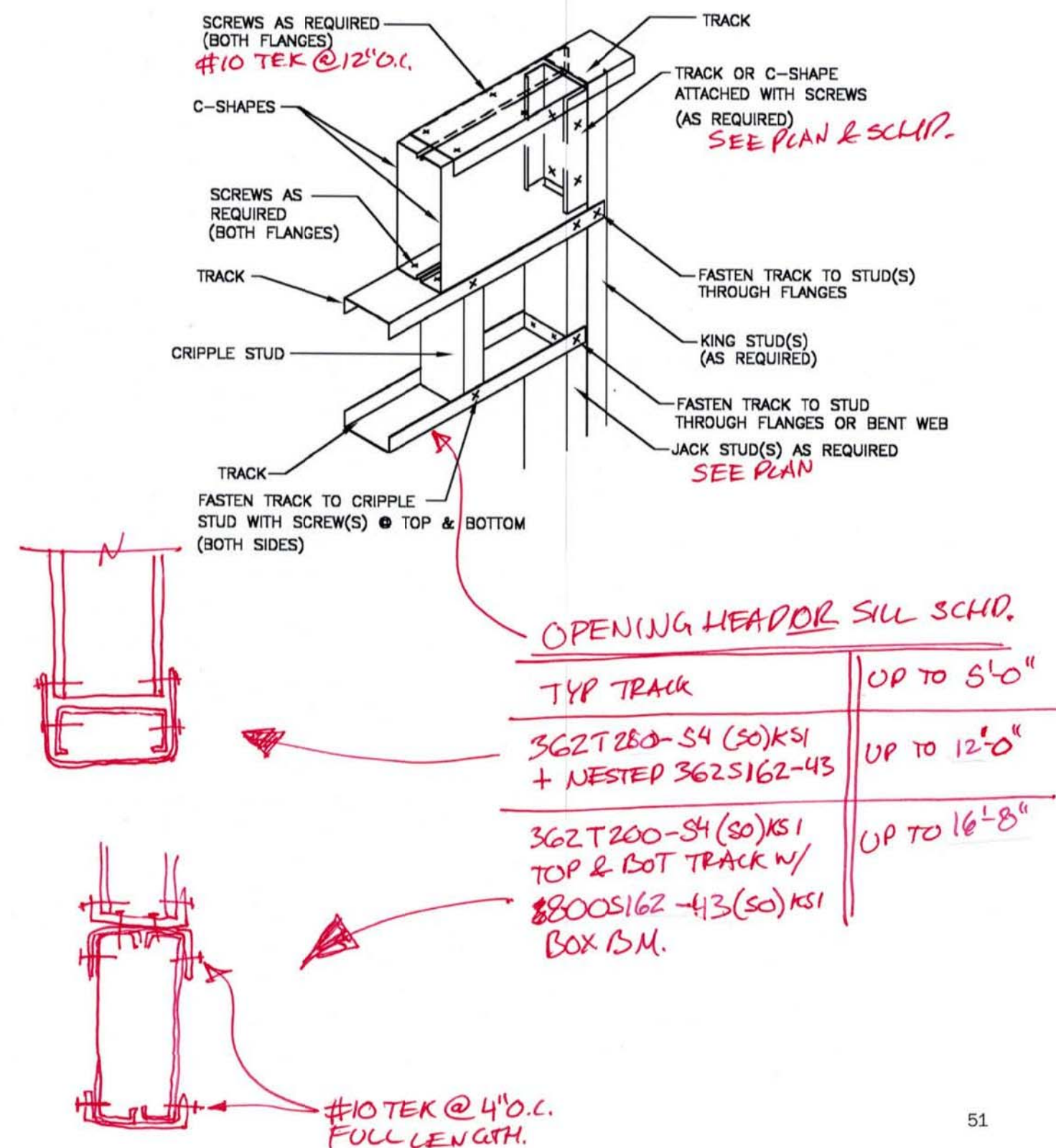
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ROOM DECK HEIGHTS
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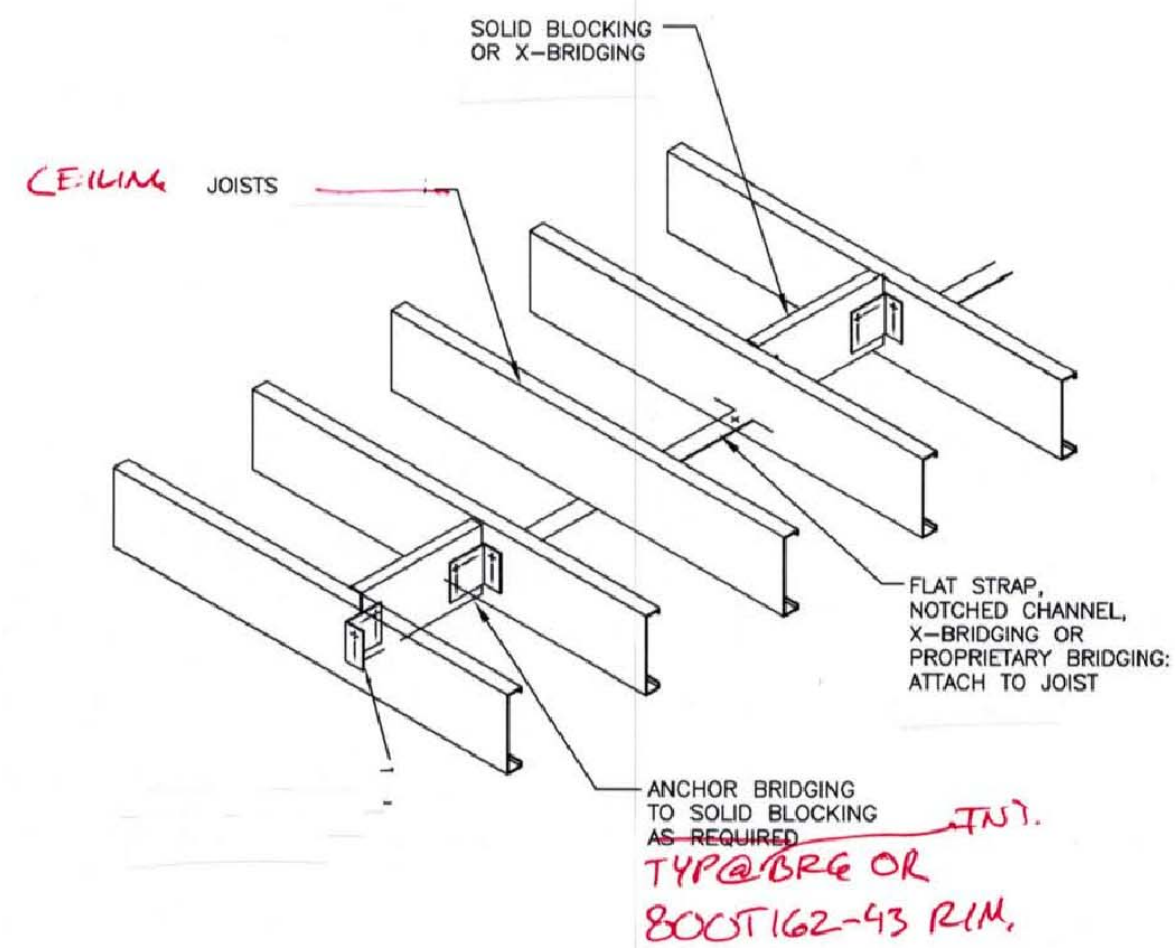
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A103

Detail W10
Box Beam Header with Jack Stud

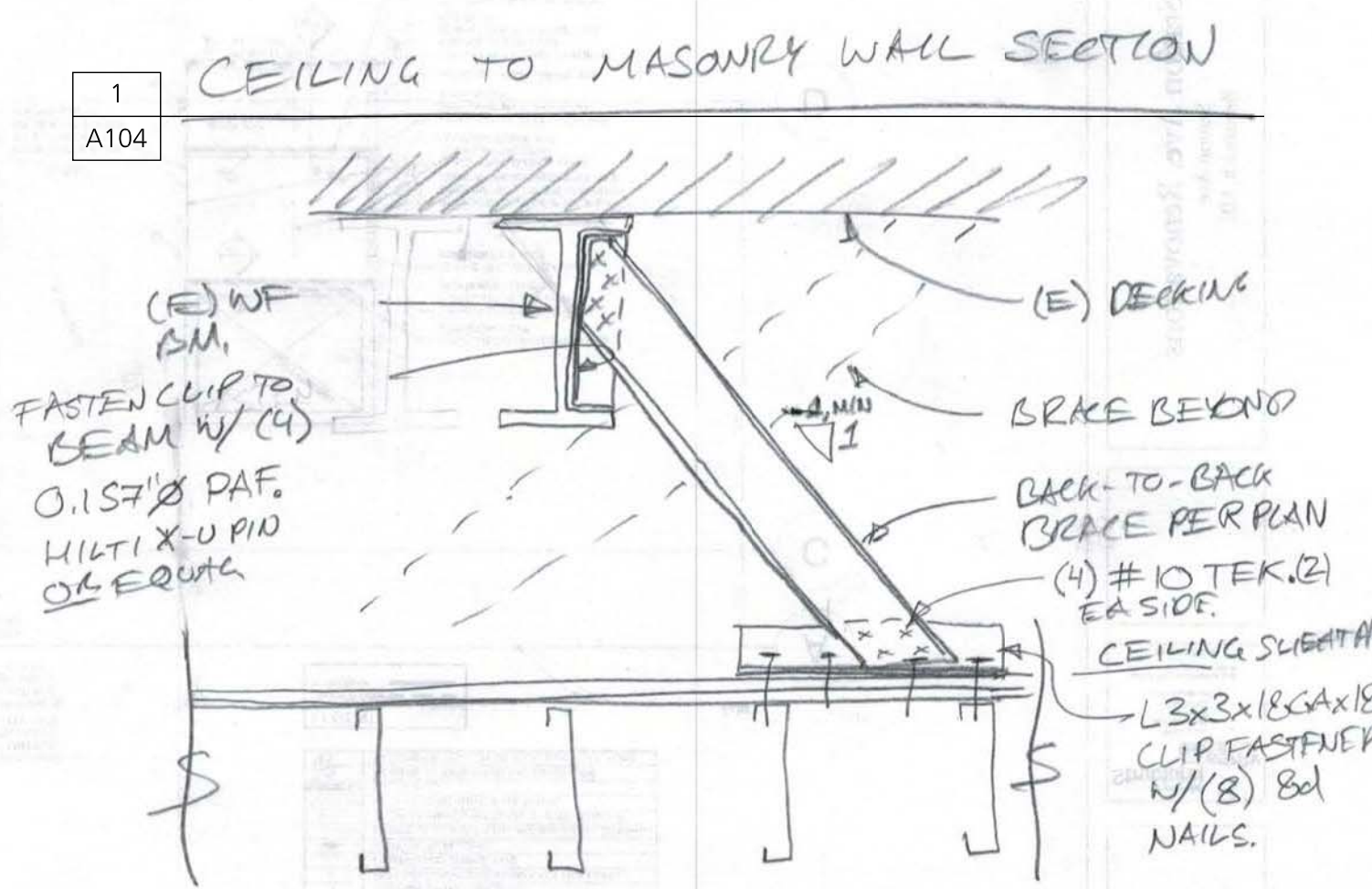
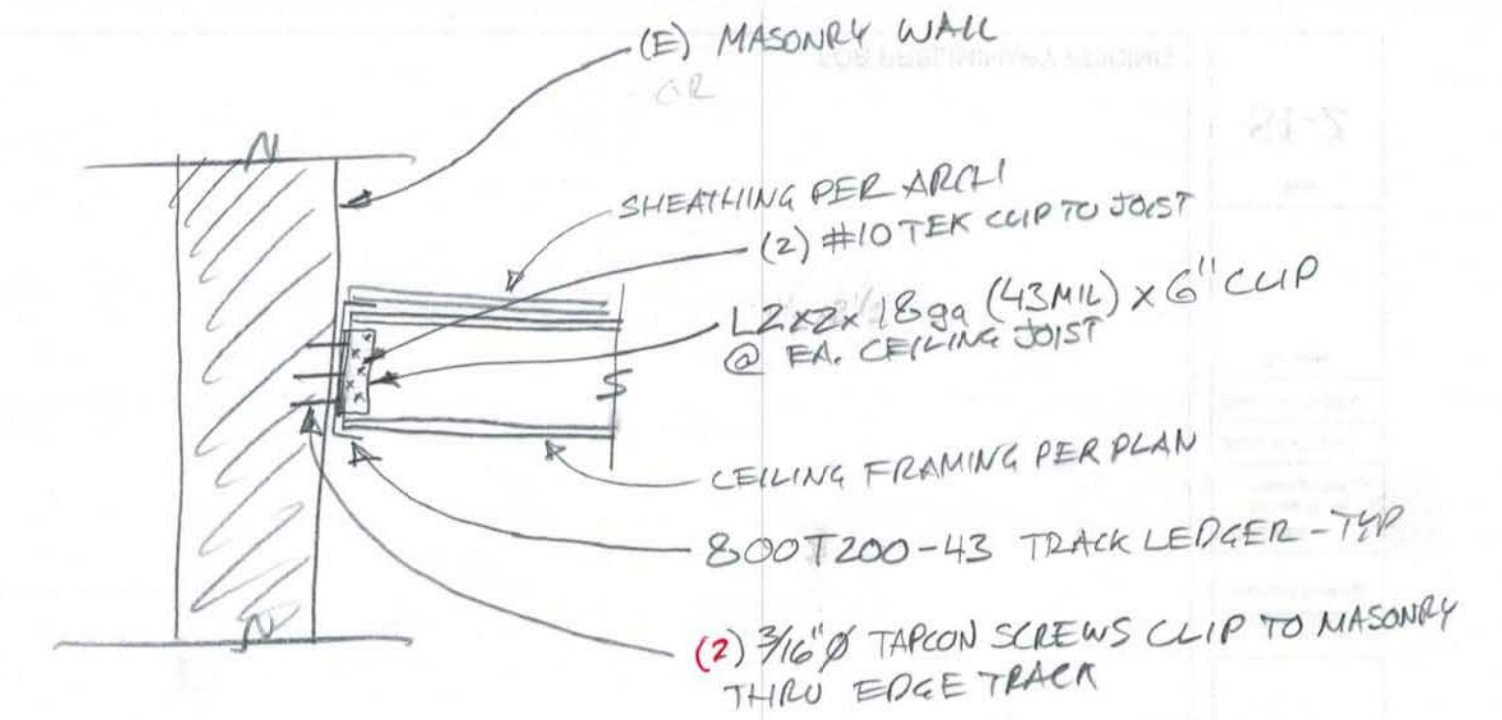


4
A104

Detail R8
Joist Bridging



3
A104



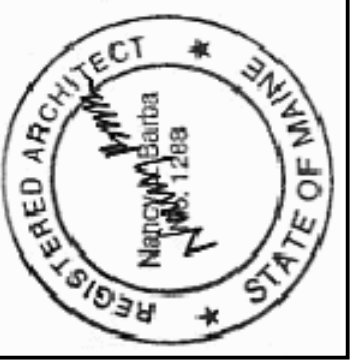
2
A104

HEADER SCHEDULE		
H1	DBL 362S162-43 BOX BM	TYP UNO
H2	DBL 600S162-43 BOX BM	WEB STIFF @ BRG
H3	DBL 800S162-43 BOX BM	WEB STIFF @ BRG
H4	NESTED 800S162-43 IN 800T200-68 TRACK FLUSH HEADER	
H5	DBL 1200S162-54 (50KS1) BOX BM	WEB STIFF @ BRG

TYPICAL FRAMING	
TYPICAL CEILING FRAMING:	800S162-43 (33KS1) @ 16" O.C.
TYPICAL CEILING FRAMING BEARING WALL FRAMING:	362S162-43 (33KS1) @ 16" O.C.
TYPICAL NON-LOAD BEARING WALL:	362S151-33 (33KS1) @ 16" O.C.

TYPICAL WALL TYPE:
 8" GWB, MOISTURE RESISTANT @ BATHROOMS & SHOWER ROOMS
 METAL FRAMING @ 16" O.C. SEE ABOVE FOR SIZING
 8" GWB, MOISTURE RESISTANT @ BATHROOMS & SHOWER ROOMS

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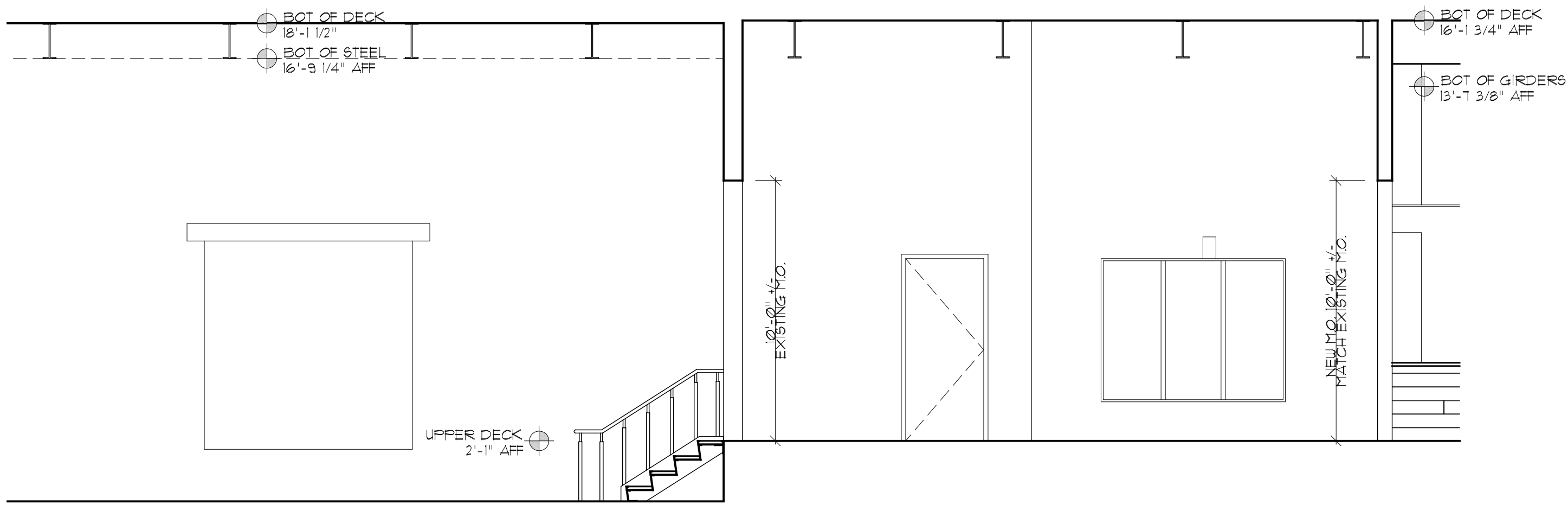
935 W CHESTNUT STREET, SUITE 650
 CHICAGO, IL 60642

FRAMING NOTES BY STRUCTURAL INTEGRITY

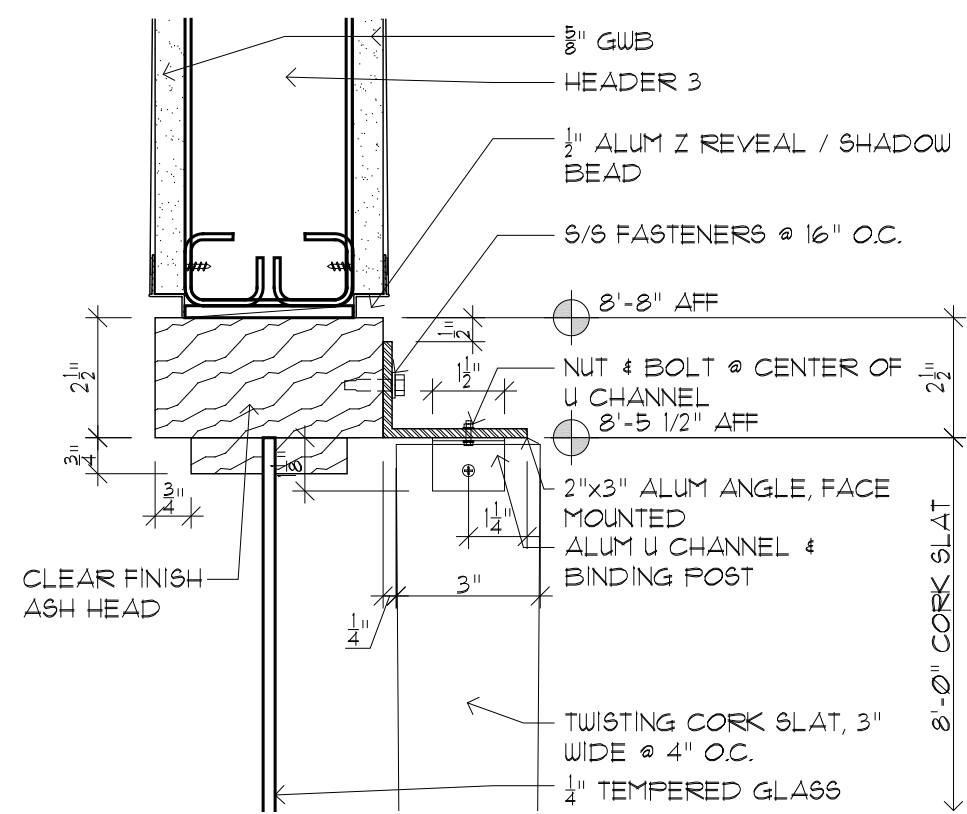
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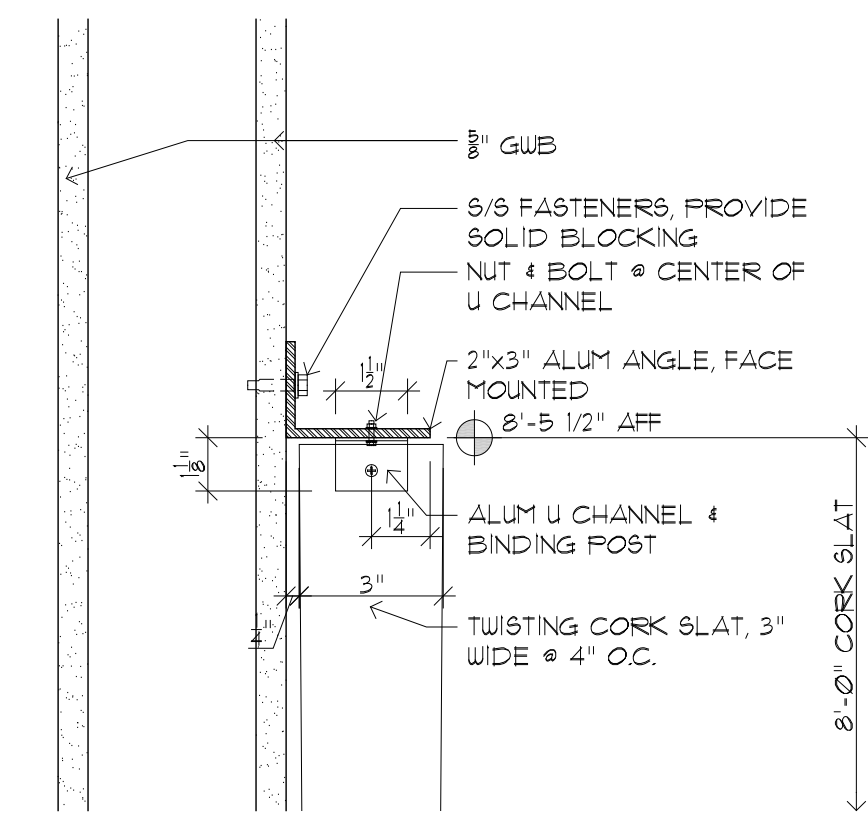
A104



