

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070388

PERMIT ISSUED

APR 24 2007

This is to certify that A & M PARTNERS LLC / A & M Partners, LLC

has permission to Tenant fit-up for Commercial Office

AT 59 WASHINGTON AVE

013 1043001

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is leased or occupied. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cross

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Mackley 4/24/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0388	Issue Date:	CBL: 013 1043001
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Location of Construction: 59 WASHINGTON AVE	Owner Name: A & M PARTNERS LLC	Owner Address: 120 EXCHANGE ST	Phone:
Business Name:	Contractor Name: A&M Partners, LLC	Contractor Address: 120 Exchange Street Portland	Phone: 2077752100
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-4

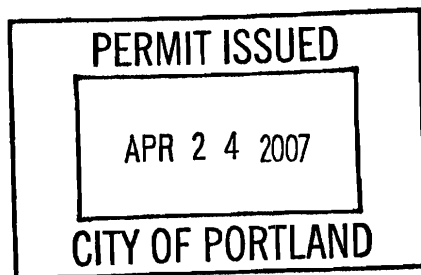
Past Use: Commercial - Vacant Space - Old Nissan Break Room	Proposed Use: Commercial - Office - Tenant fit-up for Commercial office <i>2nd & 3rd floors</i> <i>minor RAMP & roof</i>	Permit Fee: \$425.00	Cost of Work: \$32,400.00	CEO District: 1
Proposed Project Description: Tenant fit-up for Commercial office <i>for CH Robinson who is moving from the AREA of the bldg to this AREA</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: <i>B</i> Use Group: <i>Comm</i> Type: <i>SB</i> <i>JBC 2003</i>	

Signature: <i>Craig Cass</i>		Signature: <i>Jm 4/24/07</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: Idobson	Date Applied For: 04/11/2007	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minpr <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>condition</i> <i>5/4/2/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

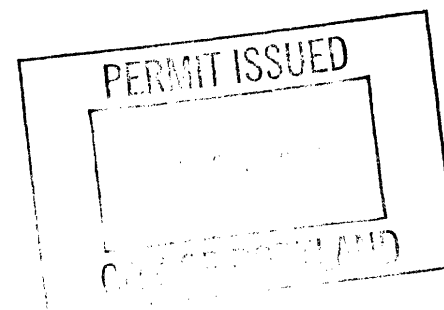
Permit No: 07-0388	Date Applied For: 04/11/2007	CBL: 013 I043001
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Location of Construction: 59 WASHINGTON AVE	Owner Name: A & M PARTNERS LLC	Owner Address: 120 EXCHANGE ST	Phone:
Business Name:	Contractor Name: A&M Partners, LLC	Contractor Address: 120 Exchange Street Portland	Phone: (207) 775-2100
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial -Office - Tenant fit-up for Commercial office for CH Robinson	Proposed Project Description: Tenant fit-up for Commercial office for CH Robinson
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 04/12/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
2) Separate permits shall be required for any new signage.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 04/24/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			
Dept: Fire	Status: Approved	Reviewer: Cptn Greg Cass	Approval Date: 04/17/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments: 4/12/2007-mes: CH Robinson is moving from one area of the building to this area - internal ramp being constructed and on existing roof - not outside of existing footprint
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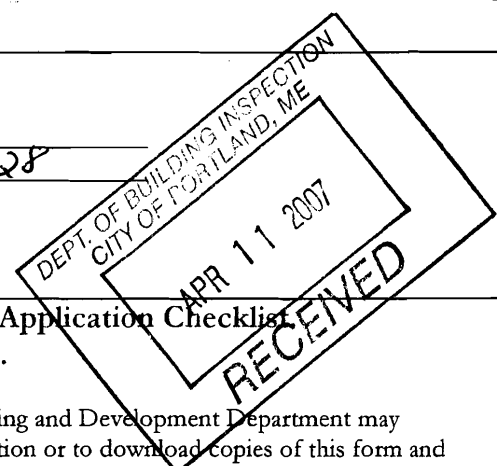




