

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 061734

Please Read Application And Notes, If Any, Attached

This is to certify that A & M PARTNERS LLC / Wood/ A & M Partners
has permission to Change from pre-cast concrete block to actual wood piling w/ lumber lagging
AT 59 WASHINGTON AVE 013 1043001

PERMIT ISSUED
JAN 30 2007
CITY OF PORTLAND

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is loaded or otherwise closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1734	Issue Date: JAN 30 2007	CBL: 013 1043001
Owner Address: 120 EXCHANGE ST		Phone: 207-4506128
Contractor Address: 120 Exchange Street Portland		Phone: 207-4506128
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial
		Zone: B-4

Location of Construction: 59 WASHINGTON AVE	Owner Name: A & M PARTNERS LLC
Business Name:	Contractor Name: Lou Wood/ A & M Partners
Lessee/Buyer's Name	Phone:

Past Use: Commercial	Proposed Use: Commercial Amend permit # 04-1799 change from pre-cast concrete block to structural steel pilings w/ timber lagging
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Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
Signature:	Signature:

Proposed Project Description:
Change from pre-cast concrete block to structural steel piling w/ timber lagging

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: Date:

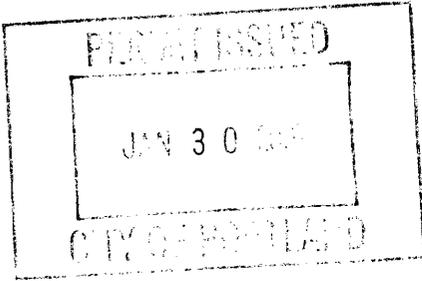
Permit Taken By: dmartin	Date Applied For: 12/01/2006
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Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
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Date: *9/12/10/06* Date: *[Signature]*



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1734	Date Applied For: 12/01/2006	CBL: 013 I043001
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Location of Construction: 59 WASHINGTON AVE	Owner Name: A & M PARTNERS LLC	Owner Address: 120 EXCHANGE ST	Phone:
Business Name:	Contractor Name: Lou Wood/ A & M Partners	Contractor Address: 120 Exchange Street Portland	Phone (207) 450-6128
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Commercial Amend permit # 04-1799 change from pre-cast concrete block to structural steel pilings w/ timber lagging	Proposed Project Description: Change from pre-cast concrete block to structural steel piling w/ timber lagging
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/01/2006

Note: **Ok to Issue:**

1) Planning Dept. must approve the changes since they signed off on a site plan exemption previously.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 01/03/2007

Note: **Ok to Issue:**

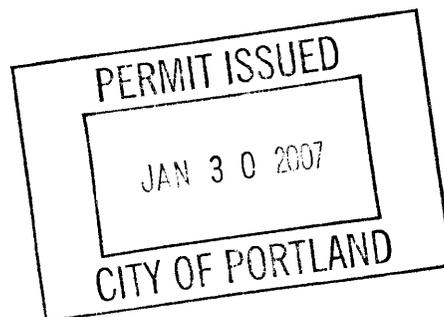
Dept: Fire **Status:** Not Applicable **Reviewer:** Cptn Greg Cass **Approval Date:** 01/05/2007

Note: **Ok to Issue:**

Comments:

12/1/2006-mes: there was a site plan exemption approval previously. Since there is a change, planning will need to comment before final sign off on this permit - zoning is ok

12/5/2006-mes: Barbara B. discussed this with Jay Reynolds and they have no problem with the changes - It does not need an updated review thru planning.