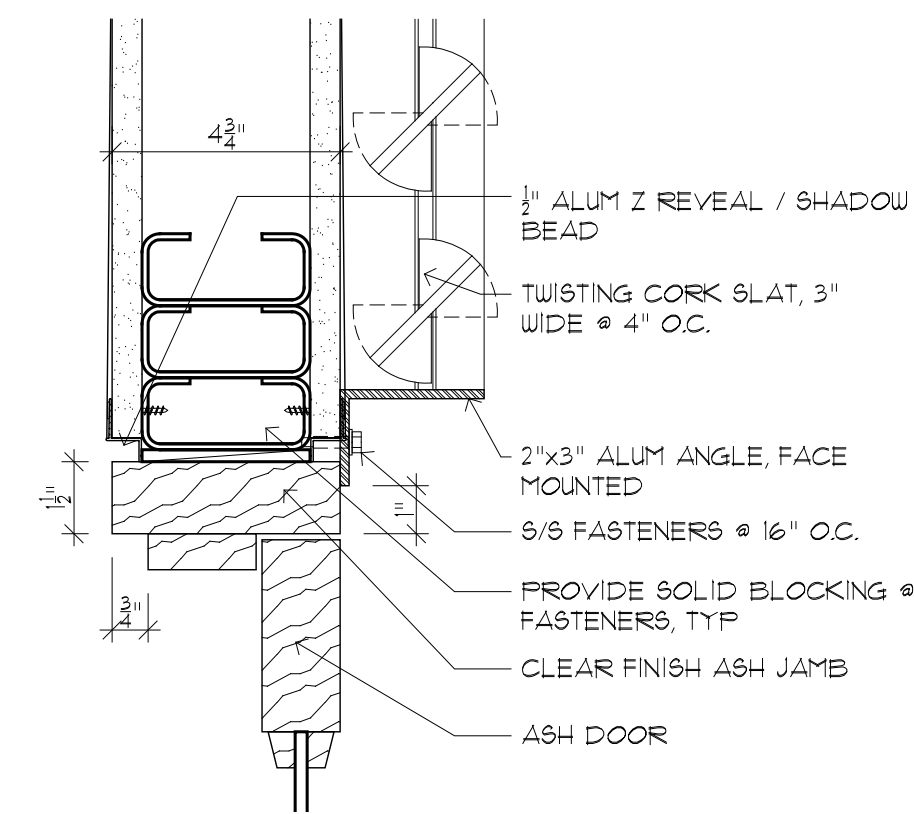
1 SECTION 1
A301 SCALE: 1/4"=1'-0"



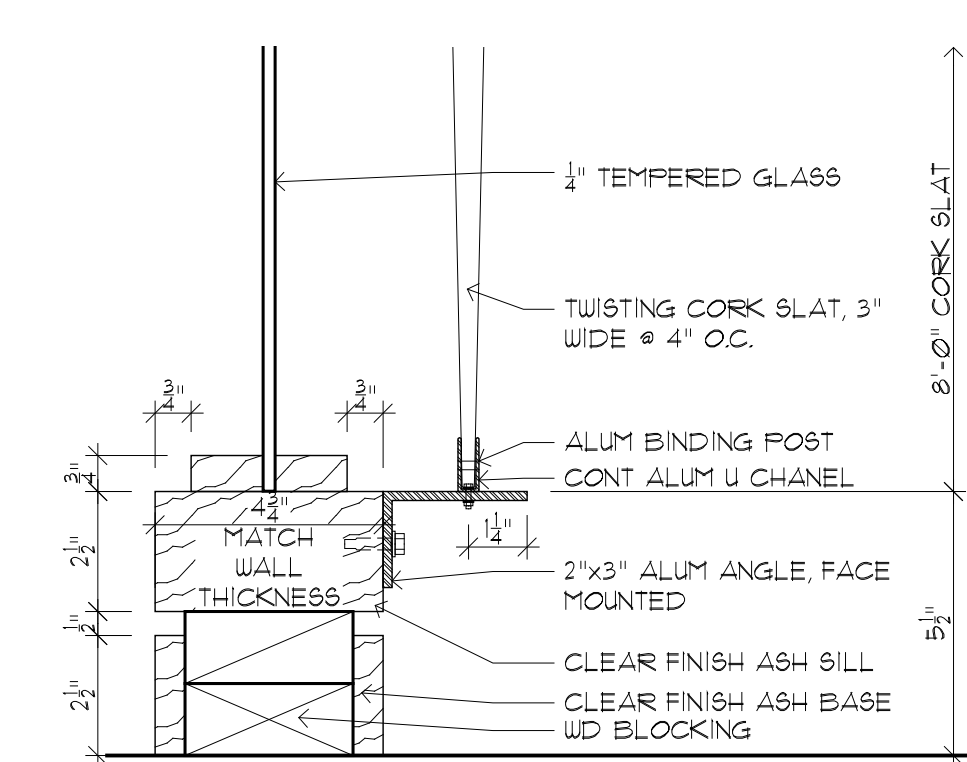
3 WOOD SCRIM HEAD DETAIL @ WOOD WINDOW
A301 SCALE: 3"=1'-0"



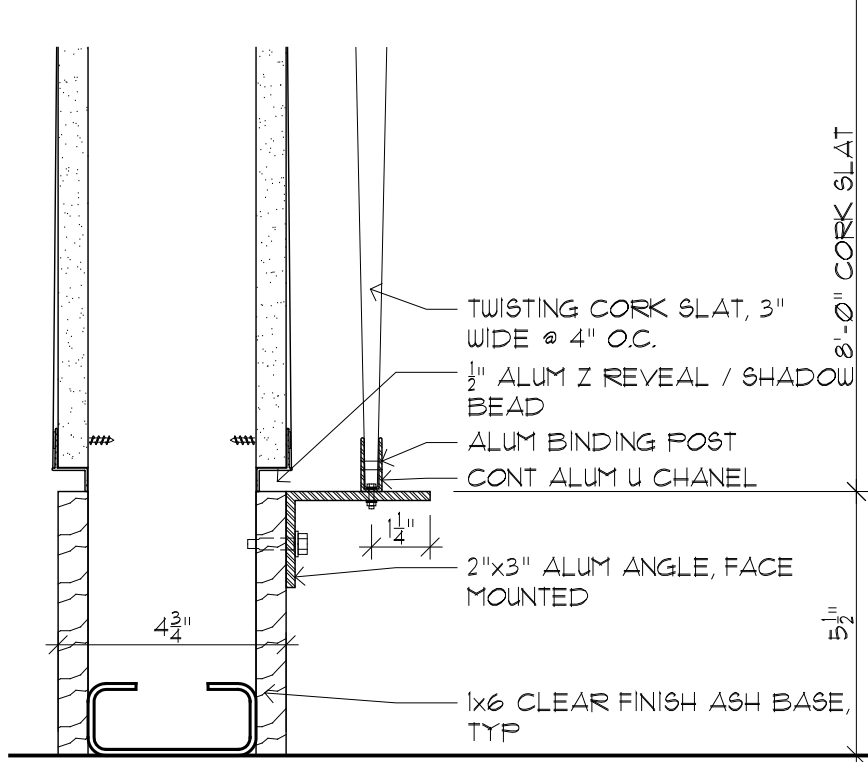
4 WOOD SCRIM HEAD DETAIL @ GWB
A301 SCALE: 3"=1'-0"



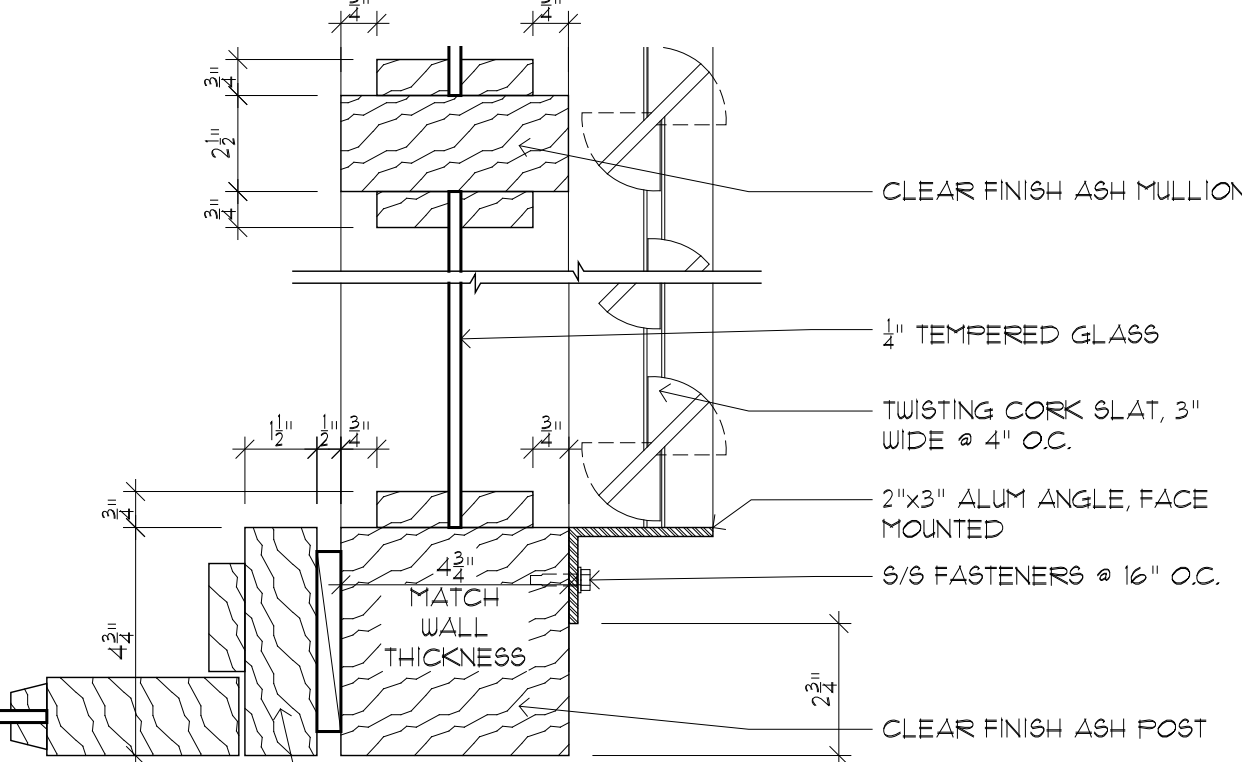
5 WOOD SCRIM JAMB DETAIL
A301 SCALE: 3"=1'-0"



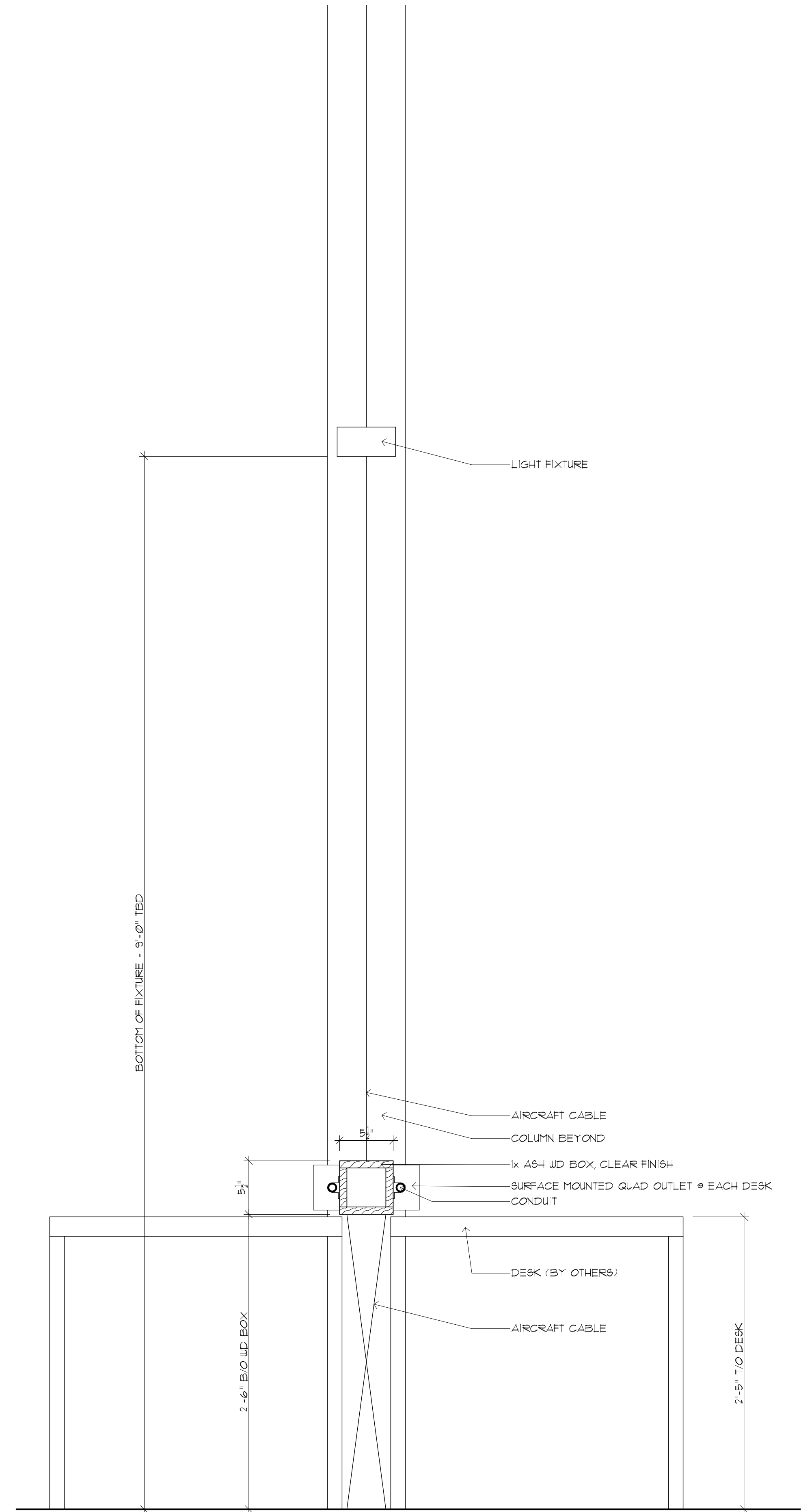
6 WOOD SCRIM SILL DETAIL @ WOOD WINDOW
A301 SCALE: 3"=1'-0"



7 WOOD SCRIM SILL DETAIL @ GWB
A301 SCALE: 3"=1'-0"



8 WOOD SCRIM END DETAIL
A301 SCALE: 3"=1'-0"



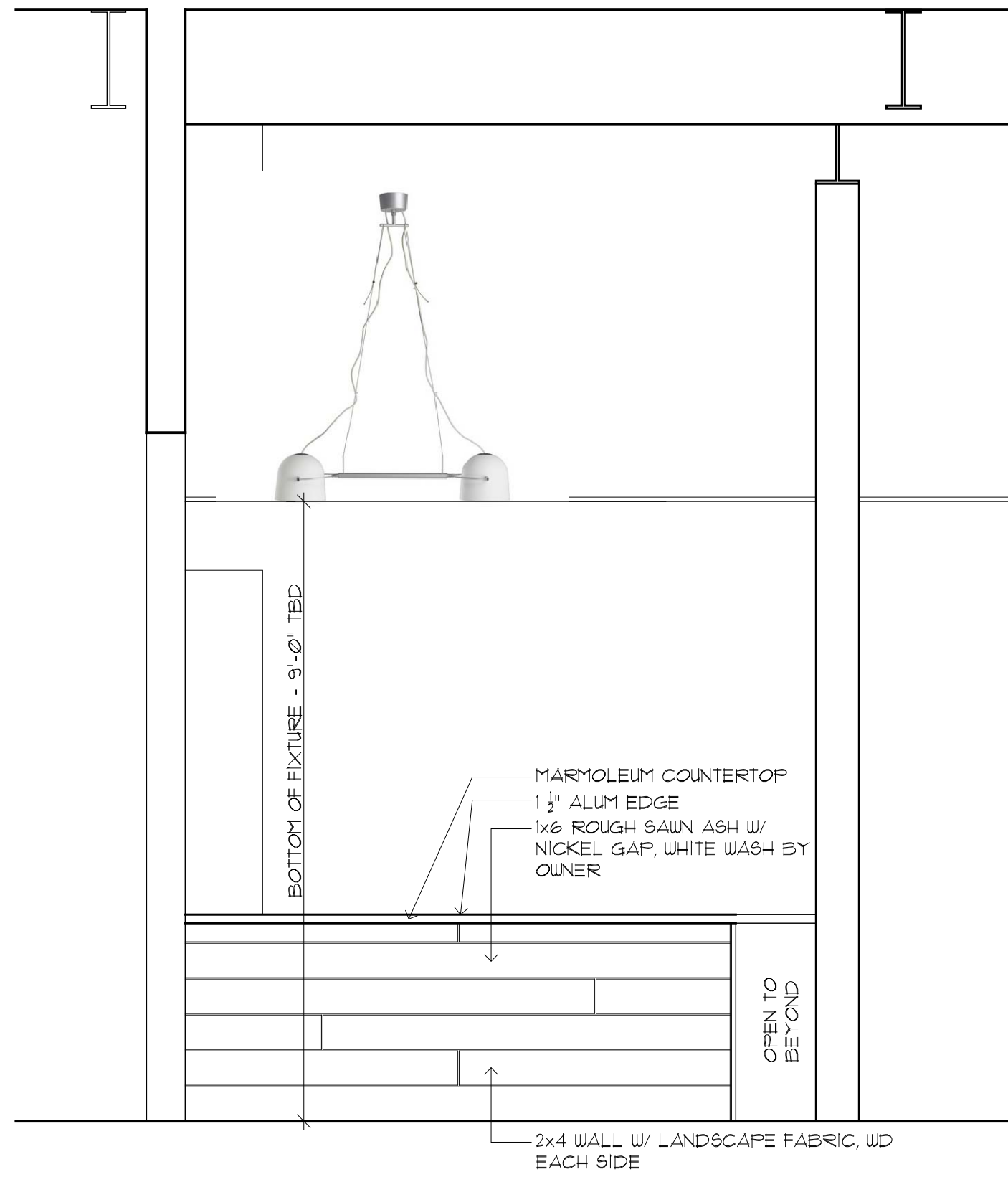
2 POWER BOX SECTION
A301 SCALE: 1 1/2"=1'-0"

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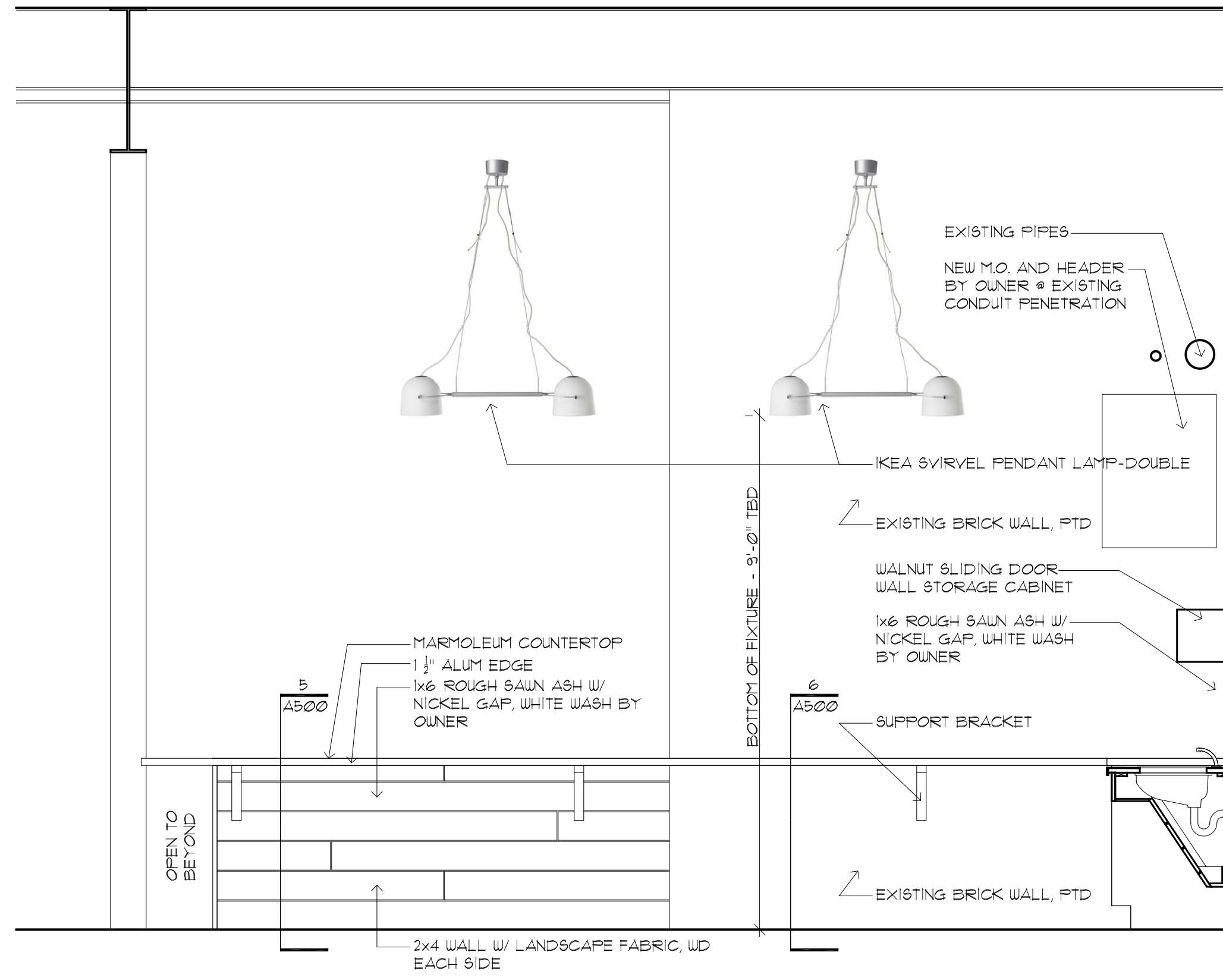
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SECTION 1 & SECTION THROUGH DESKS
ISSUED FOR REVISION:
FOR PERMIT
SHEET SIZE:
22" x 34"
DRAWN BY:
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DATE:
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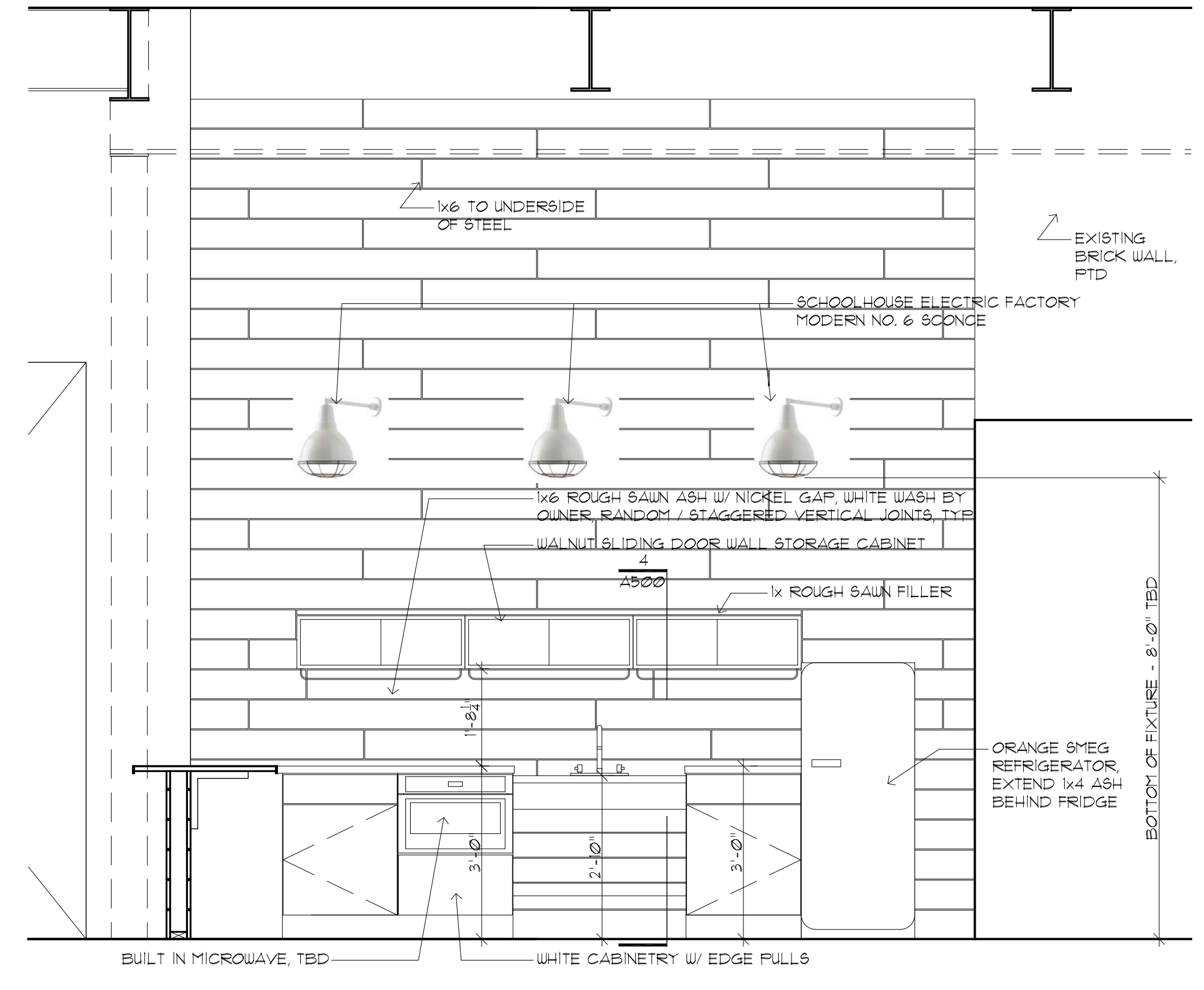
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PORTLAND, ME
A301