General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>59/75 Washington Ave 3rd Floor</u>		
Total Square Footage of Proposed Structure <u>N/A</u>		Square Footage of Lot <u>N/A</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>13</u> <u>I</u> <u>43</u>	Owner: <u>ATM PARTNERS LLC</u> <u>120 Exchange St.</u> <u>Portland, Me 04101</u>	Telephone: <u>Lou Wood</u> <u>450-6128-C</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>SAME AS OWNER</u> <u>874-6559-0</u> <u>450-6128-C</u> <u>Lou Wood</u>	Cost Of Work: \$ <u>32,400.00</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Office Space</u> Is property part of a subdivision? <u>N/A</u> If yes, please name _____ Project description: <u>Interior renovations of vacant space to office. Construction of interior Non-Bearing Walls. Construction of a "Ramp" to parking area. -> interior</u>		
Contractor's name, address & telephone: <u>ATM Partners, LLC</u> Who should we contact when the permit is ready: <u>Lou Wood</u> Mailing address: <u>SAME AS OWNER</u> Phone: <u>450-6128</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Lou Wood</u>	Date: <u>4/10/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



CH ROBINSON - PORTLAND, ME - 75 WASHINGTON

FURNITURE PLAN - OPTION B

SCALE: NOT TO SCALE

2/15/07, 3/2/07 TMC/LLB

GENERAL OFFICE PRODUCTS COMPANY 4521 HIGHWAY SEVEN MINNEAPOLIS, MINNESOTA 55416 (612) 925-7500

GENERAL NOTE:

BASE/ARCHITECTURAL PLAN IS PROVIDED TO GENERAL OFFICE PRODUCTS CO. VIA POWER PARTNERS. BASE/ARCHITECTURAL PLAN MAY OR MAY NOT ACCURATELY REPRESENT THE ACTUAL ARCHITECTURAL CONDITIONS.

SPACE/FURNITURE PLAN HAS BEEN DEVELOPED USING THE BASE/ARCHITECTURAL PLAN PROVIDED.

IT IS THE BRANCH MANAGER'S RESPONSIBILITY TO FIELD-VERIFY ARCHITECTURAL MEASUREMENTS DURING THE DESIGN DEVELOPMENT AND TENANT IMPROVEMENT/CONSTRUCTION PHASES.

FURNITURE PLACEMENT MAY BE IMPACTED BY FINAL TENANT IMPROVEMENT CONDITIONS.

INSTALLATION NOTES:

1. (3) PANEL SYSTEMS DUPLEX RECEPTACLES FOR EACH WORKSTATION

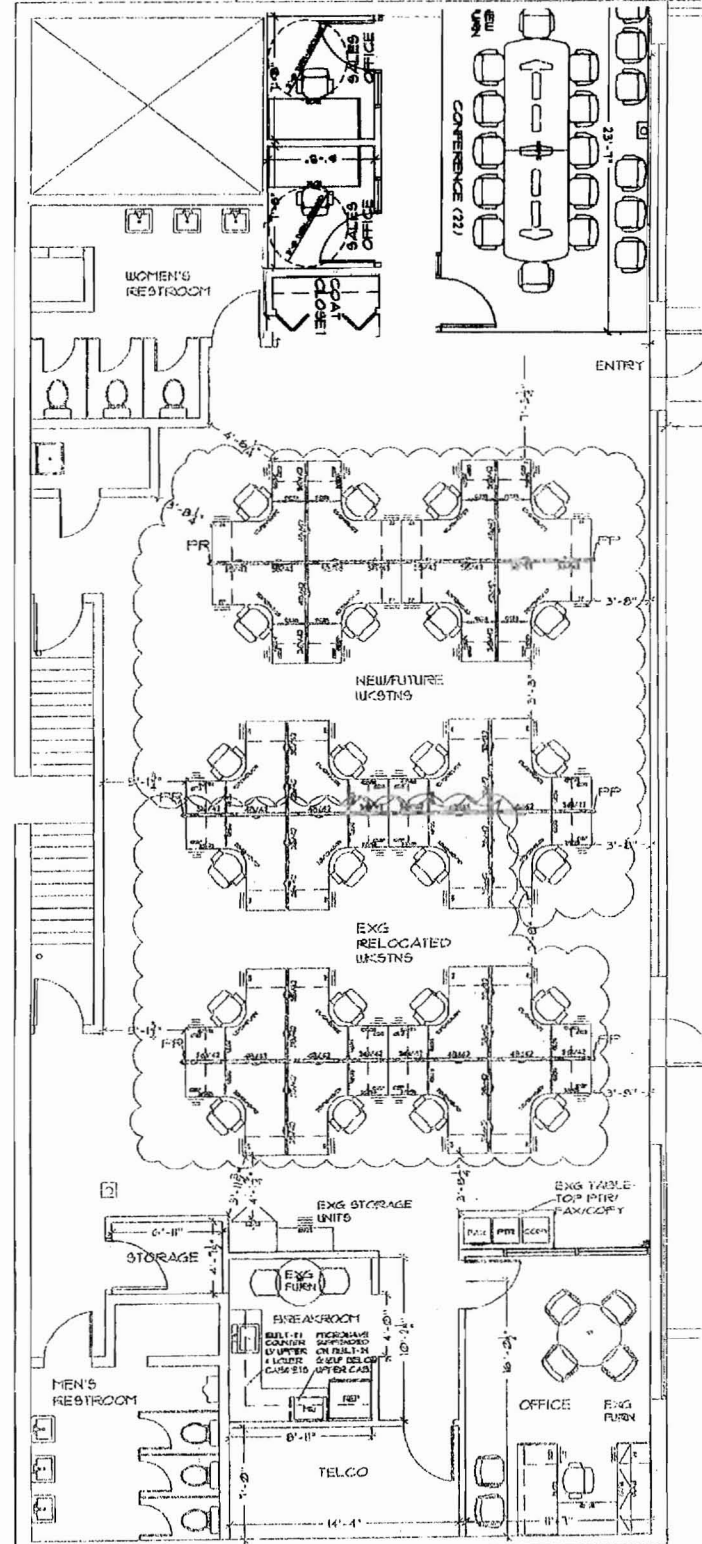
FURNITURE/ELECTRICAL SYMBOL KEY