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

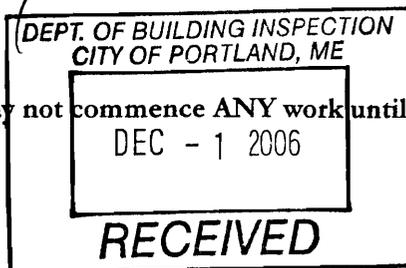
Location/Address of Construction: <u>59 Washington Ave / Romashok St</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>013 I043001</u>	Owner: <u>ATM PARTNERS LLC</u>	Telephone: <u>877-6959</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Lou Wood</u> <u>120 Exchange St.</u> <u>Portland, Me</u> <u>04101 450-6128</u>	Cost Of Work: \$ _____ Fee: \$ <u>30</u> C of O Fee: \$ <u>N/A</u>
Current Specific use: <u>Retaining Wall</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Retaining Wall</u>		
Project description: <u>Am</u> <u>Permit # 04-1799, Changing method of</u> <u>Constructing Retaining Wall, from a pre-cast concrete block to structural</u> <u>Steel Pilings with Timber lagging. (See enclosed design from h+h structural Eng.</u> <u>Services, Inc.)</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Lou Wood</u>		
Mailing address: _____ Phone: <u>450-6128</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>12/1/06</u>
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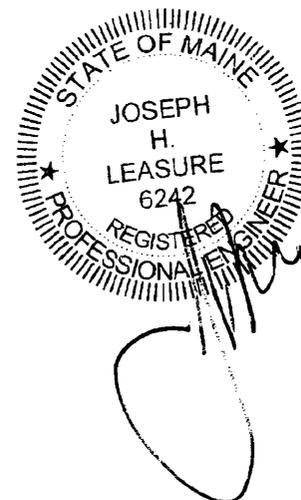
This is not a permit; you may not commence ANY work until the permit is issued.

GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: IBC International Building Code (2003).
2. Design Loads: Per IBC 2003



TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC timber construction manual or the national design specifications (NDS) -latest edition.
2. Individual timber framing members shall be visually graded, minimum grade #1 Southern Yellow Pine (SYP), kiln dried to 19% moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground. Timber shall be southern yellow pine treated with CCA to 0.6 #/CF in accordance with AWPA C-18.

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC Specification for the design, fabrication, and erection of structural steel -Ninth edition.
2. Structural steel shall conform to ASTM A572 Grade 50 (Fy=50 ksi)
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

PILE FOUNDATION NOTES:

1. Pile foundation design is based on the geotechnical report and calculations prepared by Harley & Aldrich, Inc. dated 19 July, 2005. This report contains construction recommendations which shall be reviewed by the contractor prior to the start of construction.
2. The Pile foundation shall conform with the requirements of IBC 2003. Pile Type: "Section as indicated" (ASTM A572 GRADE 50) steel piles w/ Protective Pile Points: Prun "Hard Bite" driving shoe.
3. Each pile shall be driven to develop a design friction value per Geotechnical reports.
4. Piles shall be driven with an approved hammer consistent with the geotechnical recommendations and accepted driving practice. Care shall be exercised to keep from overdriving and damaging the piles. Twisting and rotating of piles shall be prevented or corrected.
5. Pile splices when required shall be design and constructed to maintain alignment and position of pile sections and splices shall develop the full capacity of the pile in compression, tension, bending and shear.
6. Piles shall be driven in locations shown on the plans. The allowable pile deviations shall be within the limits indicated in the project specifications.
7. An accurate record of the following shall be recorded:
 - a. Pile identification number
 - b. Location driven
 - c. Date driven
 - d. Time driven
 - e. Total depth of penetration to refusal.
 - f. Rate and penetration during the last 10 blows of the hammer.
 - g. Type, size, and energy of the hammer used during driving.
 - h. Height of fall of the hammer.