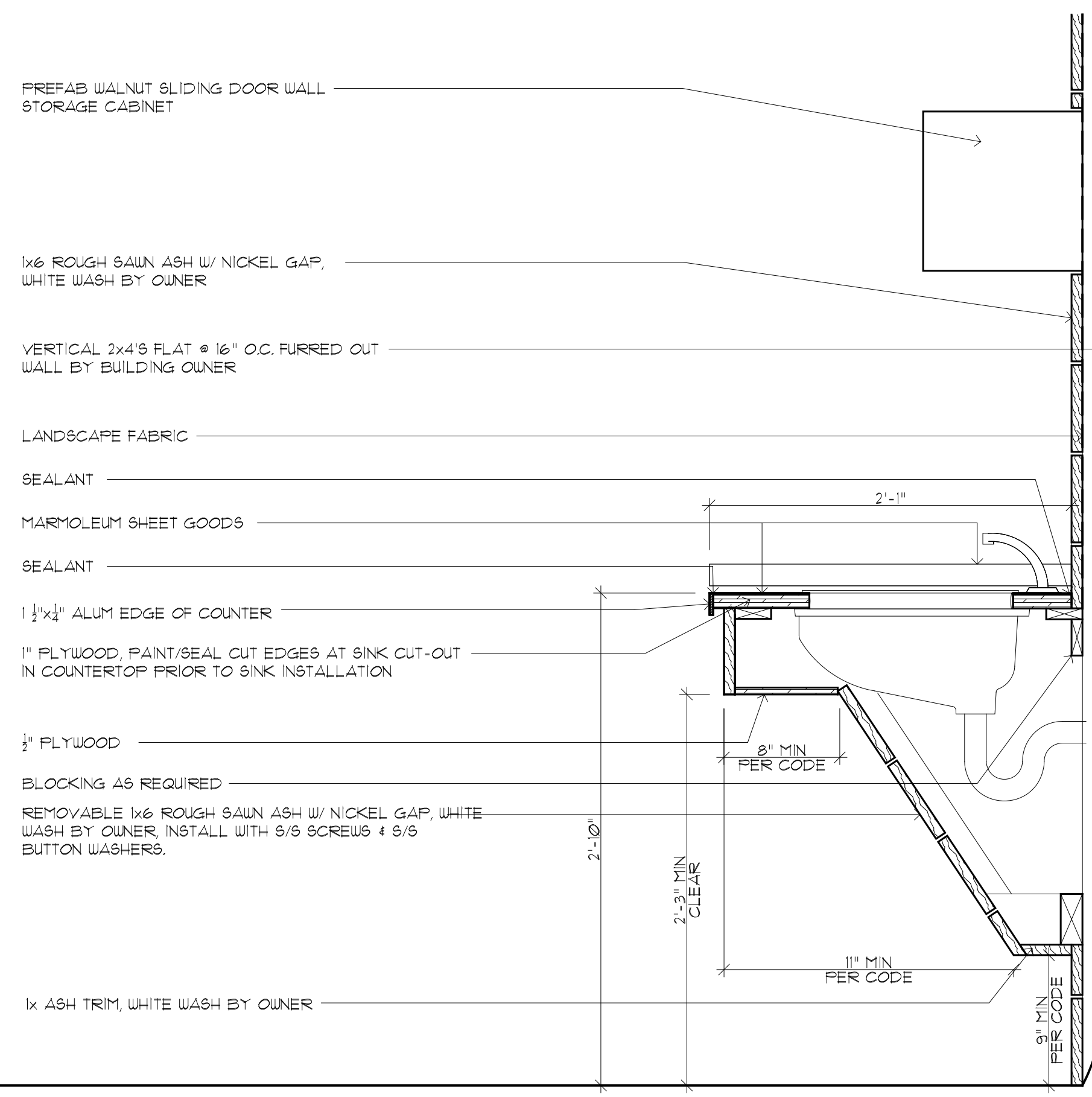
1 INT ELEV @ KITCHENETTE
A500 SCALE: 1/2"=1'-0"



2 INT ELEV @ KITCHENETTE
A500 SCALE: 1/2"=1'-0"

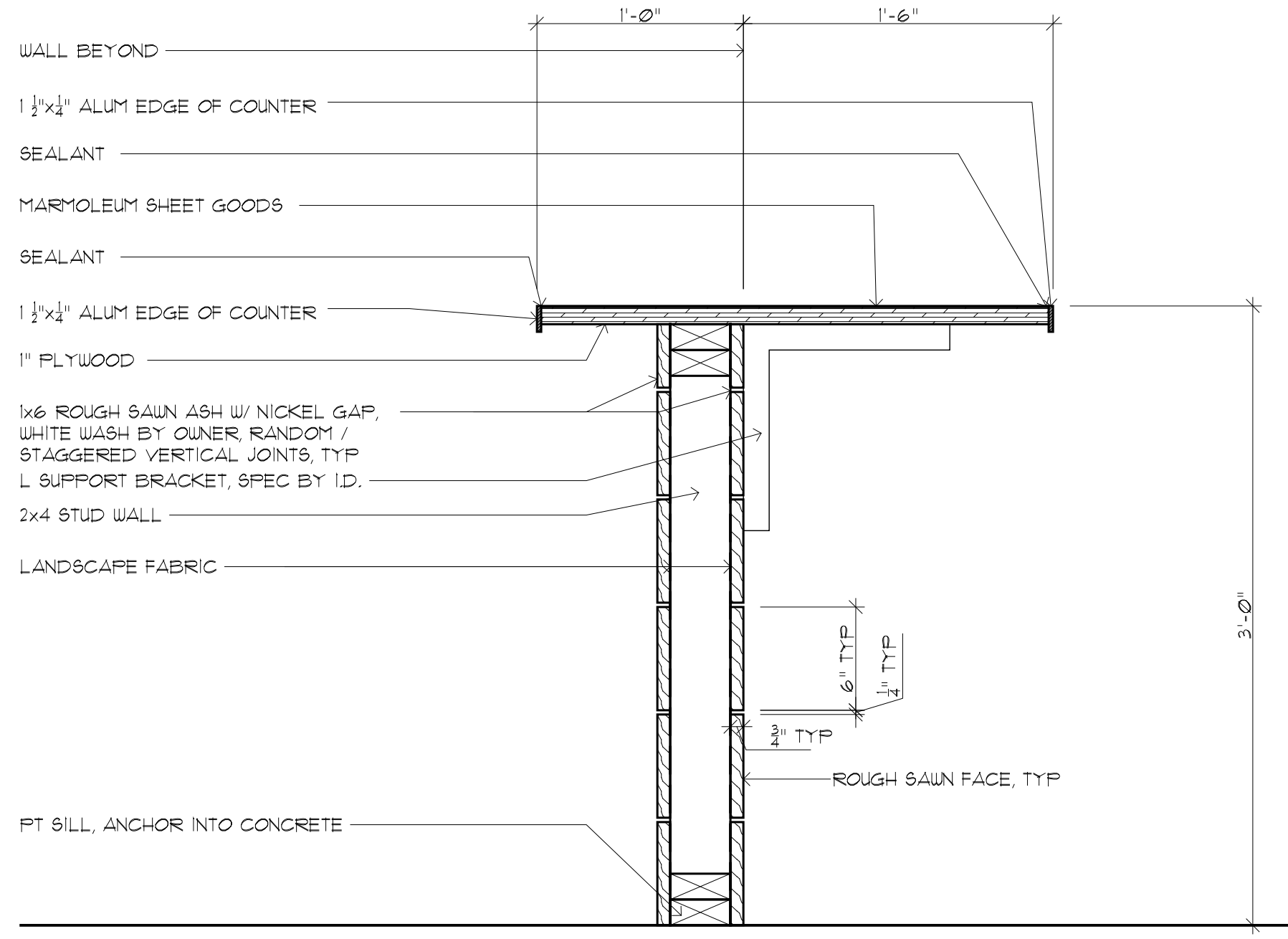


3 INT ELEV @ KITCHENETTE
A500 SCALE: 1/2"=1'-0"

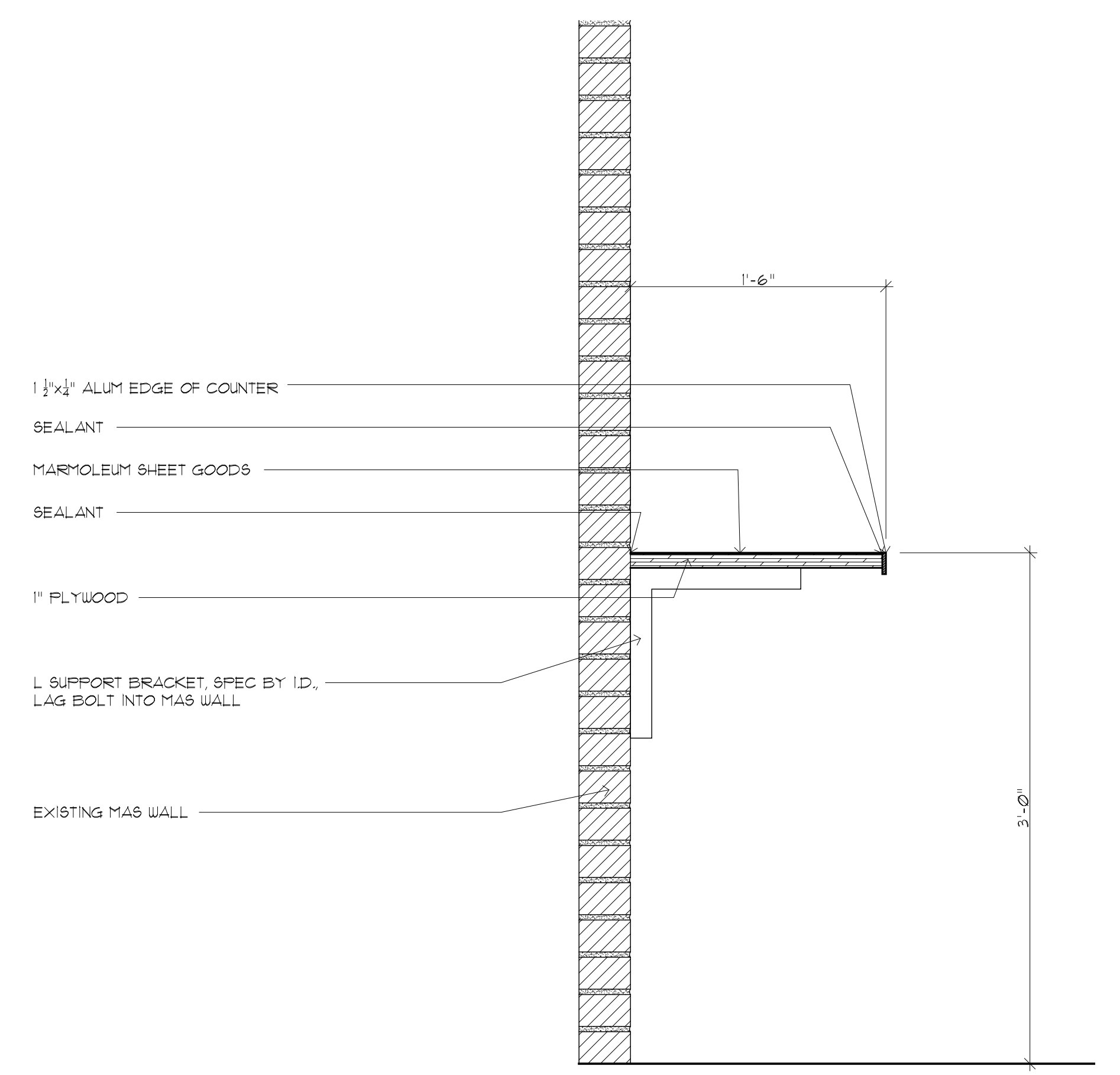


4 DETAIL @ BASE CABINETS
A500 SCALE: 1 1/2"=1'-0"

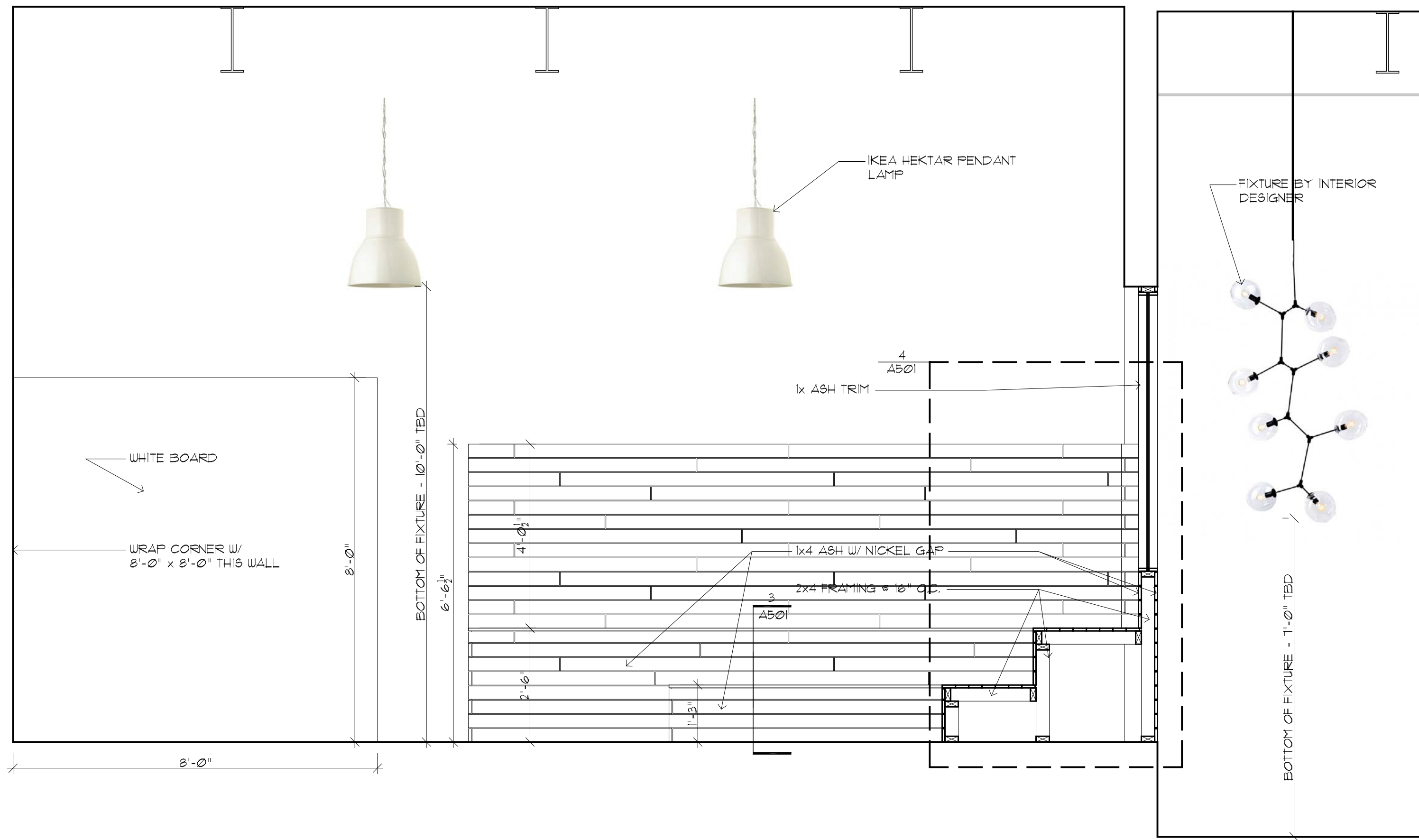
NOTE:
LANDSCAPE FABRIC TO CONCEAL STUDS BEYOND.
ALTERNATE IS SHIP LAP SIDING W/ NICKEL GAP



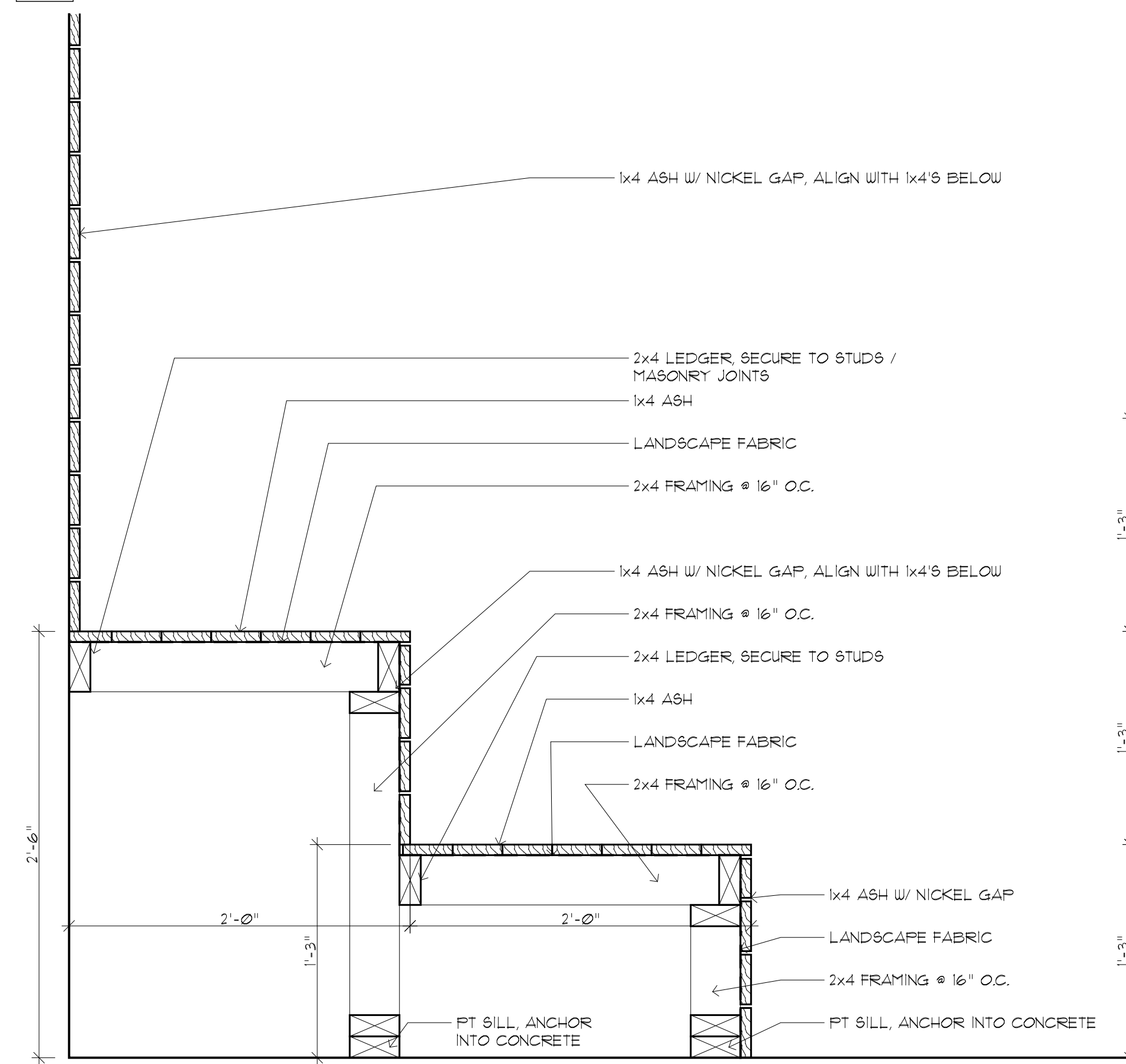
5 DETAIL @ COUNTER
A500 SCALE: 1 1/2"=1'-0"



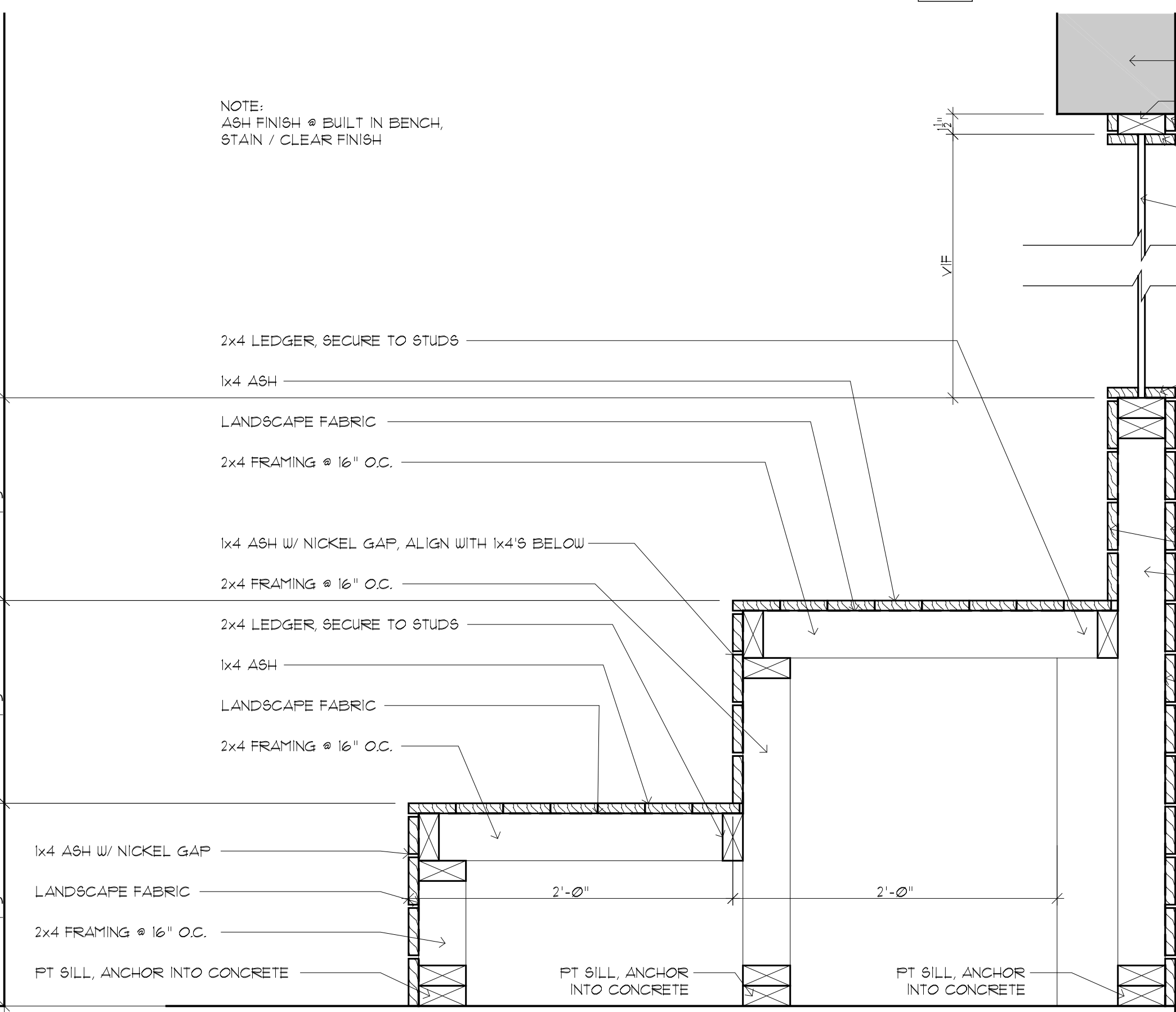
6 DETAIL @ COUNTER
A500 SCALE: 1 1/2"=1'-0"