• Base BASE POWER INFEEED FOR SYSTEMS FURNITURE

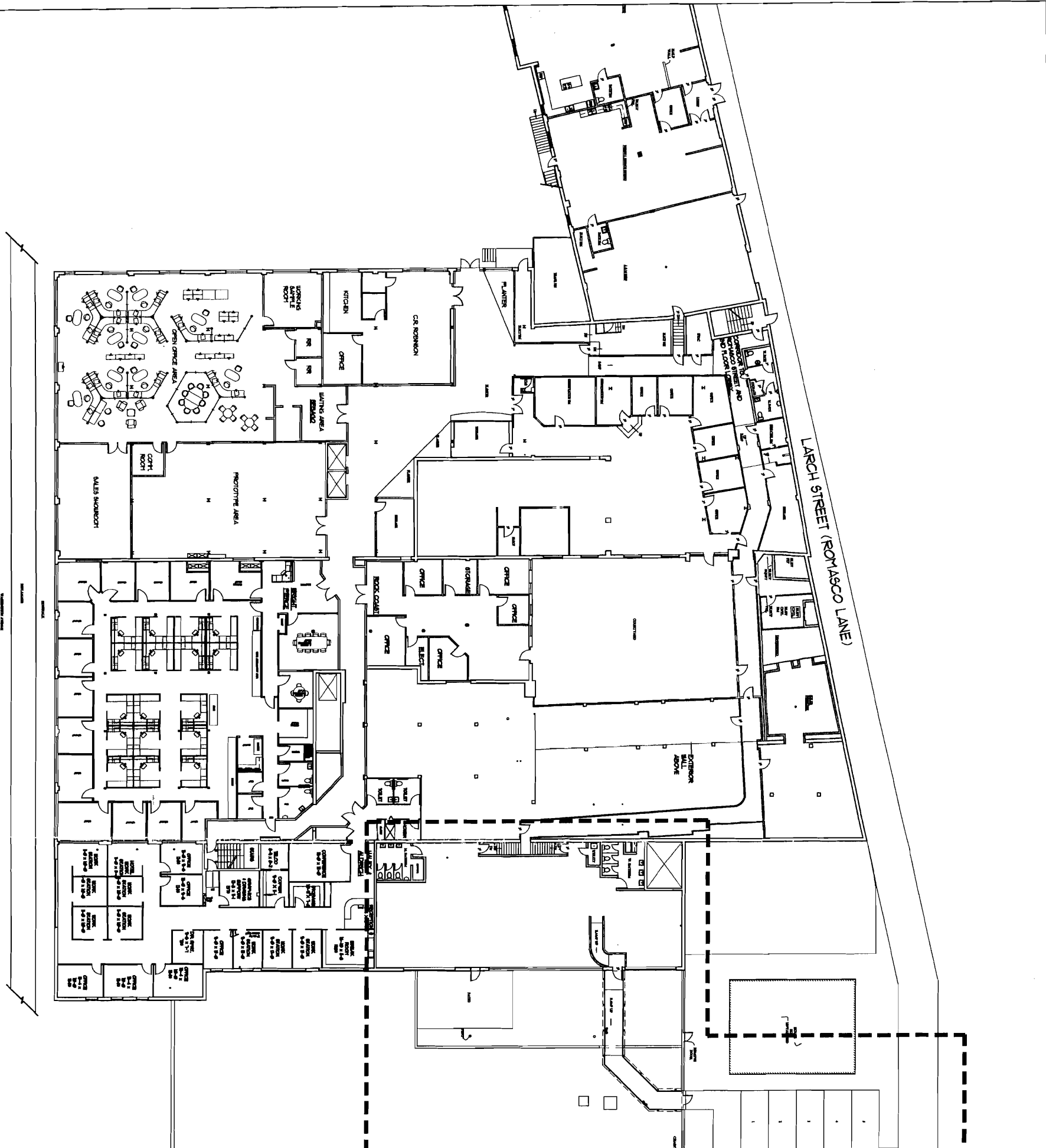
• Office POWER POLE FOR SYSTEMS FURNITURE (DIFFERENT SYMBOLS, DEPENDING ON MANUFACTURER)