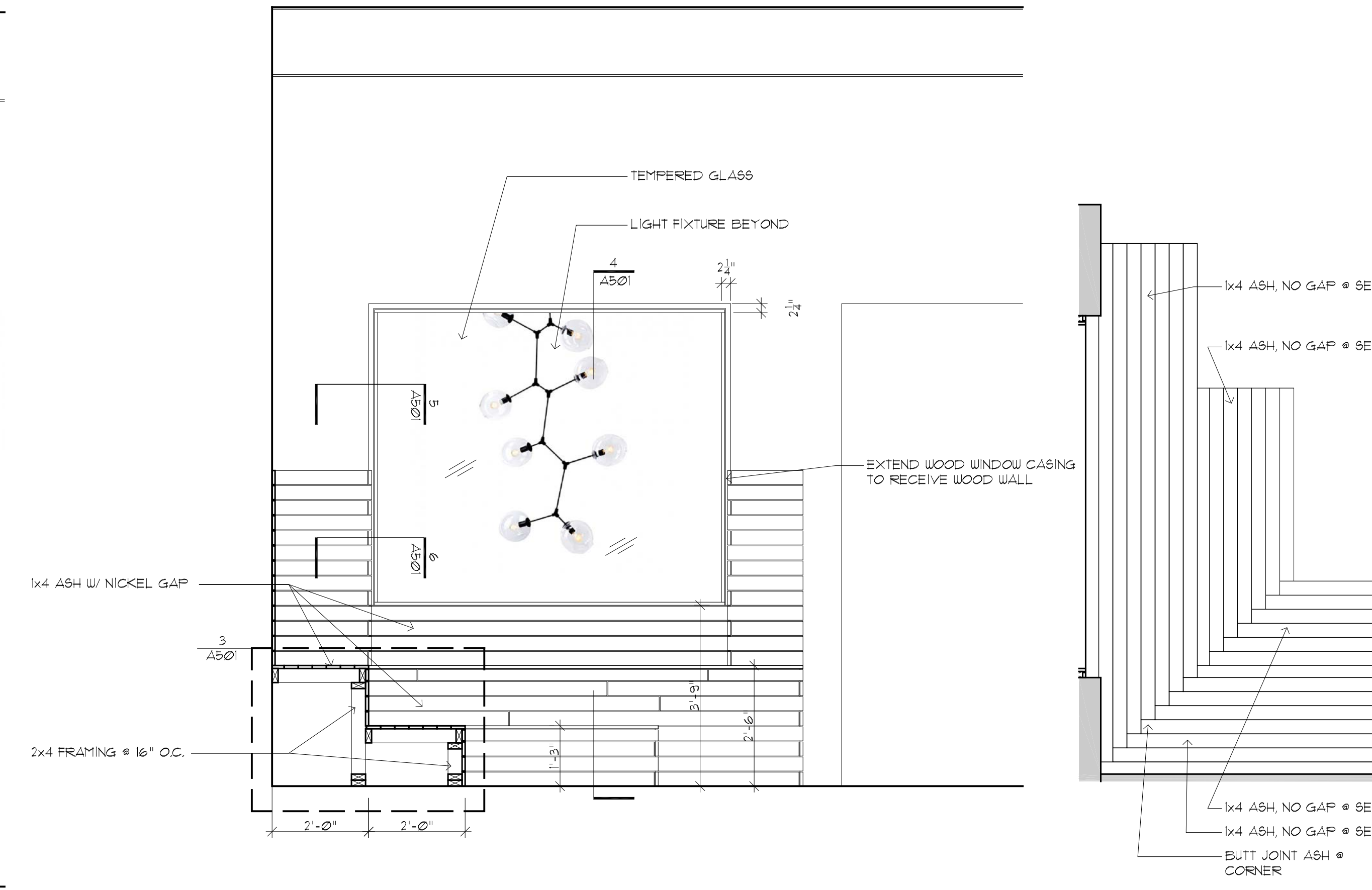
1 INT ELEV @ BUILT IN BENCH
A501 SCALE: 1/2"=1'-0"



3 DETAIL @ BUILT IN BENCH
A501 SCALE: 1 1/2"=1'-0"

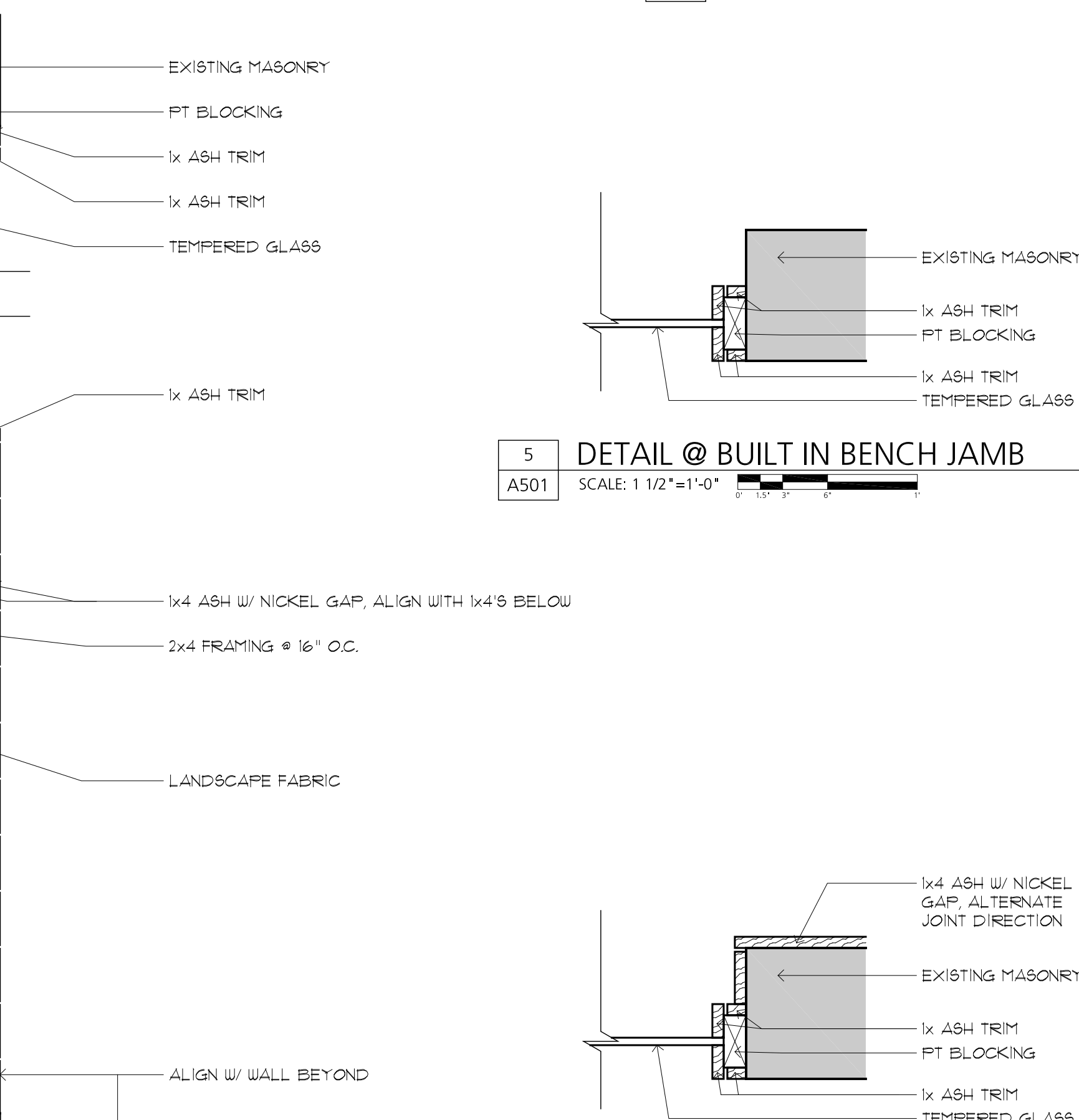


4 DETAIL @ BUILT IN BENCH
A501 SCALE: 1 1/2"=1'-0"



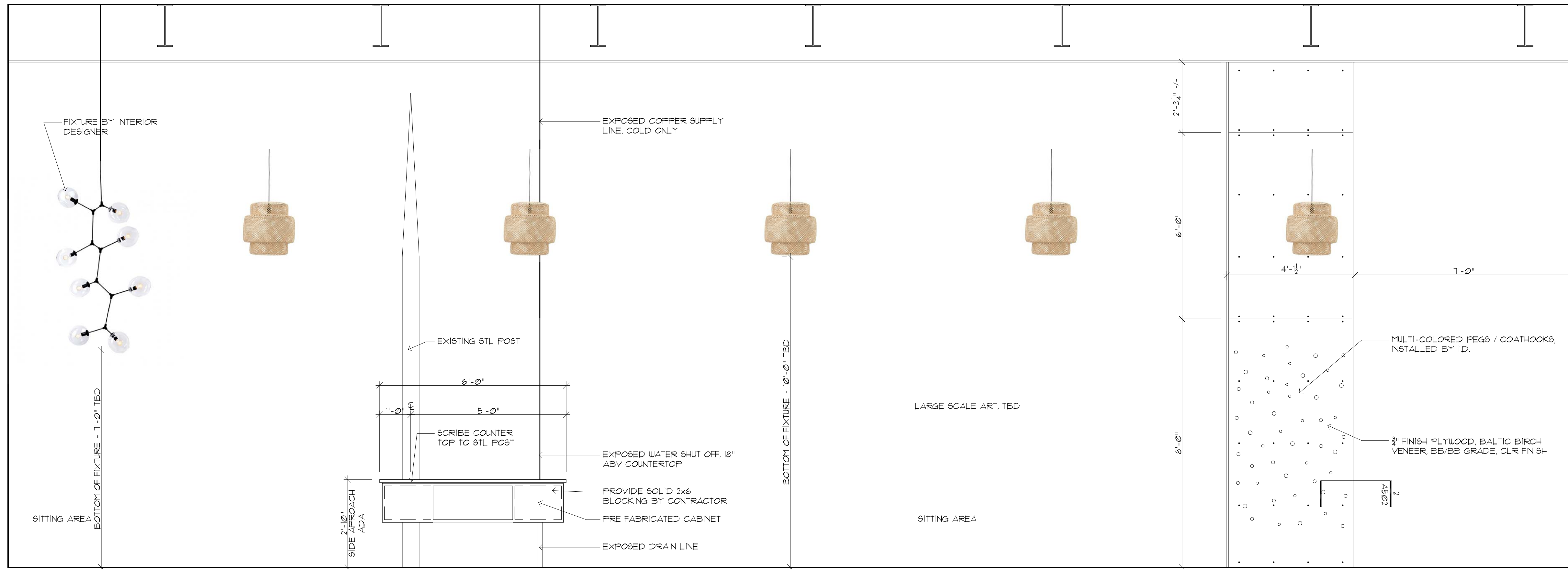
2 INT ELEV @ BUILT IN BENCH
A501 SCALE: 1/2"=1'-0"

2B PLAN DETAIL @ BENCH
A501 SCALE: 1/2"=1'-0"

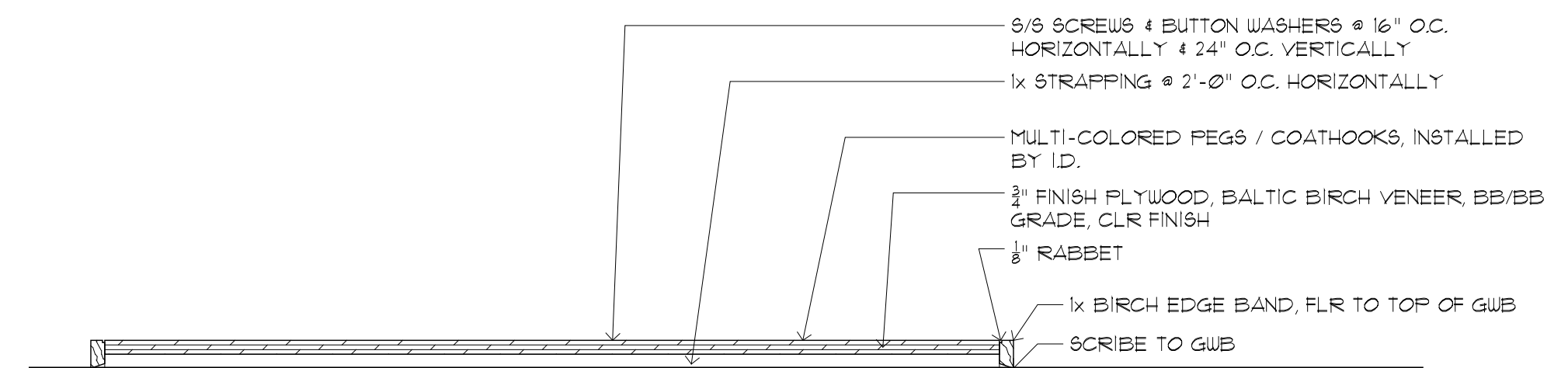


5 DETAIL @ BUILT IN BENCH JAMB
A501 SCALE: 1 1/2"=1'-0"

6 DETAIL @ BUILT IN BENCH JAMB
A501 SCALE: 1 1/2"=1'-0"



1 INT ELEV @ LOWER LIVING ROOM
 A502 SCALE: 1/2"=1'-0"



2 DETAIL @ PLYWOOD EDGE
 A502 SCALE: 1 1/2"=1'-0"

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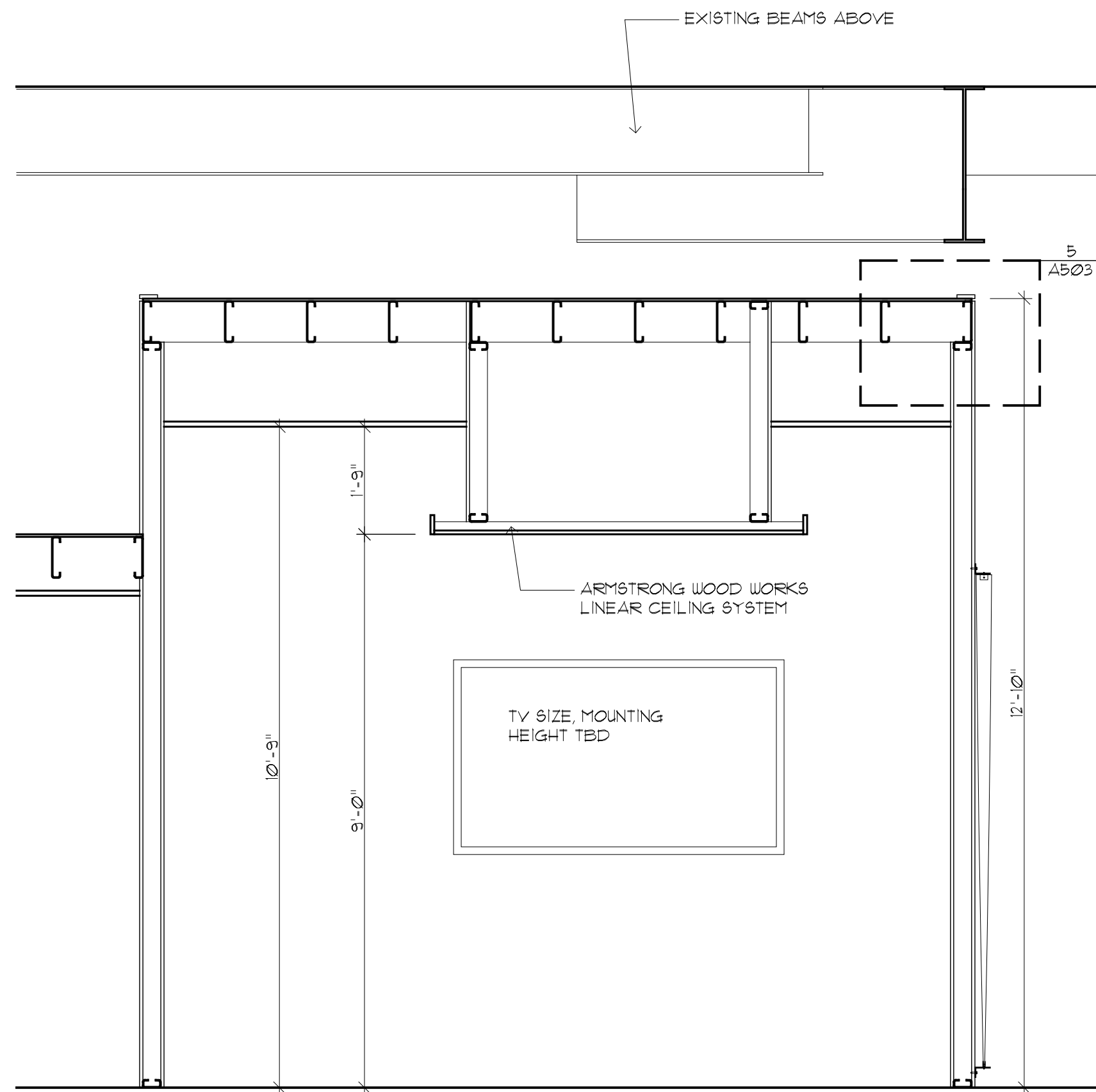
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INTERIOR ELEVATIONS & DETAILS @
 LOWER LIVING ROOM

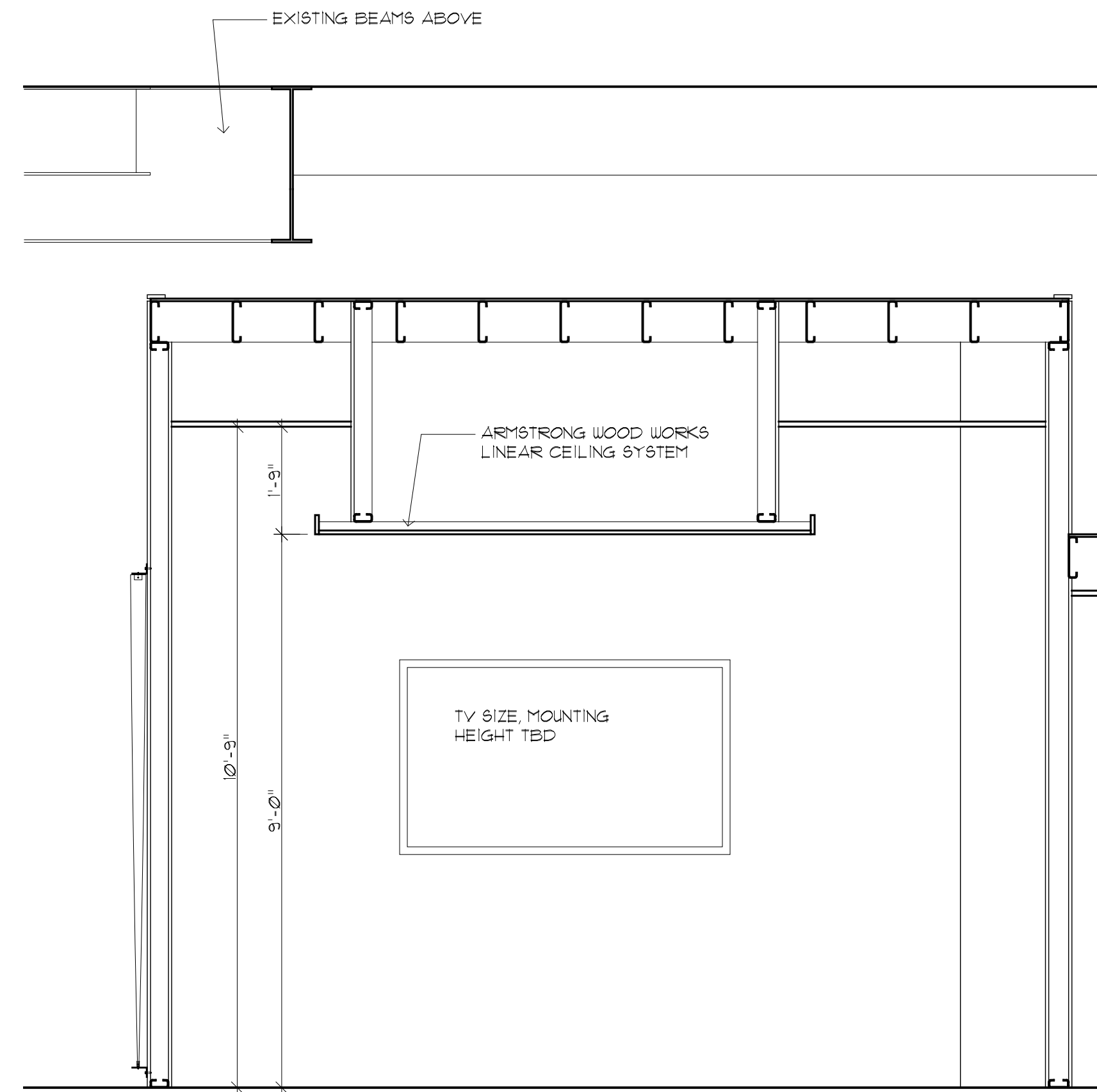
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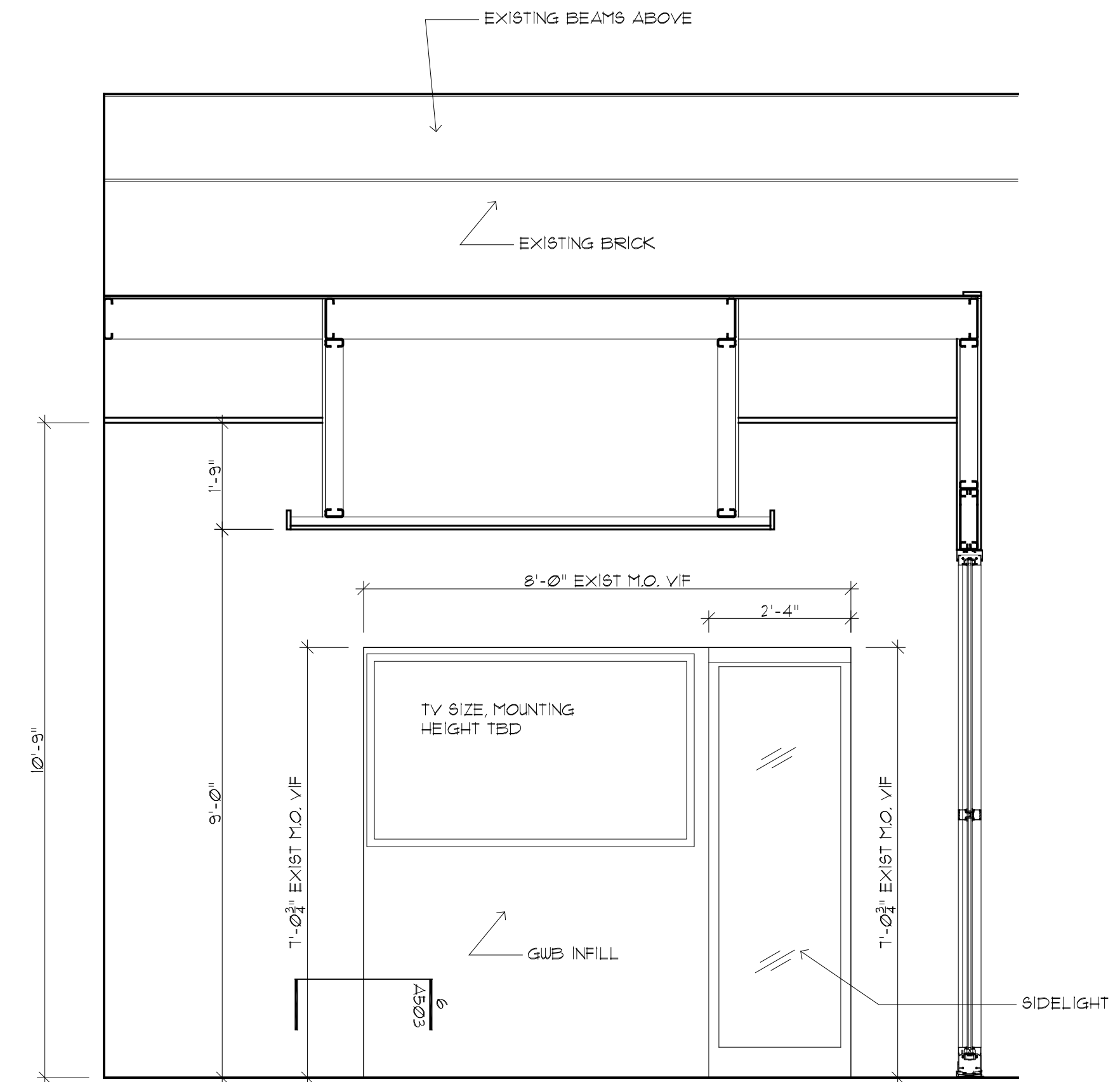
A502



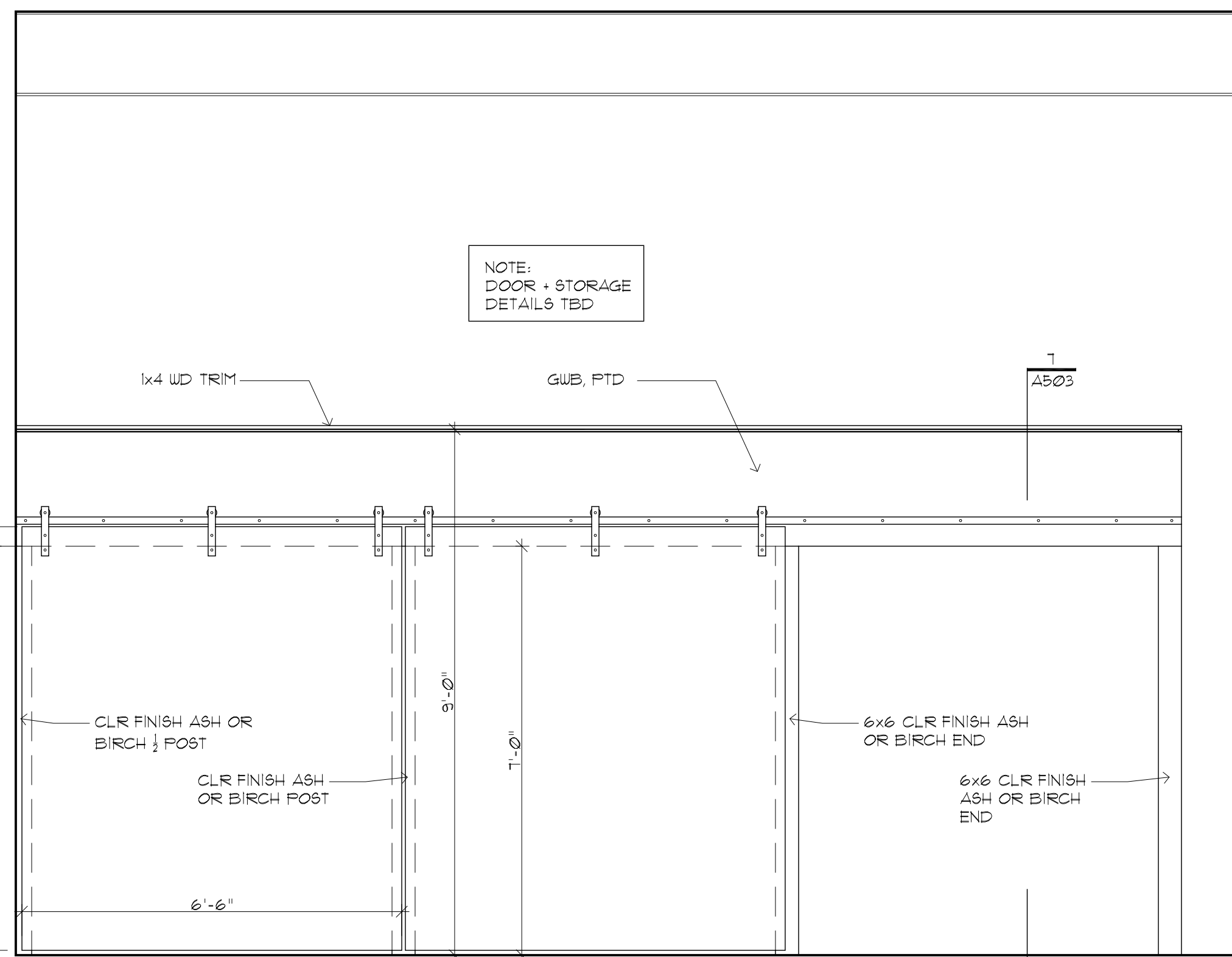
1 INT ELEV @ CONFERENCE B
A503 SCALE: 1/2"=1'-0"



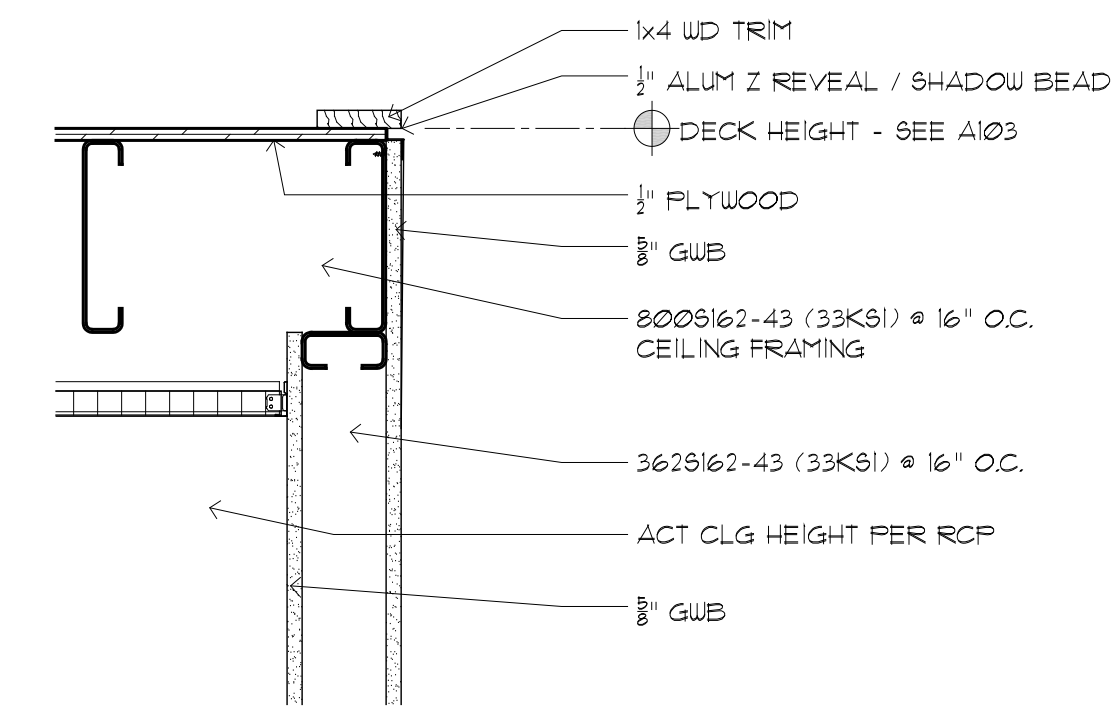
1 INT ELEV @ CONFERENCE C
A503 SCALE: 1/2"=1'-0"



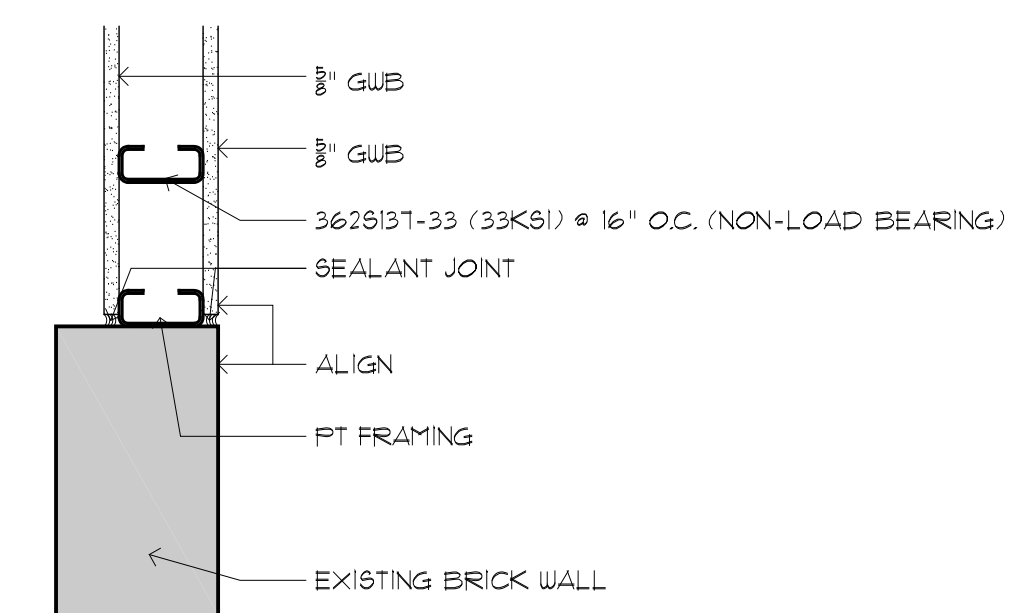
2 INT ELEV @ CONFERENCE A
A503 SCALE: 1/2"=1'-0"



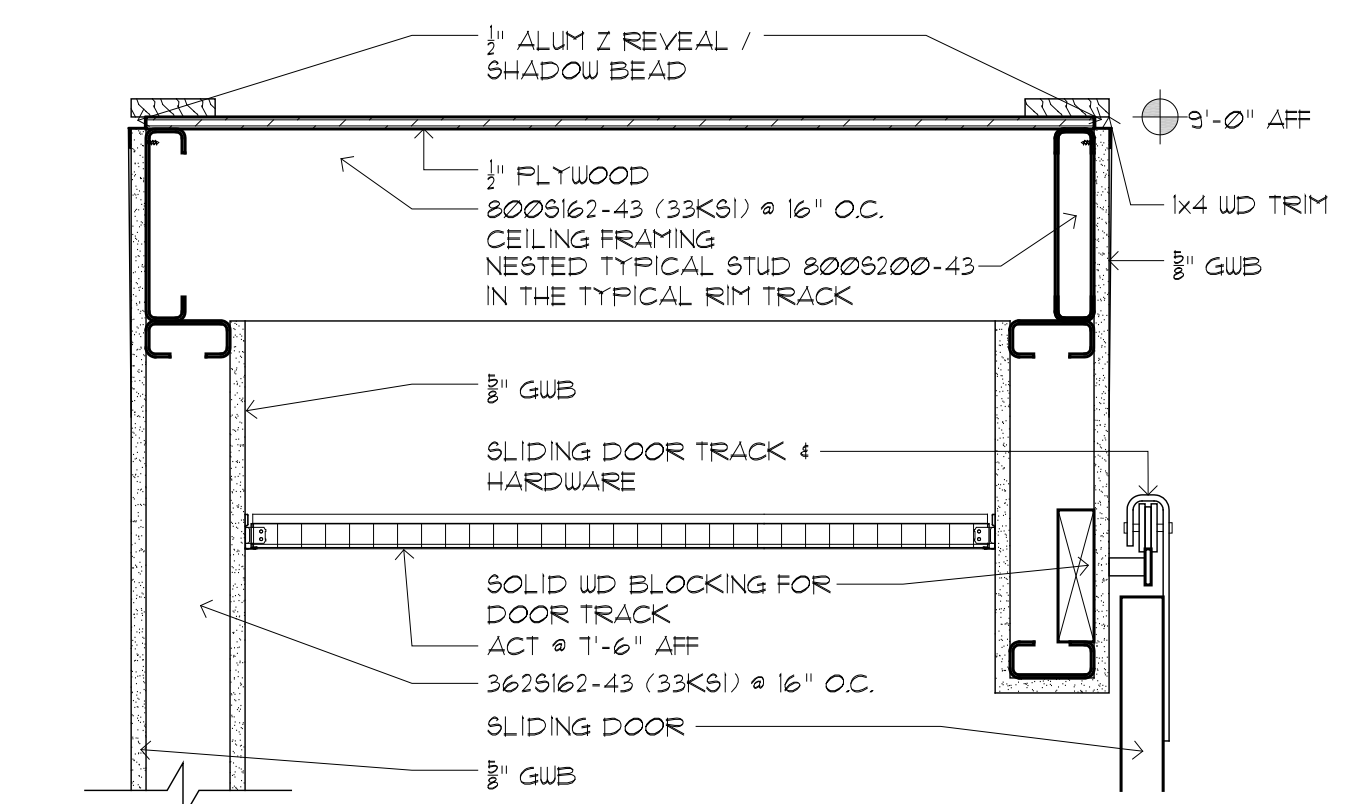
4 INT ELEV @ TRASH / RECYCLE
A503 SCALE: 1/2"=1'-0"



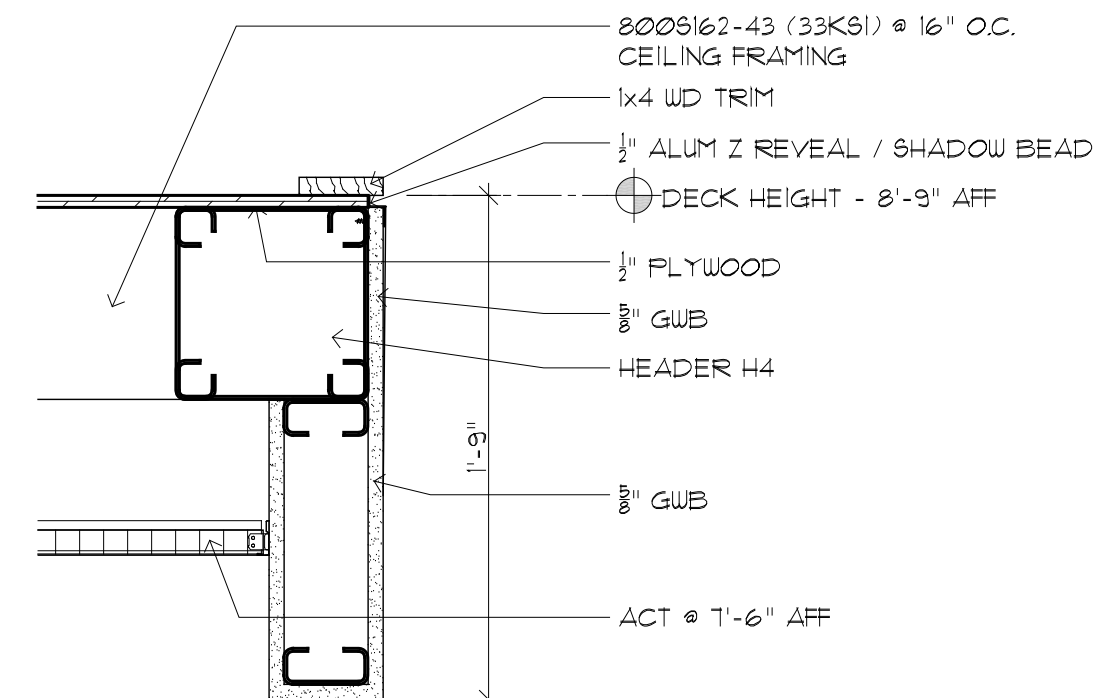
5 DETAIL @ T/O WALL
A503 SCALE: 1 1/2"=1'-0"



6 DETAIL @ INFILL WALL
A503 SCALE: 1 1/2"=1'-0"



7 DETAIL @ TRASH / RECYCLE ENCLOSURE
A503 SCALE: 1 1/2"=1'-0"



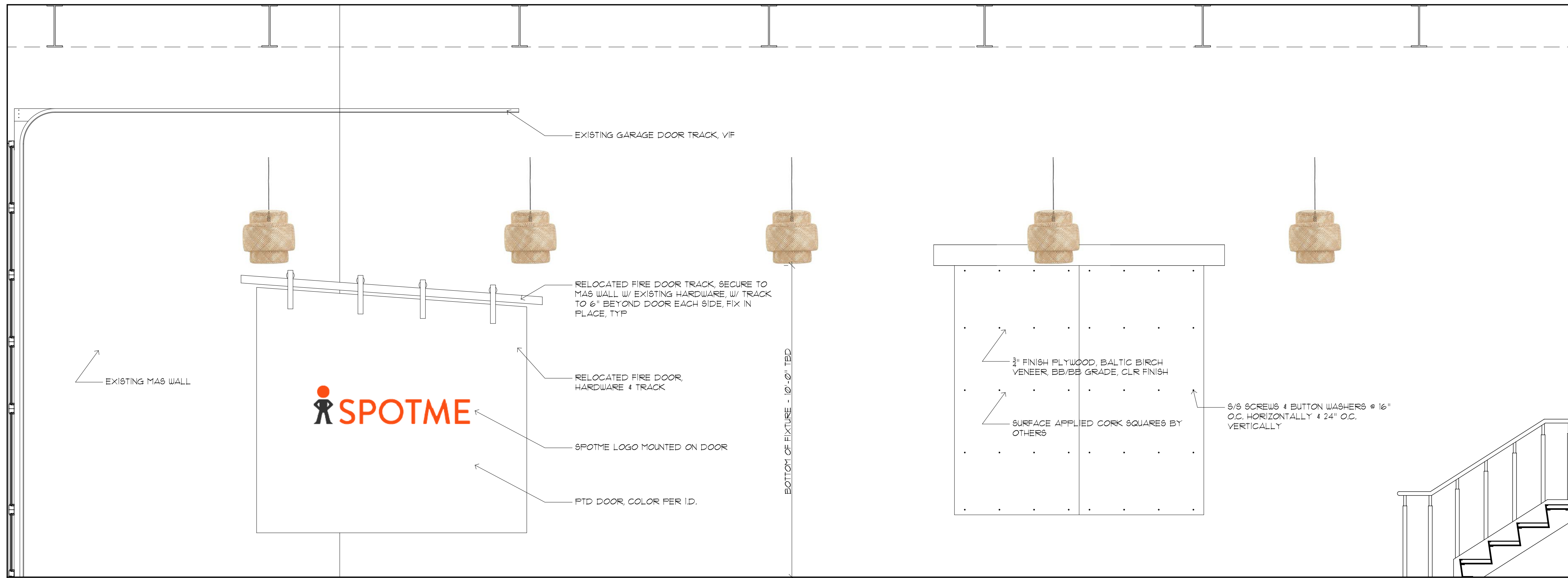
8 DETAIL @ OPEN OFFICE GROUP A SOFFIT
A503 SCALE: 1 1/2"=1'-0"

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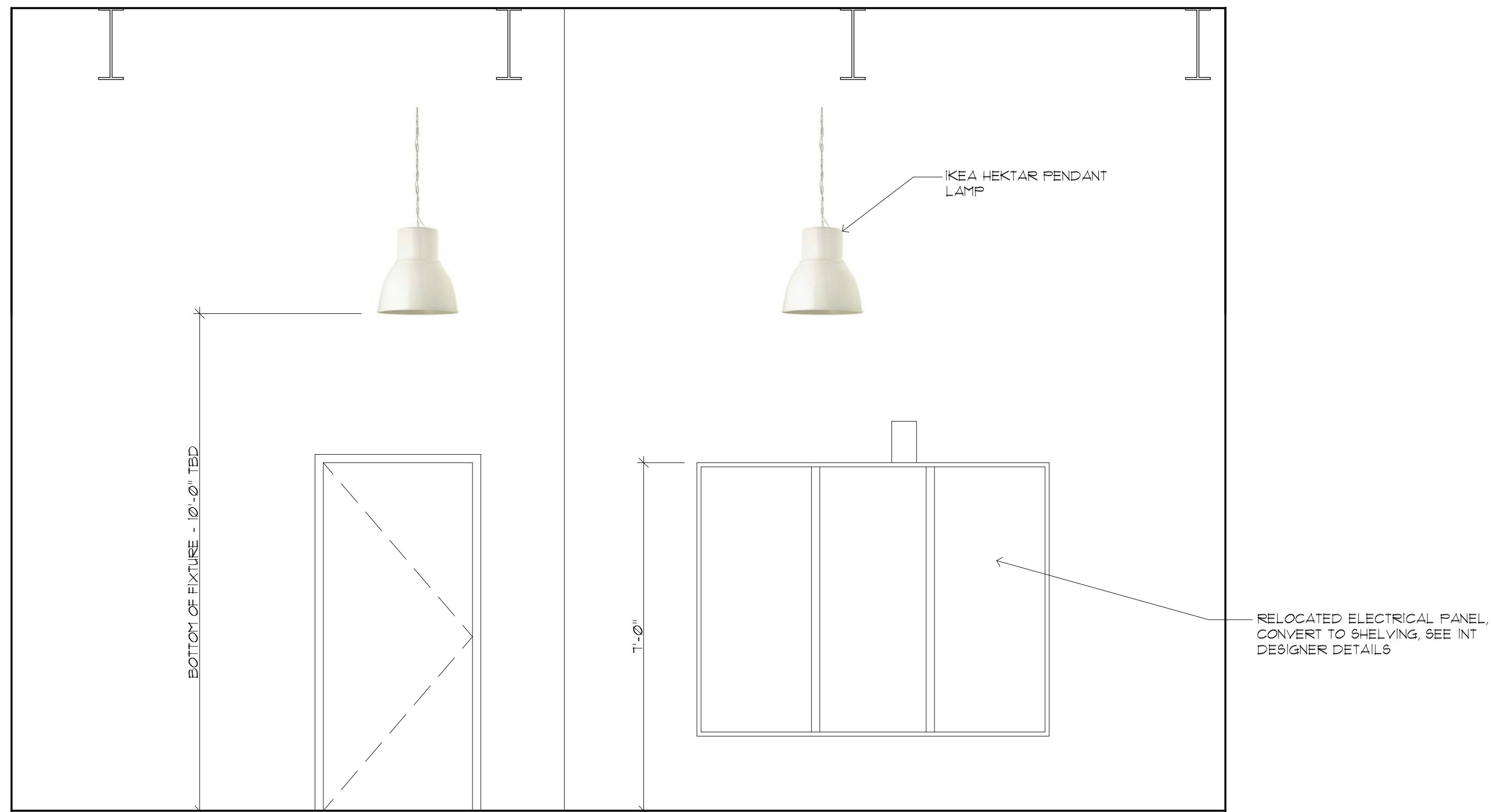
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CHICAGO, IL 60642

INTERIOR ELEVATIONS & DETAILS @
CONFERENCE ROOMS + TRASH /
RECYCLING AREA
SHEET SIZE: 22" x 34"
DATE: 10/12/2016
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1 INT ELEV @ LOWER LIVING ROOM
A504 SCALE: 1/2"=1'-0"



TYPICAL NOTE:
ALL RELOCATED EQUIPMENT, FIRE DOORS, AND OTHER SIMILAR WALL HUNG OBJECTS SHALL BE MOUNTED DIRECTLY THROUGH TO THE WALL STRUCTURE OR TO SOLID WOOD BLOCKING WITHIN THE WALLS