OWNER/ CONTRACTOR: A&M PARTNERS, LLC.
120 EXCHANGE STREET
PORTLAND, ME. 04101

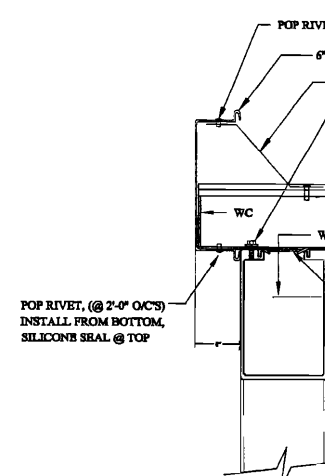
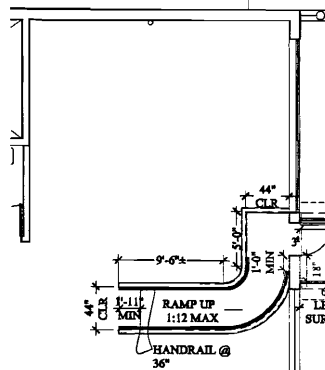
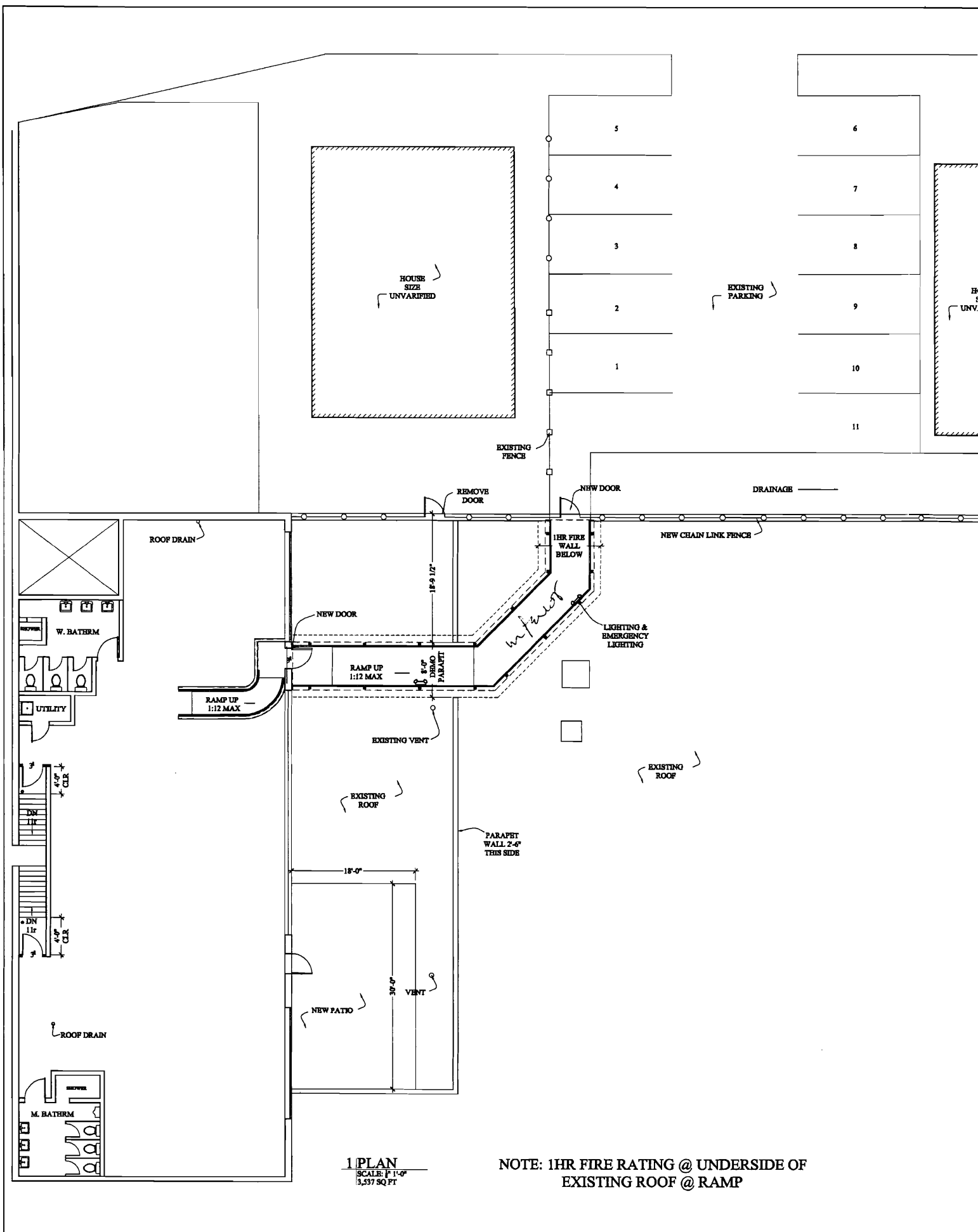
LOCATION: 75 WASHINGTON AVE.
3RD FLOOR.
SCOPE OF WORK: INTERIOR NON-BEARING WALL CONSTRUCTION, HIGHLIGHTED IN YELLOW.



1 EXISTING 2ND FLOOR PLAN
1/16" = 1'



LARCH STREET (ROMASCO LANE)



4 CANOPY TYP
N.T.S.

- COMPOSITE DECKING
- STL ANGLE
- STL CHANNEL

DOWNSPOUT OUTLET

1 PLAN
SCALE: 1/4" = 1'-0"
3,537 SQ FT

NOTE: 1HR FIRE RATING @ UNDERSIDE OF EXISTING ROOF @ RAMP