2 INT ELEV @ ELECTRIC PANEL SHELVES
A504 SCALE: 1/2"=1'-0"

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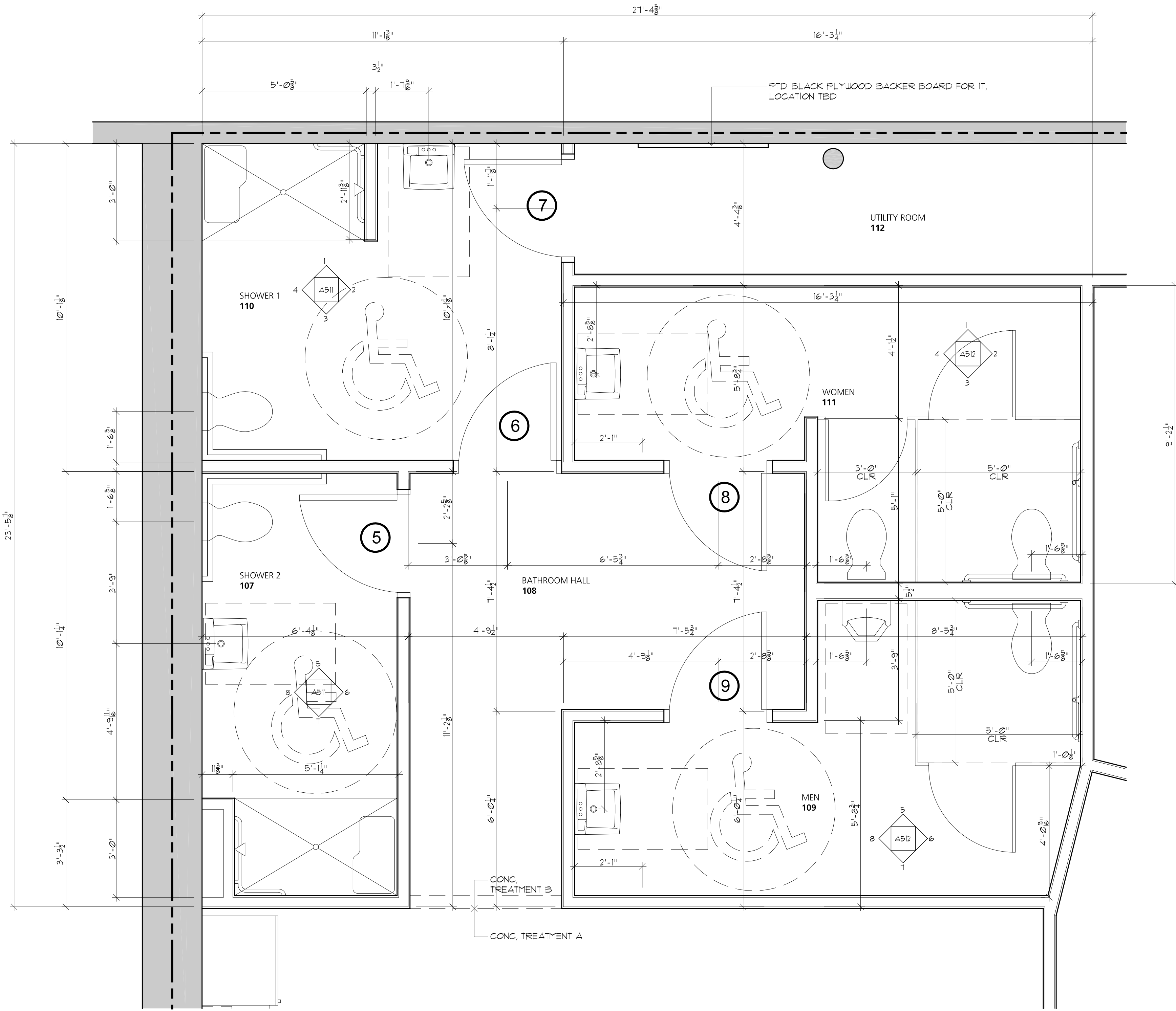
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INTERIOR ELEVATIONS @ LOWER &
UPPER LIVING ROOM

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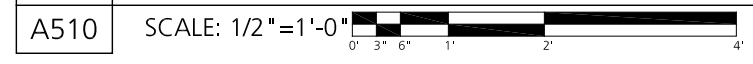
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- NOTES:
- FOR ADA ACCESSORY MOUNTING HEIGHTS, SEE SHEET G101.
 - PROVIDE SOLID WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL ITEMS TO BE MOUNTED TO, OR RECESSED INTO WALLS
 - INSTALL ACCESSORIES PER MANUFACTURERS' RECOMMENDATIONS
- TOILET ACCESSORIES - ALL SURFACE MOUNTED
- | | |
|---|----------------------------------|
| A TOILET TISSUE DISPENSER | F 24" GRAB BAR |
| B CB2 JUNCTION 26" x 48" SKU: 514234 MIRROR | G 36" GRAB BAR |
| C SURFACE MOUNTED SOAP DISPENSER | H 42" GRAB BAR |
| D SURFACE MOUNTED PAPER TOWEL DISPENSER | I ADA COMPLIANT P-TRAP PROTECTOR |
| E SANITARY DISPOSAL RECEPTACLE | J SHOWER CURTIN ROD |
| | K ADA COMPLIANT SHOWER SEAT |
| | L ADA COMPLIANT SHOWER GRAB BAR |
- FREESTANDING WASTE RECEPTACLE BY OWNER, N.I.C.

1 ENLARGED BATHROOM PLAN
A510

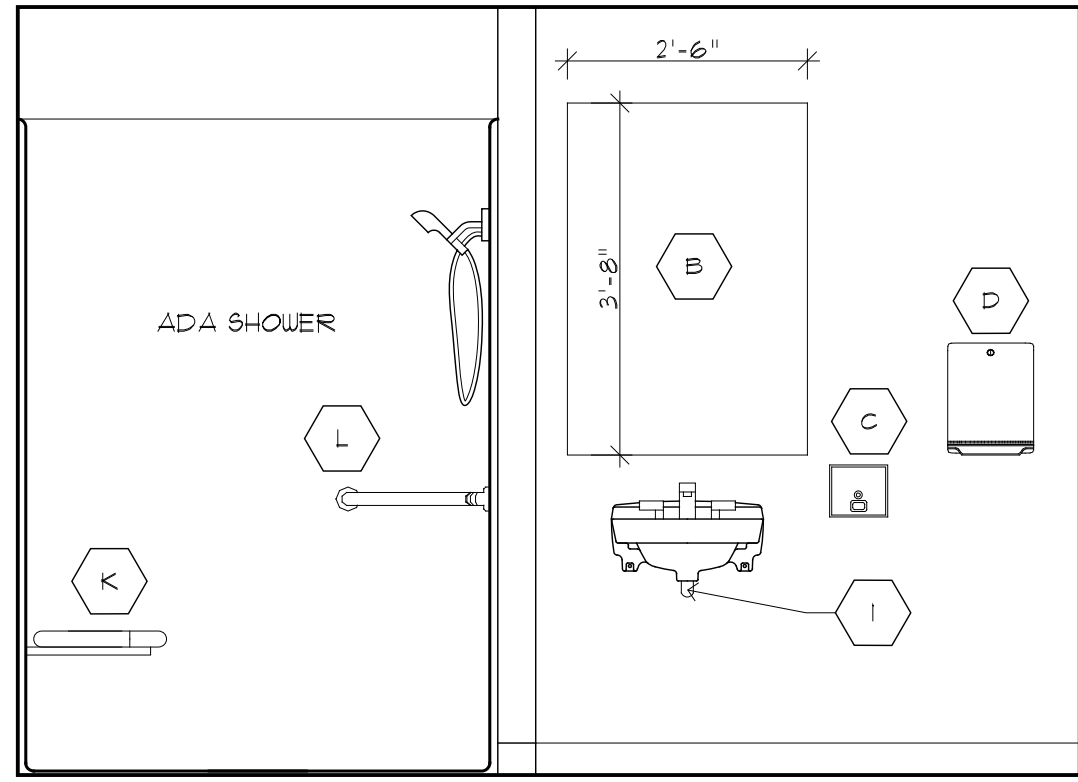


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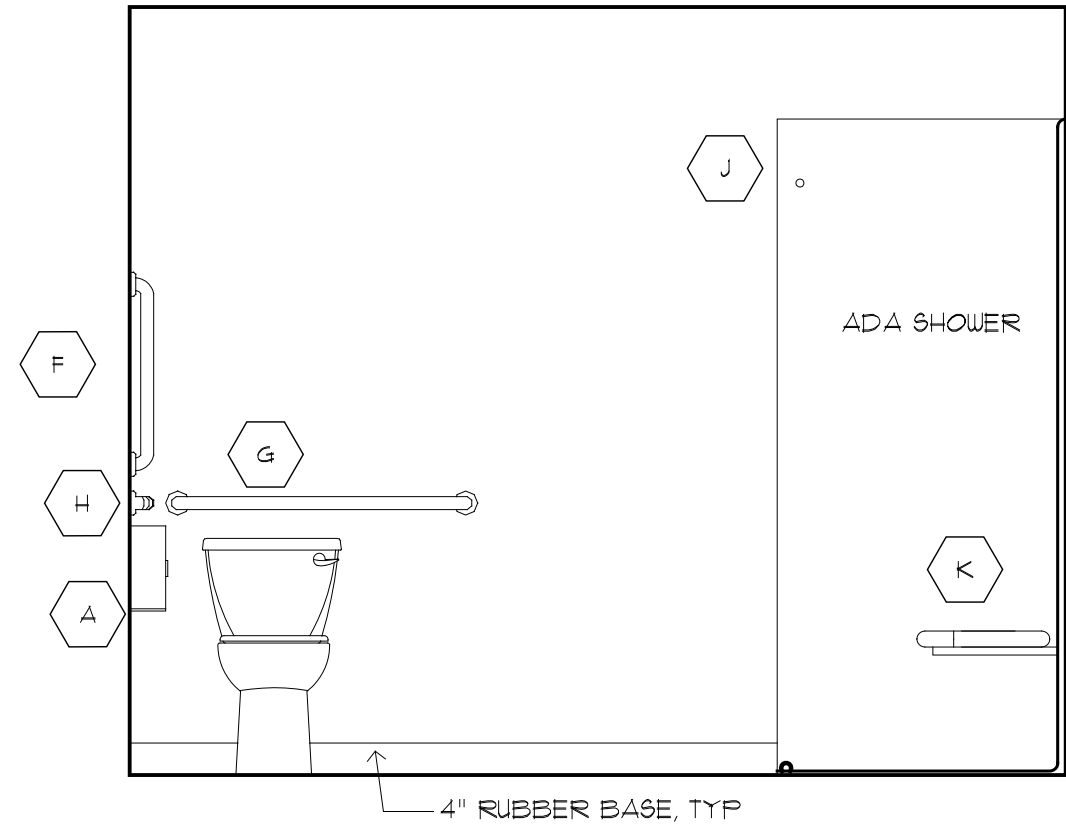
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ENLARGED BATHROOM PLAN
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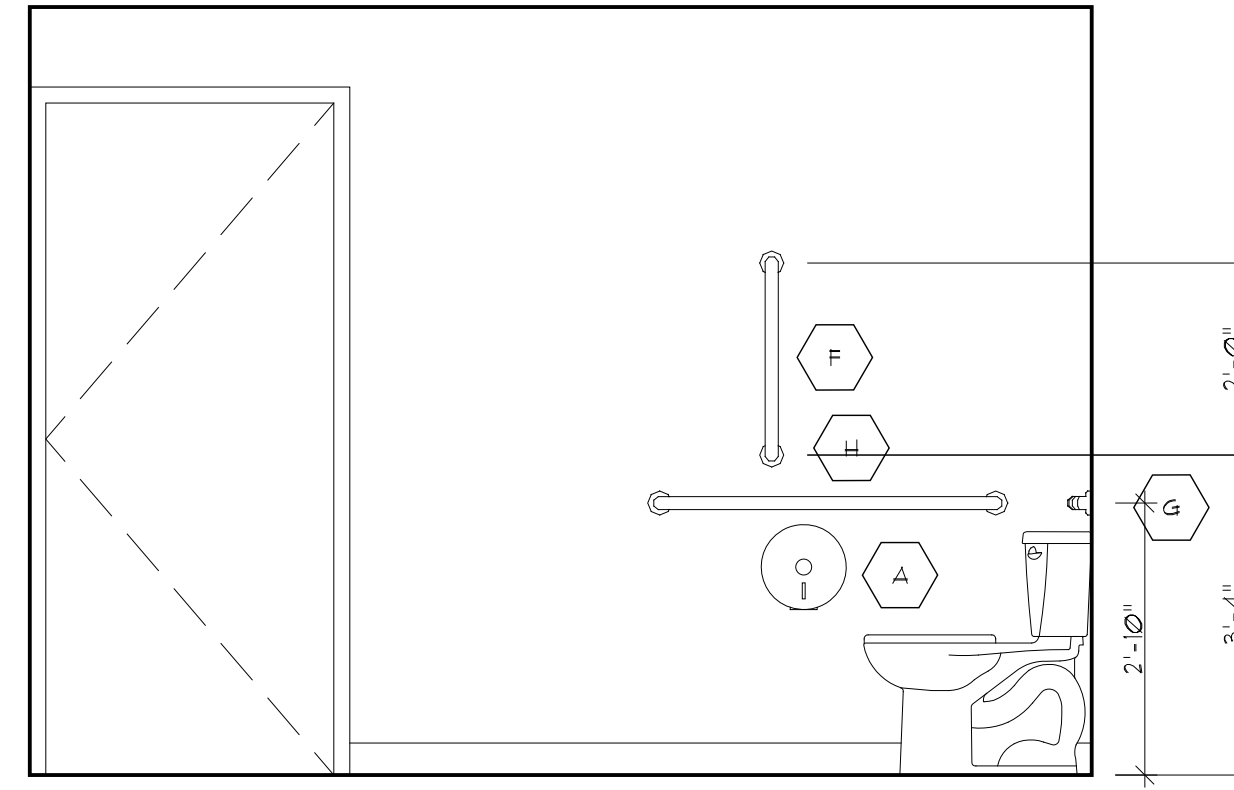
54/59 WASHINGTON
AVE
PORTLAND, ME
A510



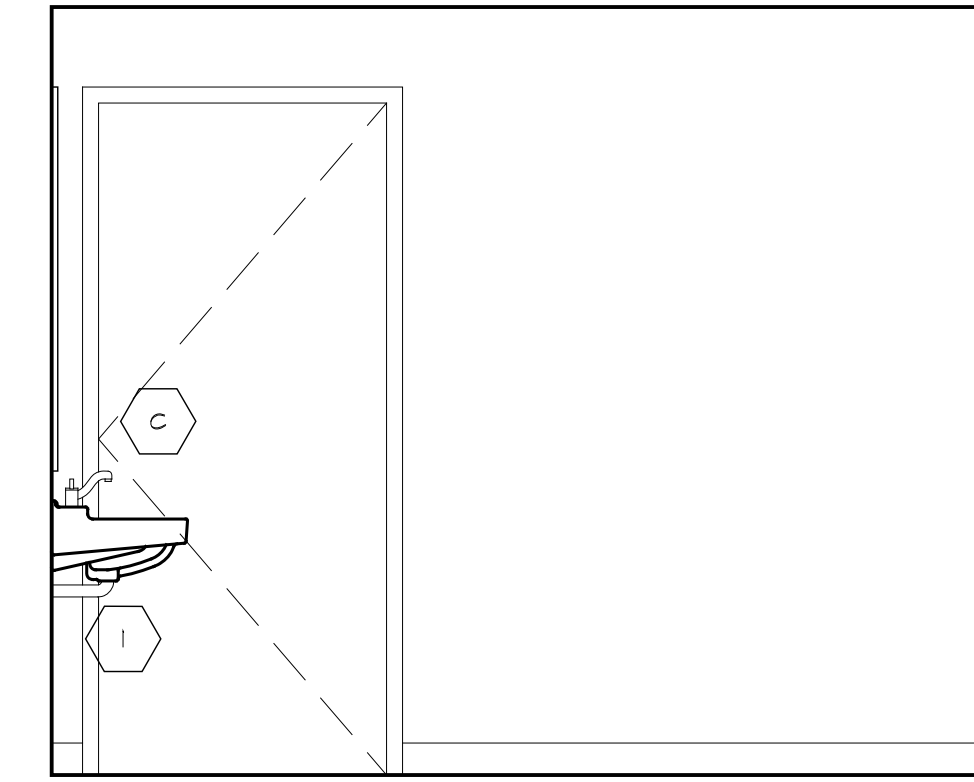
1 SHOWER 1 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"



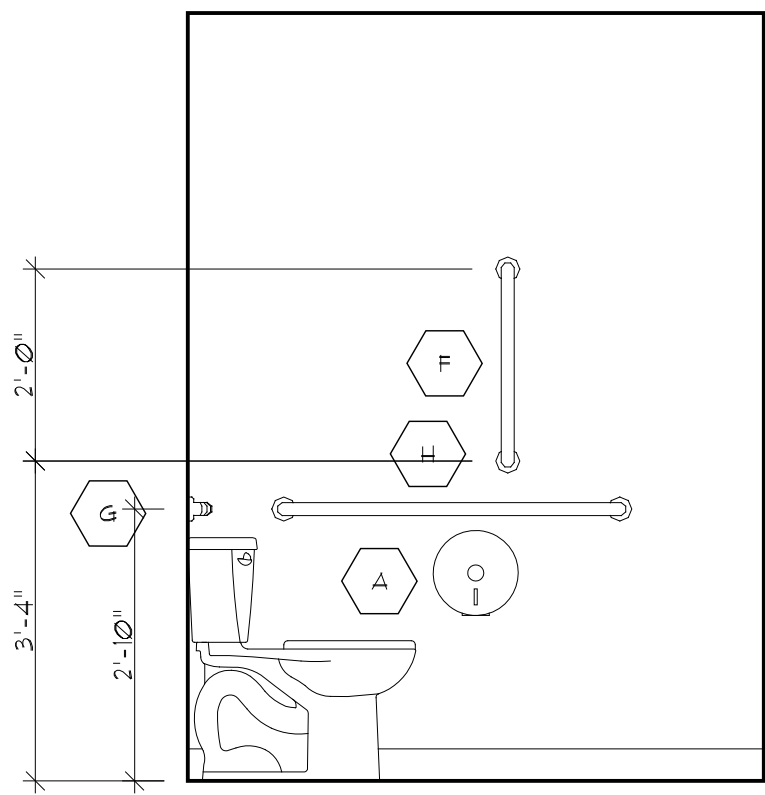
2 SHOWER 1 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"



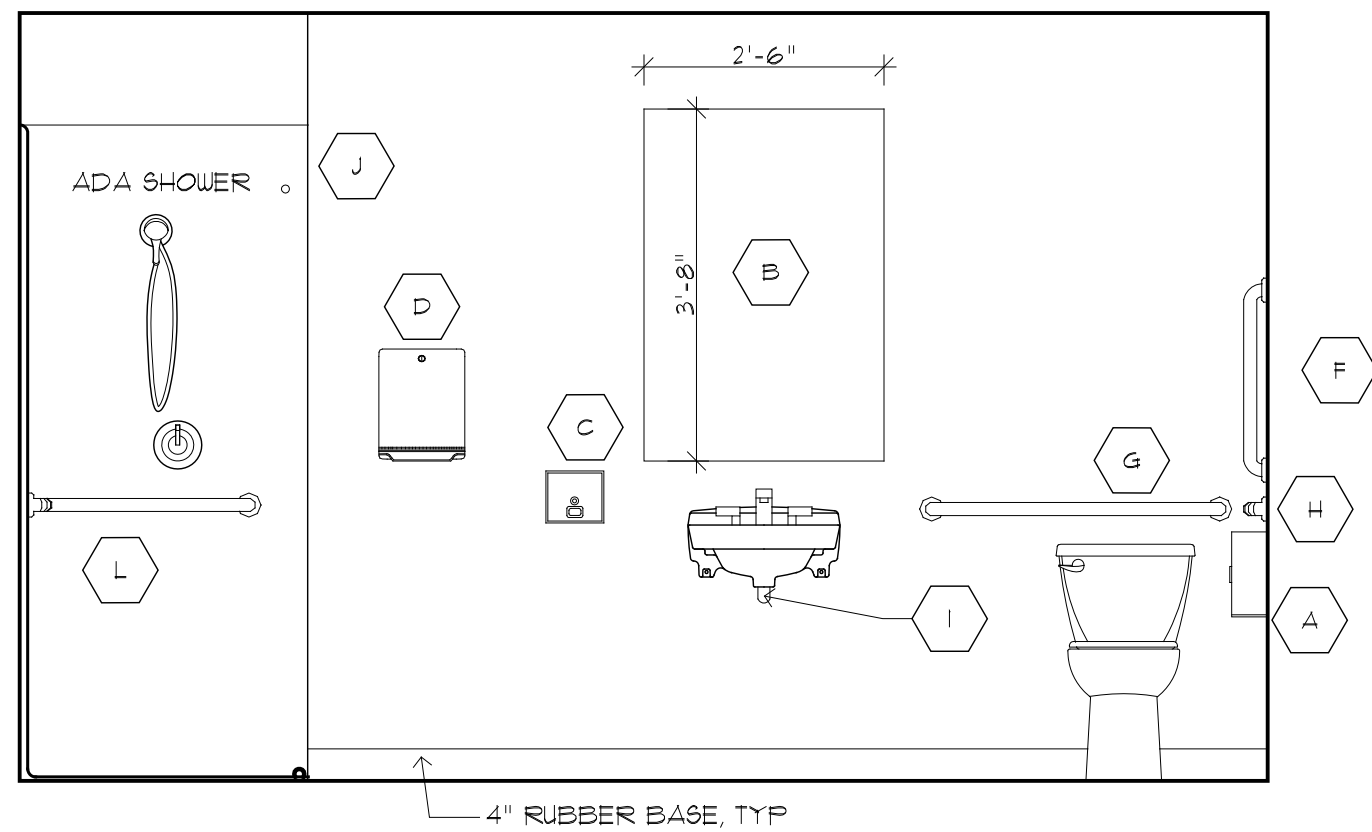
3 SHOWER 1 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"



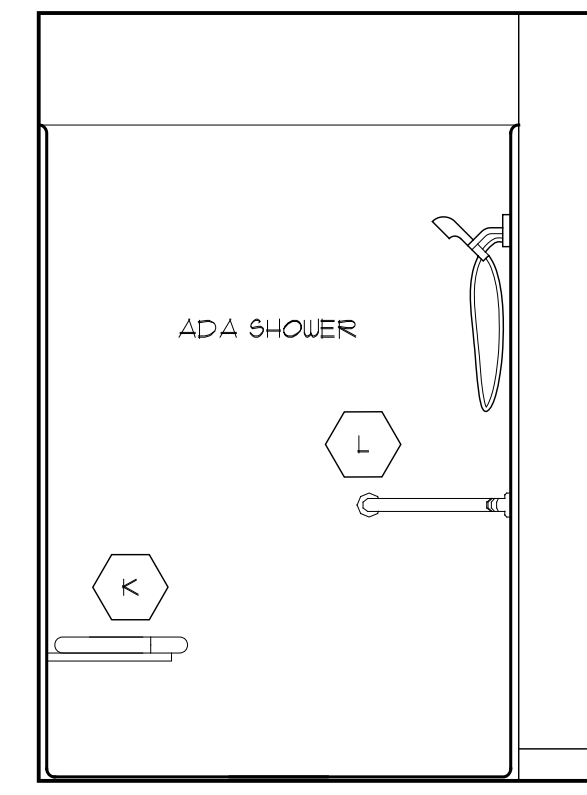
4 SHOWER 1 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"



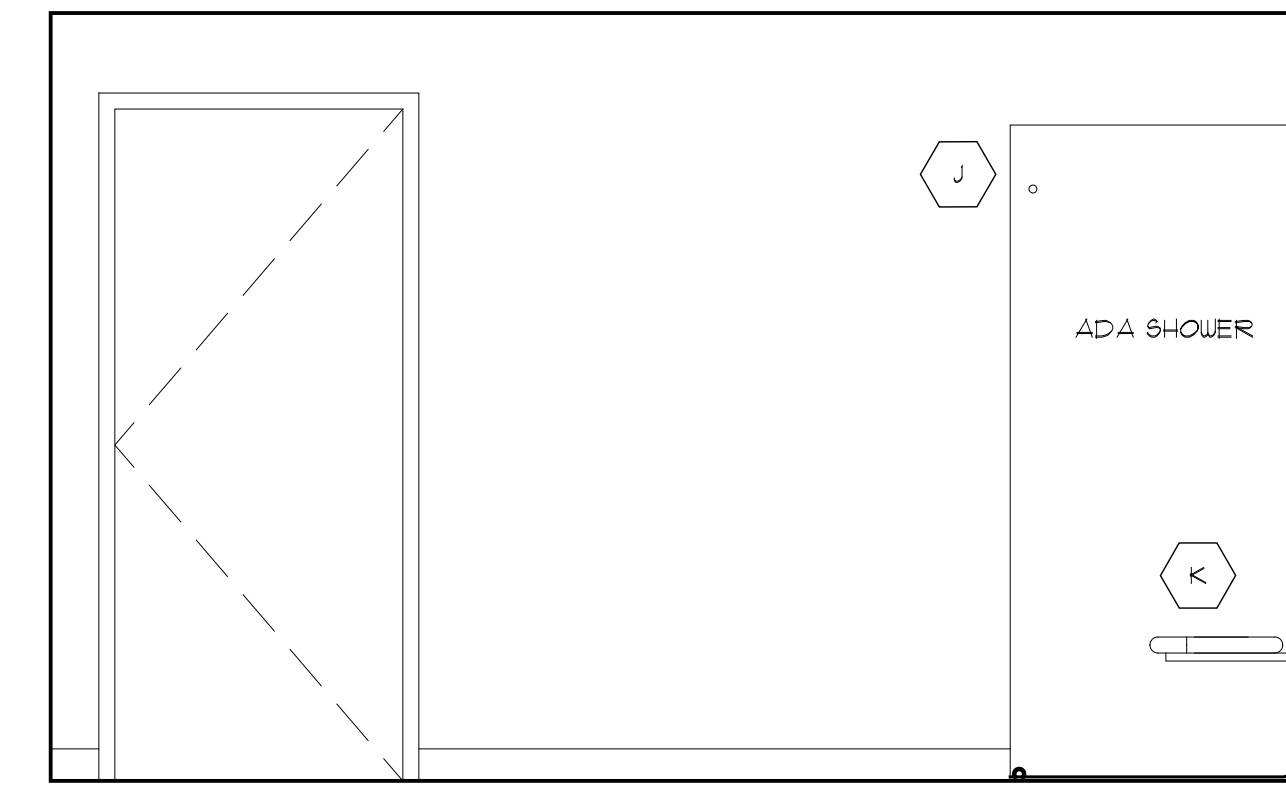
5 SHOWER 2 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"



6 SHOWER 2 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"



7 SHOWER 2 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"



8 SHOWER 2 INTERIOR ELEVATION
A511 SCALE: 1/2"=1'-0"

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SHOWER ROOMS INTERIOR
ELEVATIONS

SHEET SIZE:
22" x 34"

DATE:
10/12/2016

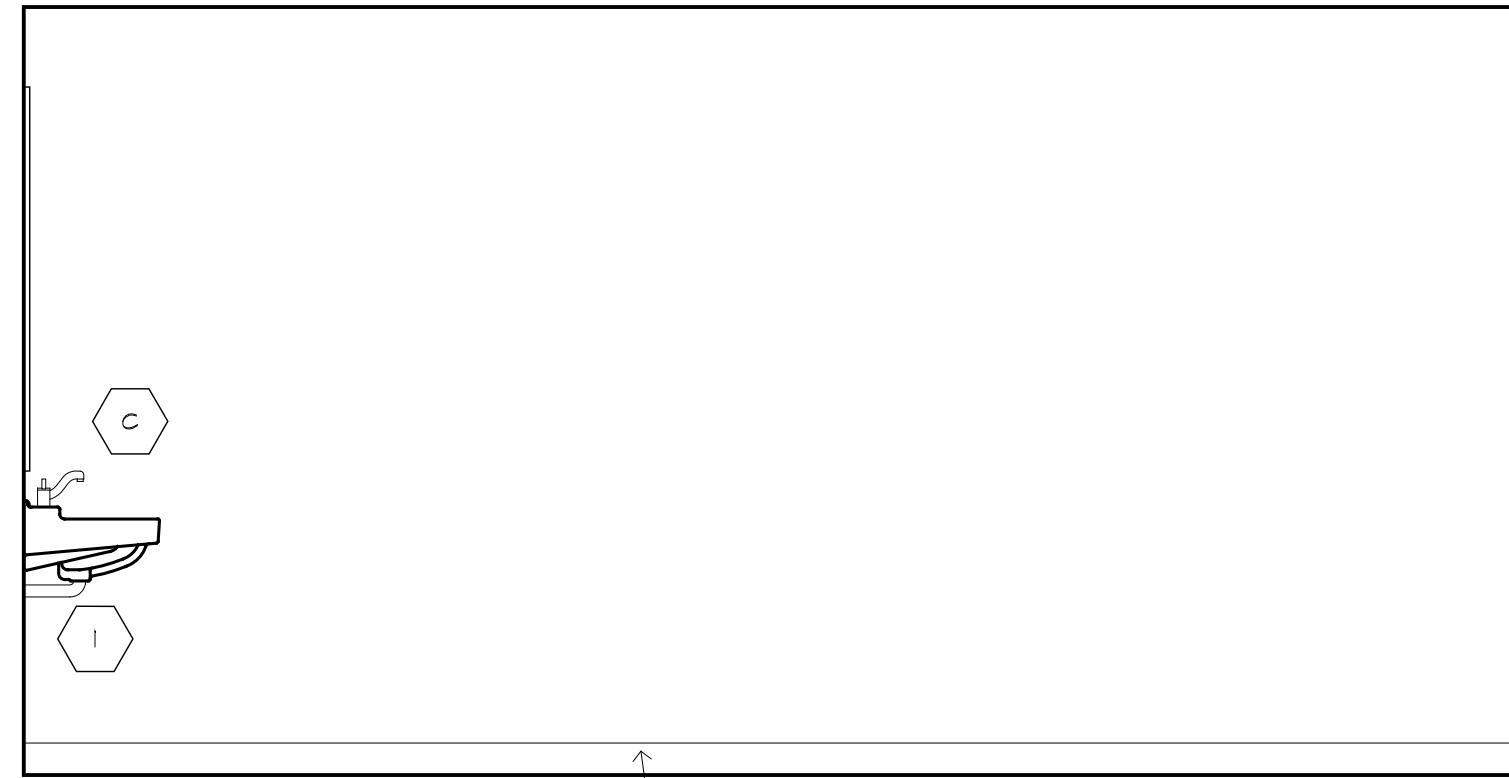
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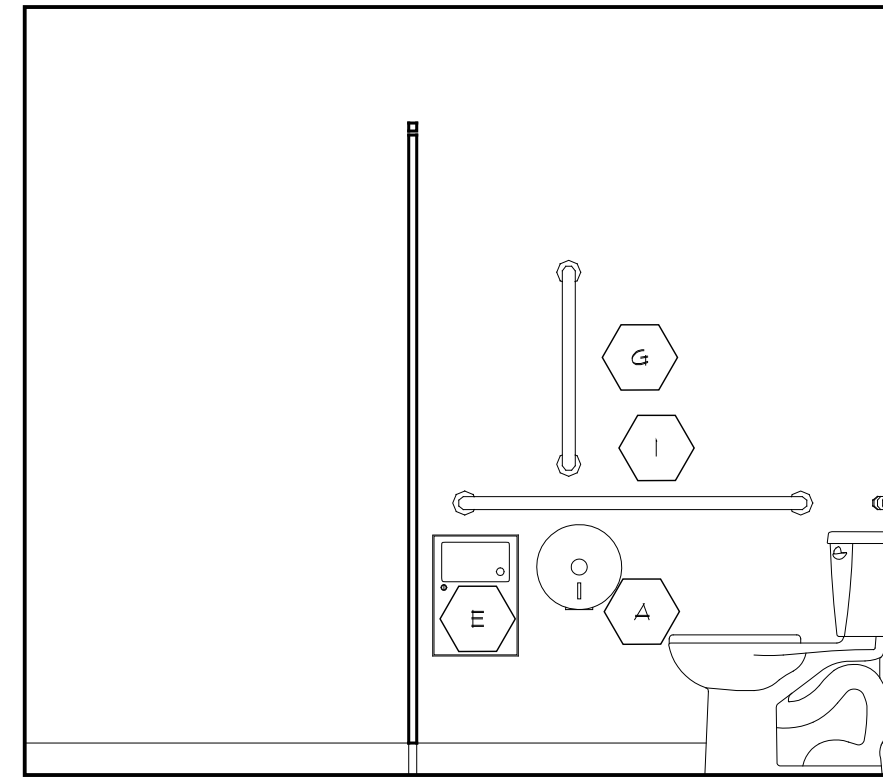
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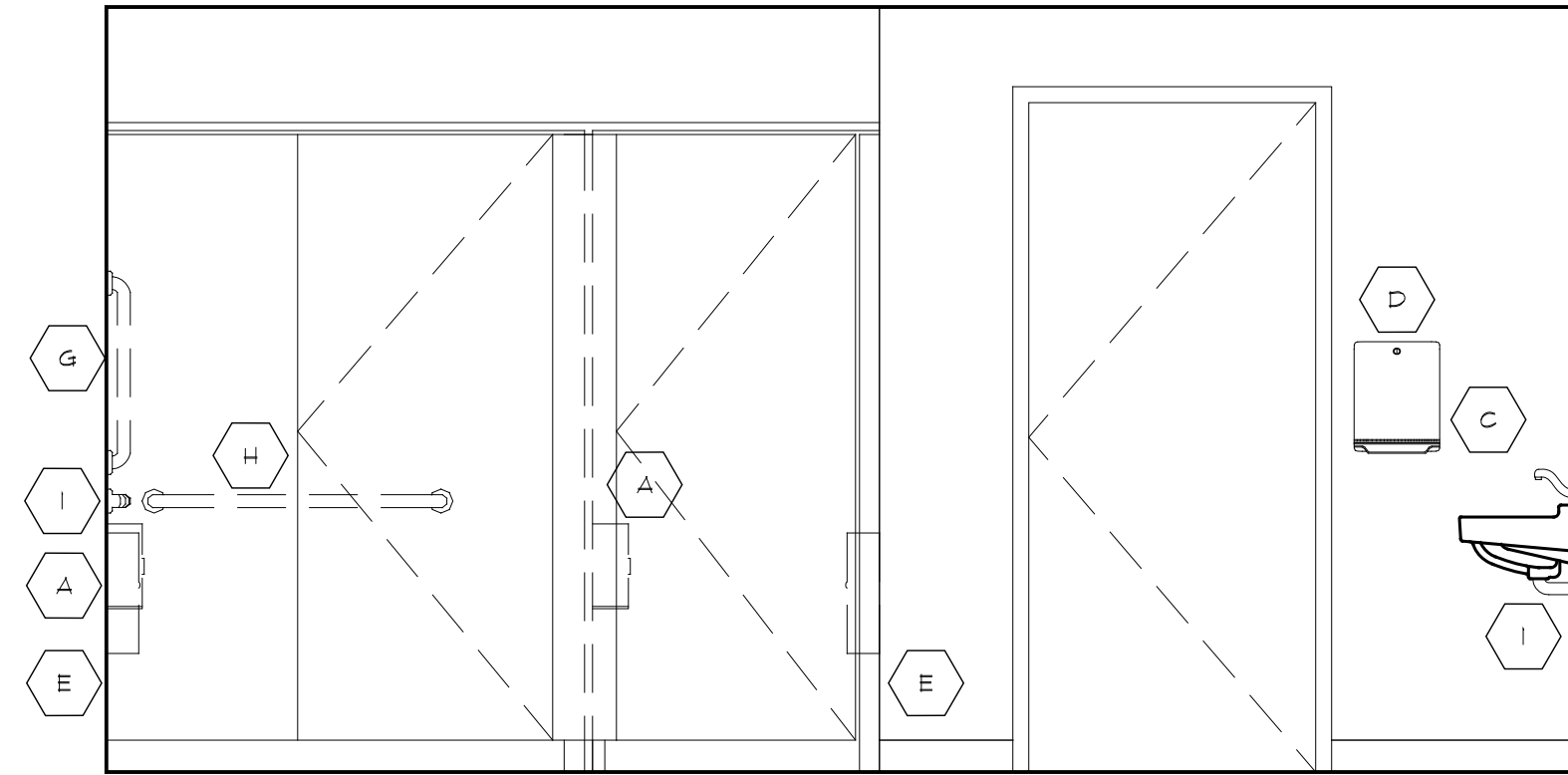
A511



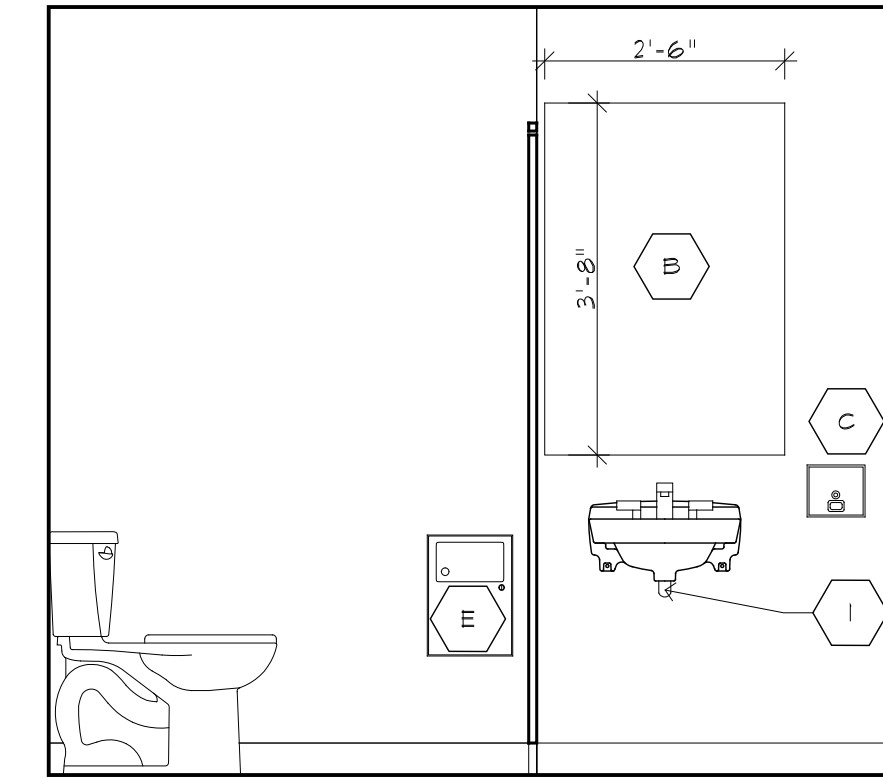
1 WOMEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"



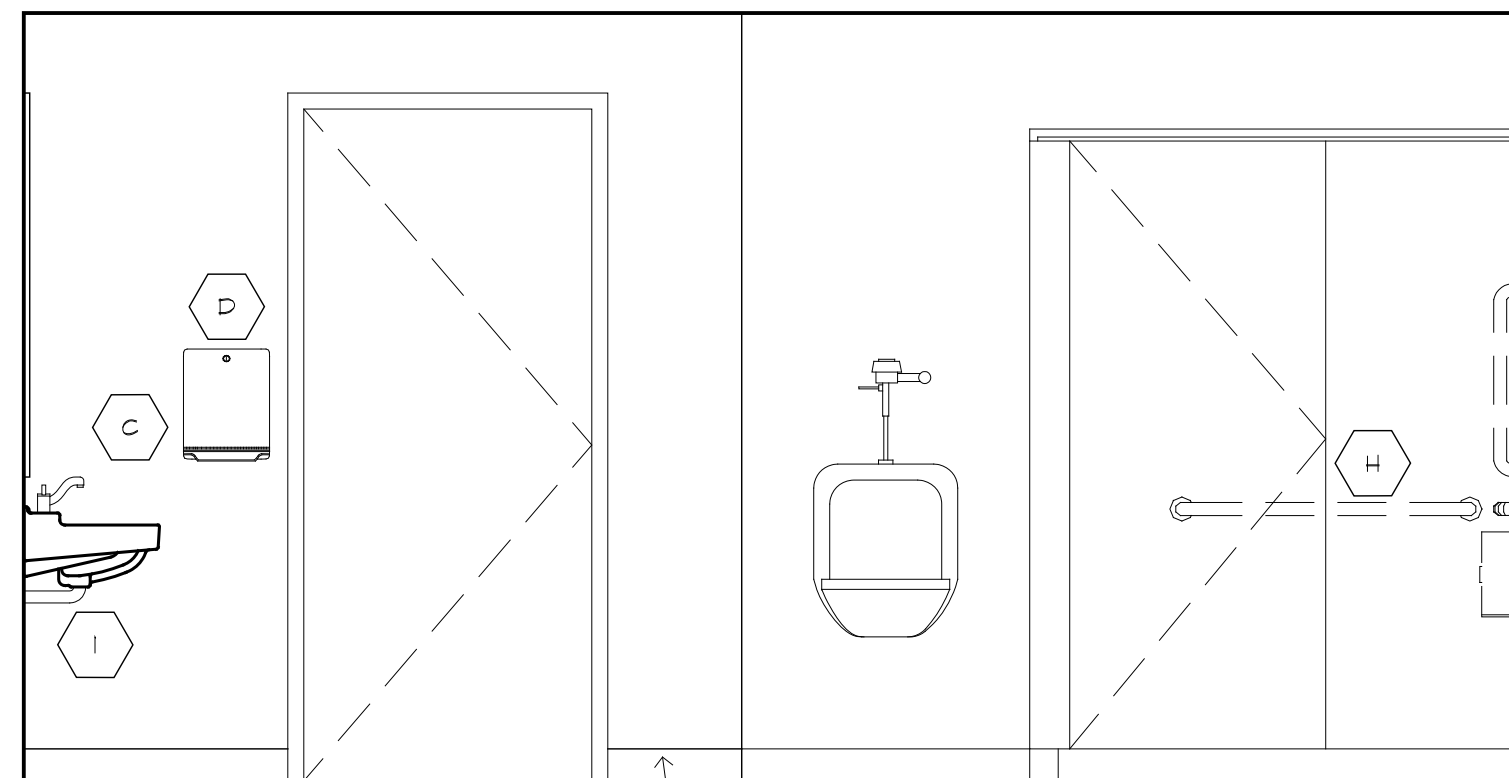
2 WOMEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"



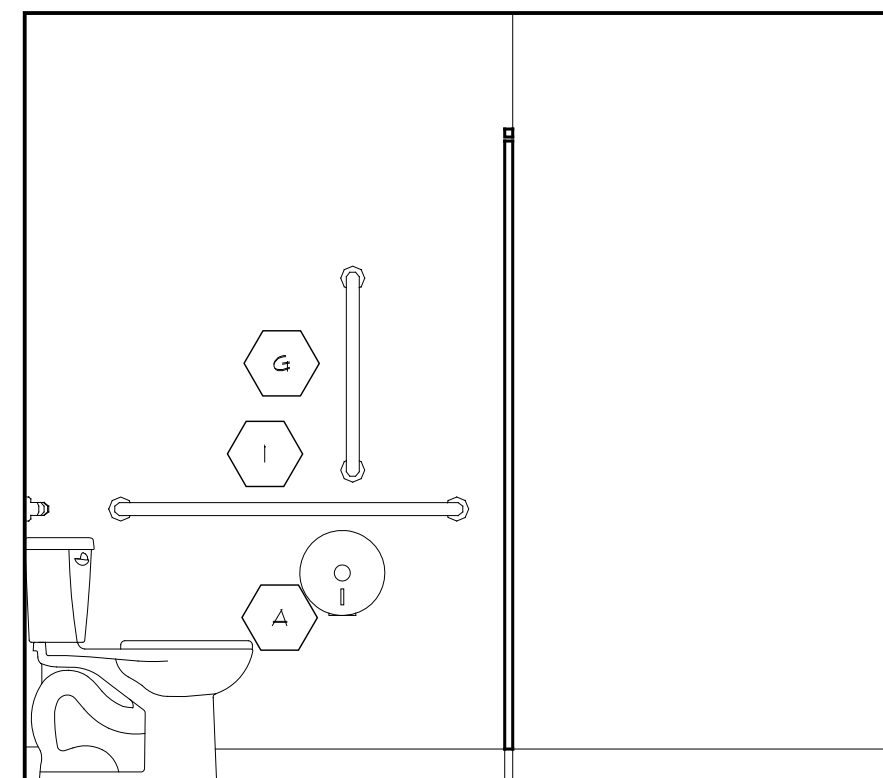
3 WOMEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"



4 WOMEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"



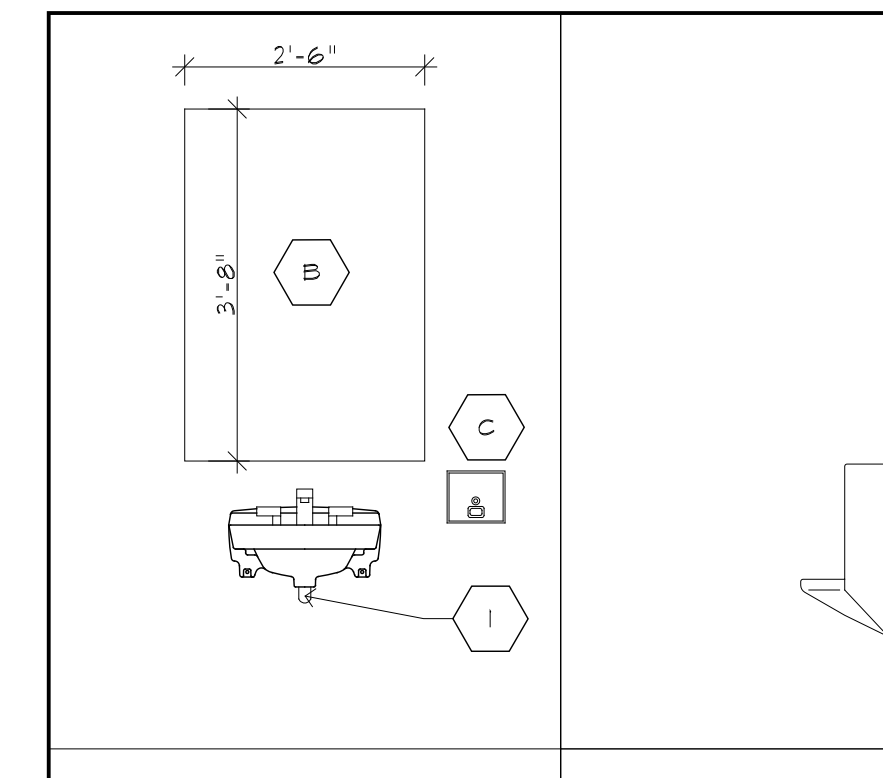
5 MEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"



6 MEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"



7 MEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"



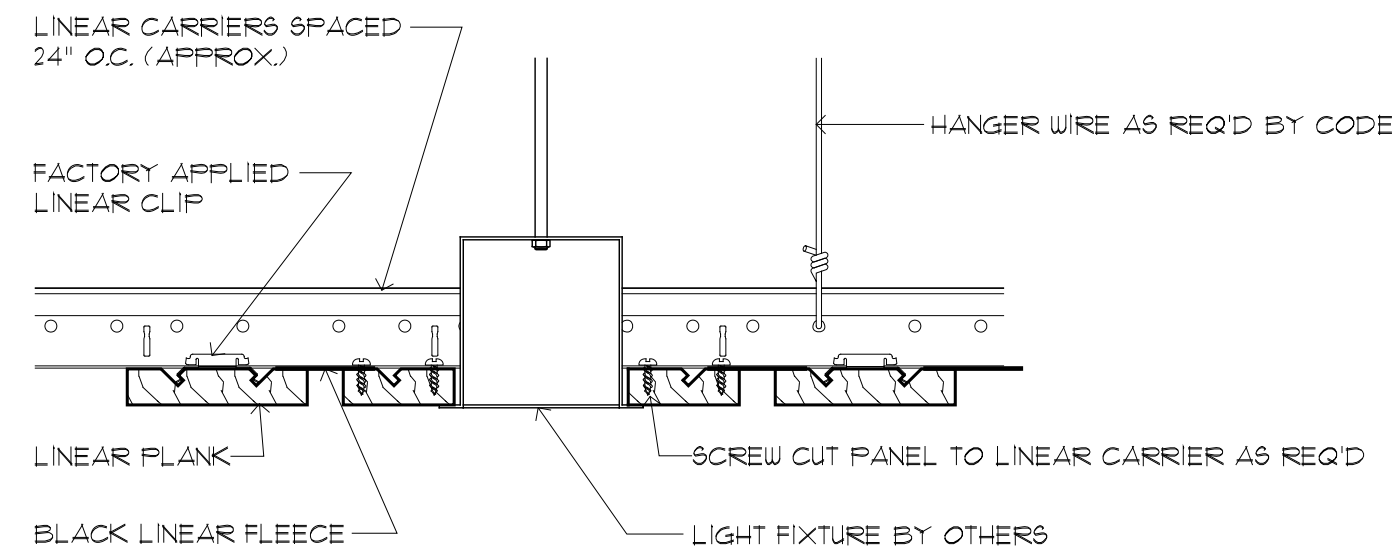
8 MEN'S INTERIOR ELEVATION
A512 SCALE: 1/2"=1'-0"

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MEN'S & WOMEN'S ROOM
INTERIOR ELEVATIONS
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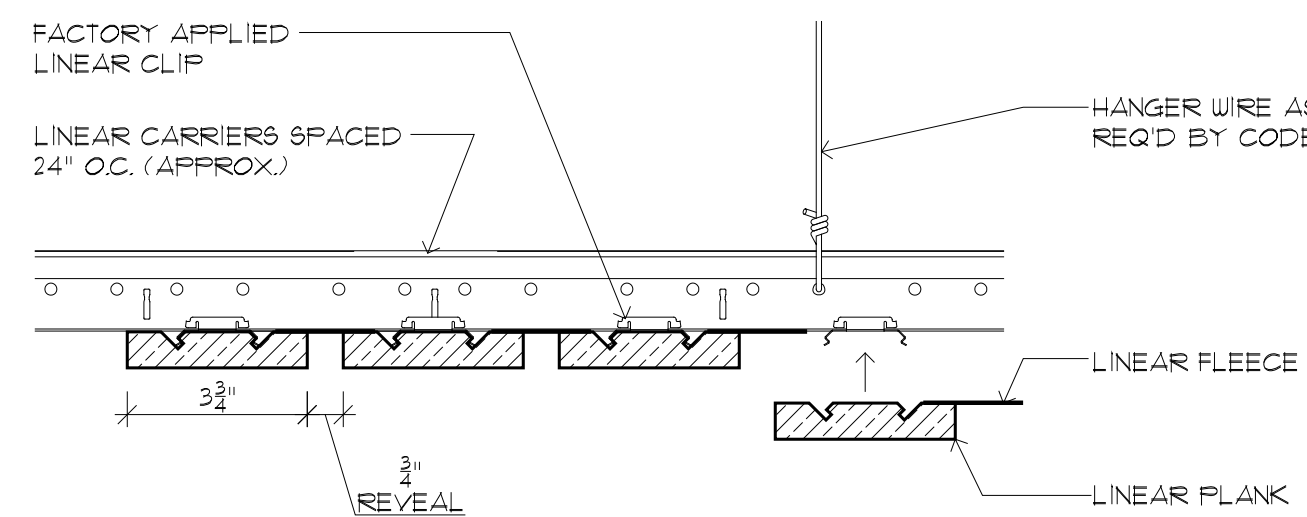
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A512



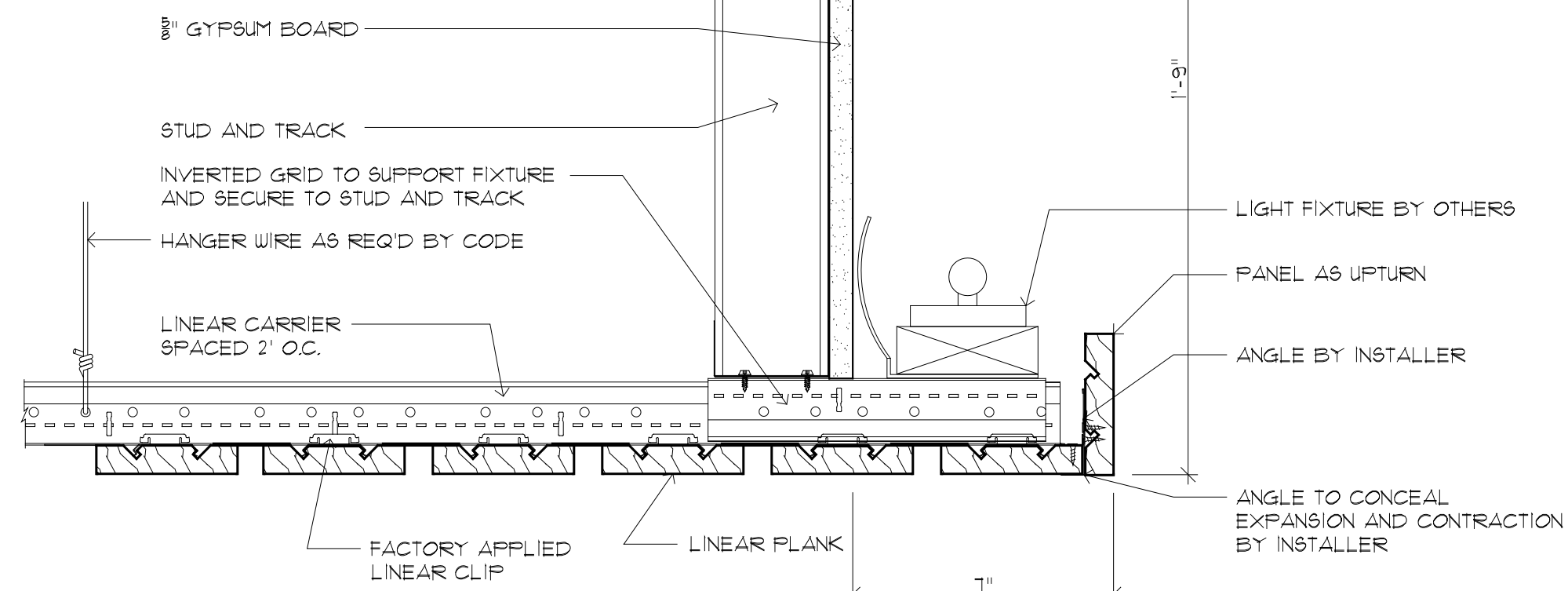
NOTE:
SELECTED FINISH FOR ARMSTRONG
WOODWORKS LINEAR CEILING SYSTEM,
CONSTANT'S REDUX WOOD WHEAT 3 3/4" x 96"

2 ARMSTRONG WOOD CEILING @ LIGHT FIXTURE
A601 SCALE: 3"=1'-0"

ARMSTRONG WOODWORKS LINEAR CEILING SYSTEM

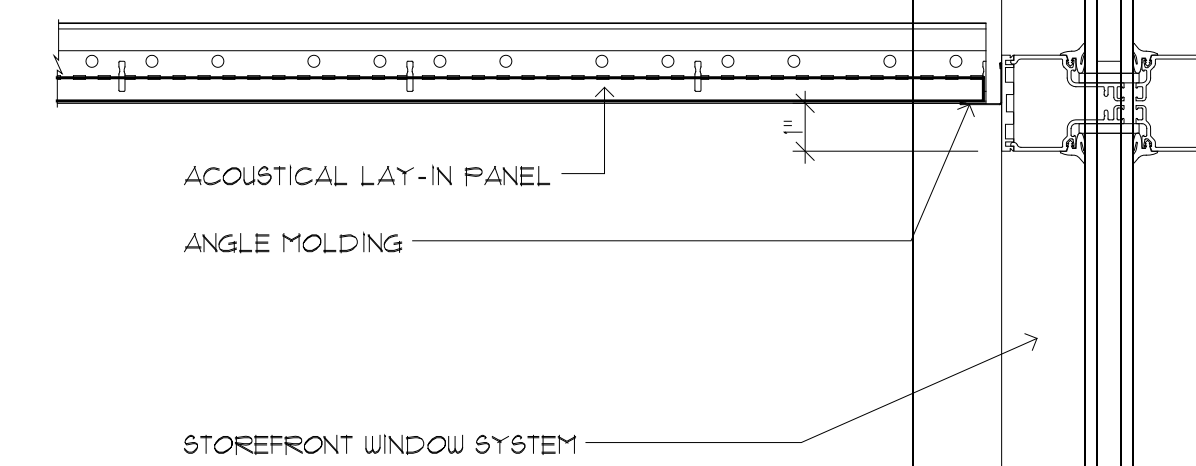


4 ARMSTRONG WOOD CEILING
A601 SCALE: 3"=1'-0"

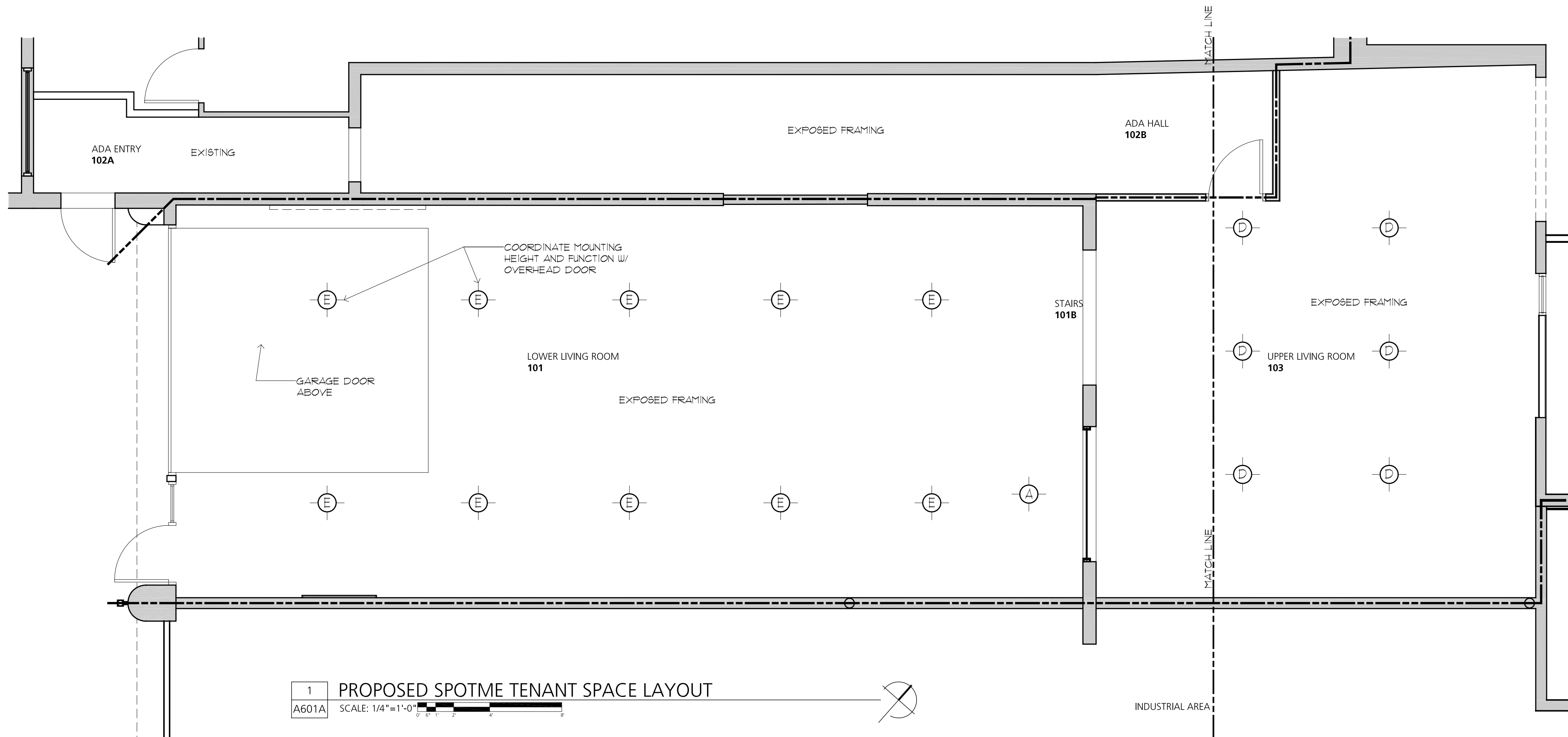


3 ARMSTRONG WOOD CEILING @ EDGE CONDITION
A601 SCALE: 3"=1'-0"

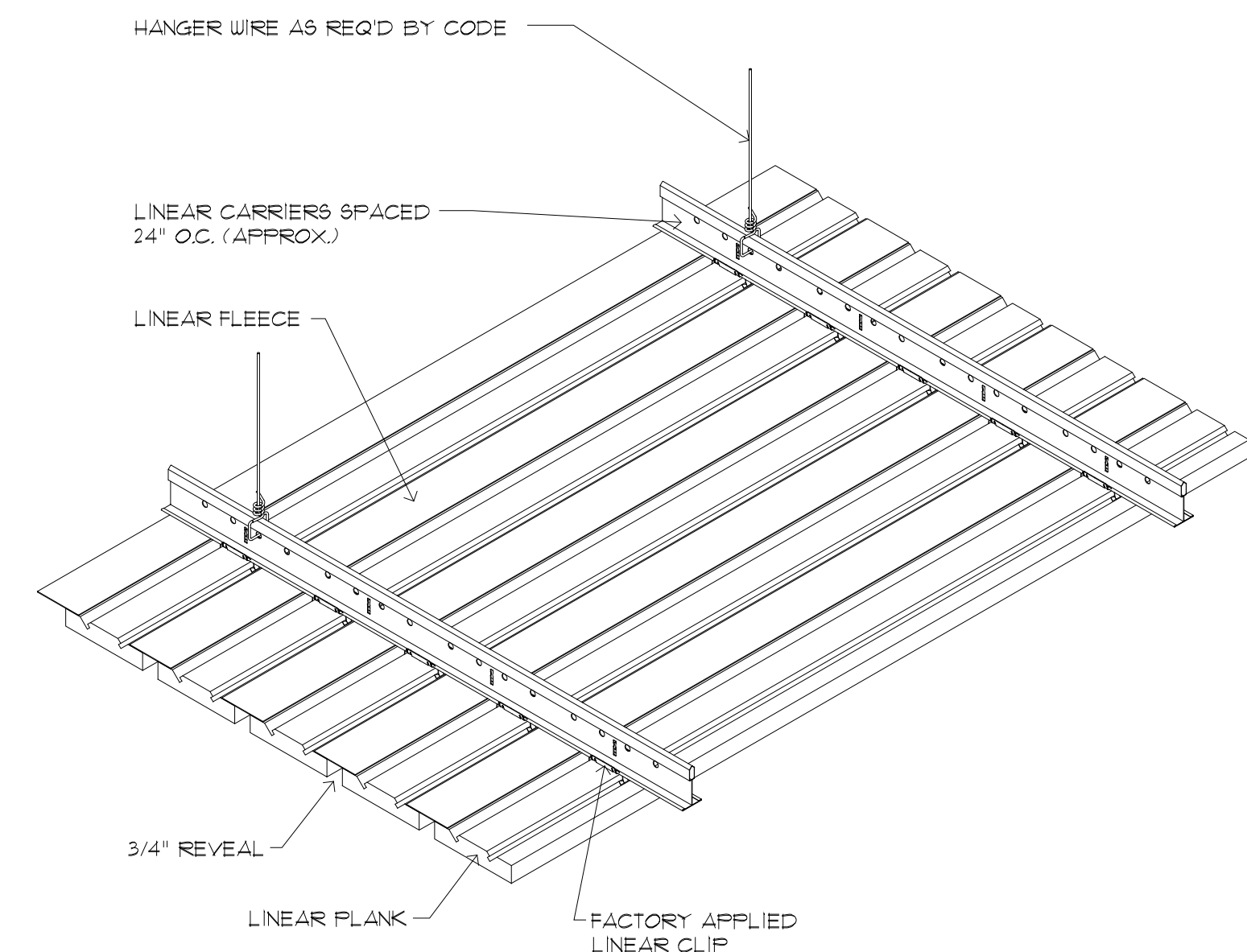
CANTILEVER CALCULATIONS MUST BE DONE
BY STRUCTURAL ENGINEER TO DETERMINE
HANGER WIRE PLACEMENT



5 ACT EDGE CONDITION @ STOREFRONT
A601 SCALE: 3"=1'-0"



1 PROPOSED SPOTME TENANT SPACE LAYOUT
A601A SCALE: 1/4"=1'-0"



6 ARMSTRONG WOOD CEILING
A601 NTS

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REGISTERED ARCHITECT
Maine
No. 1288
STATE OF MAINE

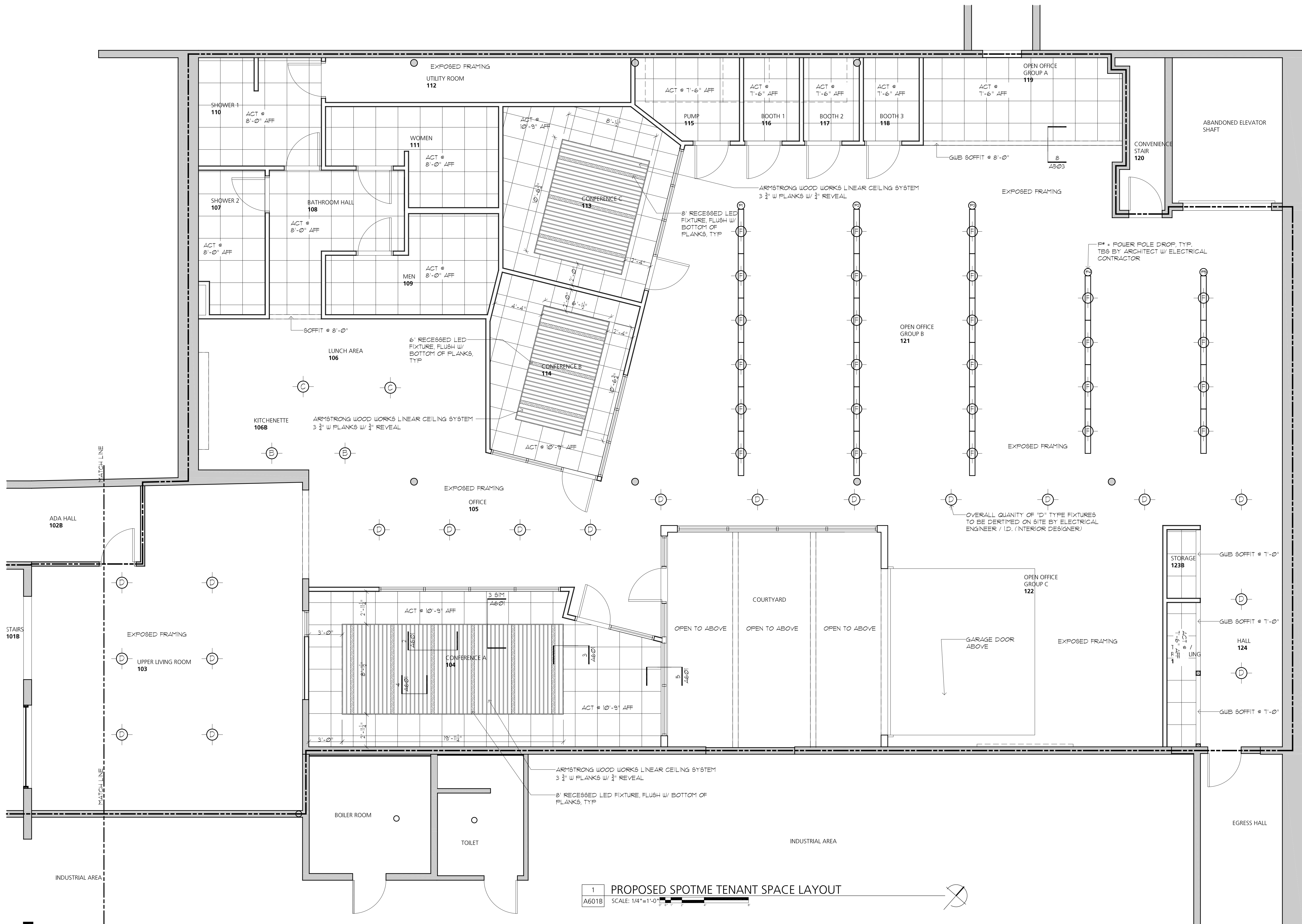
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PARTIAL REFLECTED CEILING PLAN & DETAILS

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1 PROPOSED SPOTME TENANT SPACE LAYOUT
 A601B SCALE: 1/4"=1'-0"



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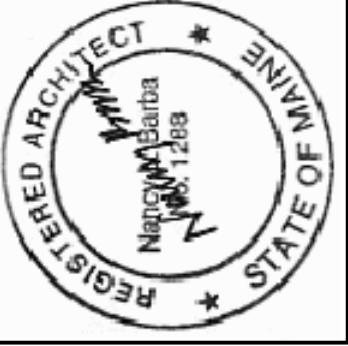
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ROOM #	ROOM NAME	FLOOR		BASE		WALL FINISH						CEILING			COMMENTS		
		MATERIAL	TYPE	MATERIAL	HEIGHT	NORTH	COLOR	EAST	COLOR	SOUTH	COLOR	WEST	COLOR	MATERIAL		HEIGHT	COLOR
101	LOWER LIVING ROOM	CONC	POLISHED	RB-1	4"	PTD MAS	--	PTD MAS	--	GWB	--	PTD MAS	--	EXISTING	--	--	--
102A	ADA ENTRY	CONC	--	RB-1	4"	GWB	--	PTD MAS	--	PTD MAS	--	GWB	--	EXISTING	--	--	--
102B	ADA HALL	CONC	--	RB-1	4"	GWB	--	GWB	--	PTD MAS	--	PTD MAS	--	EXISTING	--	--	--
103	UPPER LIVING ROOM	CONC	POLISHED	RB-1	4"	PTD MAS	--	PTD MAS	--	GWB	--	PTD MAS	--	EXISTING	--	--	--
104	CONFERENCE A	CPT	--	RB-1	4"	GWB	--	GWB	--	PTD MAS	--	GWB / PTD MAS	--	WD / ACT	9'-0" / 10'-9"	--	--
105	OFFICE	CONC	POLISHED	RB-1	4"	GWB	--	GWB	--	GWB	--	PTD MAS	--	EXISTING	--	--	--
106	LUNCH AREA	CONC	POLISHED	RB-1	4"	GWB	--	GWB	--					EXISTING	--	--	--
106B	KITCHENETTE	CONC	POLISHED	RB-1	4"	GWB	--			PTD MAS	--	PTD MAS	--	EXISTING	--	--	--
107	SHOWER 2	CONC	COLORED	RB-1	4"	GWB	--	GWB	--	GWB	--	PTD MAS	--	ACT	8'-0"	--	--
108	BATHROOM HALL	CONC	COLORED	RB-1	4"	GWB	--	GWB	--	GWB	--	GWB	--	ACT	8'-0"	--	--
109	MEN	CONC	COLORED	RB-1	4"	GWB	--	GWB	--	GWB	--	GWB	--	ACT	8'-0"	--	--
110	SHOWER 1	CONC	COLORED	RB-1	4"	PTD MAS	--	GWB	--	GWB	--	PTD MAS	--	ACT	8'-0"	--	--
111	WOMEN	CONC	COLORED	RB-1	4"	GWB	--	GWB	--	GWB	--	GWB	--	ACT	8'-0"	--	--
112	UTILITY ROOM	CONC	--	RB-1	4"	PTD MAS	--	GWB	--	GWB	--	GWB	--	EXISTING	--	--	--
113	CONFERENCE C	CPT	--	RB-1	4"	GWB	--	GWB	--	GWB	--	GWB	--	WD / ACT	9'-0" / 10'-9"	--	--
114	CONFERENCE B	CPT	--	RB-1	4"	GWB	--	GWB	--	GWB	--	GWB	--	WD / ACT	9'-0" / 10'-9"	--	--
115	PUMP	CPT	--	RB-1	4"	PTD MAS	--	GWB	--	GWB	--	GWB	--	ACT	1'-6"	--	--
116	BOOTH 1	CPT	--	RB-1	4"	PTD MAS	--	GWB	--	GWB	--	GWB	--	ACT	1'-6"	--	--
117	BOOTH 2	CPT	--	RB-1	4"	PTD MAS	--	GWB	--	GWB	--	GWB	--	ACT	1'-6"	--	--
118	BOOTH 3	CPT	--	RB-1	4"	PTD MAS	--	GWB	--	GWB	--	GWB	--	ACT	1'-6"	--	--
119	OPEN OFFICE GROUP A	CONC	POLISHED	RB-1	4"	PTD MAS	--	PTD MAS	--			GWB	--	ACT	1'-6"	--	--
120	CONVENIENCE STAIR	CONC	POLISHED	RB-1	4"	PTD MAS	--	PTD MAS	--	PTD MAS	--	PTD MAS	--	EXISTING	--	--	--
121	OPEN OFFICE GROUP B	CONC	POLISHED	RB-1	4"	GWB / PTD MAS	--	PTD MAS	--	GWB	--	GWB	--	EXISTING	--	--	--
122	OPEN OFFICE GROUP C	CONC	POLISHED	RB-1	4"			GWB	--	PTD MAS	--	GWB	--	EXISTING	--	--	--
123	TRASH / RECYCLING	CONC	POLISHED	RB-1	4"	GWB	--	GWB	--	GWB	--	GWB	--	ACT	1'-6"	--	--
124	HALL	CONC	POLISHED	RB-1	4"			PTD MAS	--	GWB / PTD MAS	--	GWB	--	EXISTING	--	--	--

1	FINISH SCHEDULE
A800	

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