JOB # 24213

designed by:	JHL
drawn by:	LEM
checked by:	MFL
scale:	NA
date:	NOV. 15, 2006

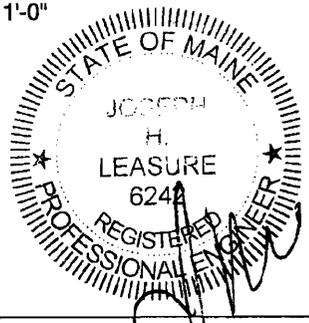
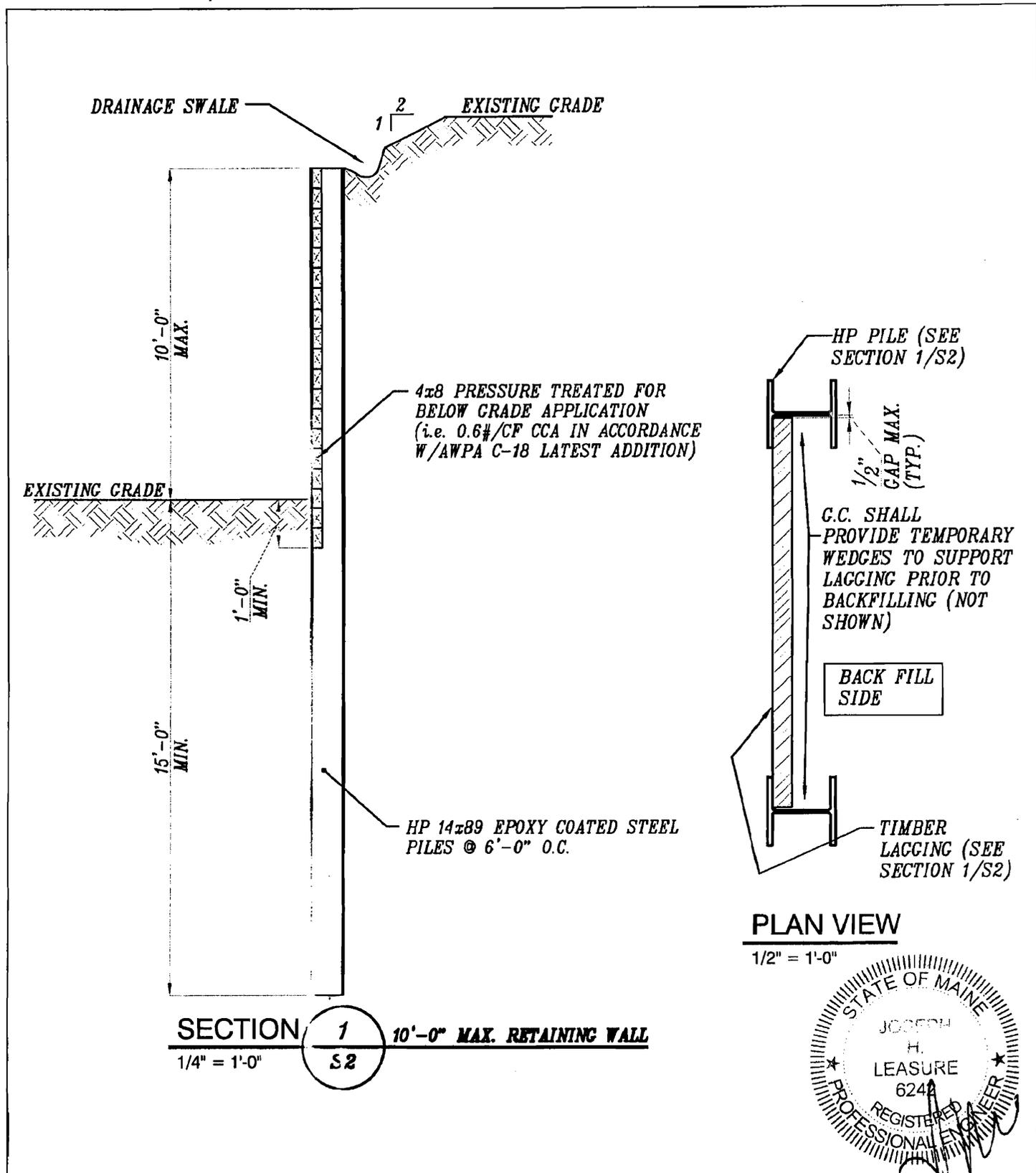
NISSEN BAKERY
 (OLD BLDG.)
 53 Washington Ave.
 Portland, Maine

RETAINING WALL
 GENERAL NOTES

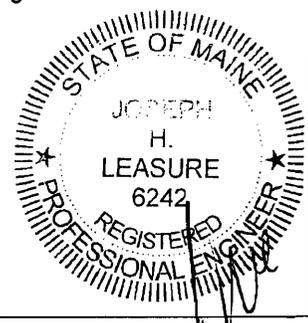
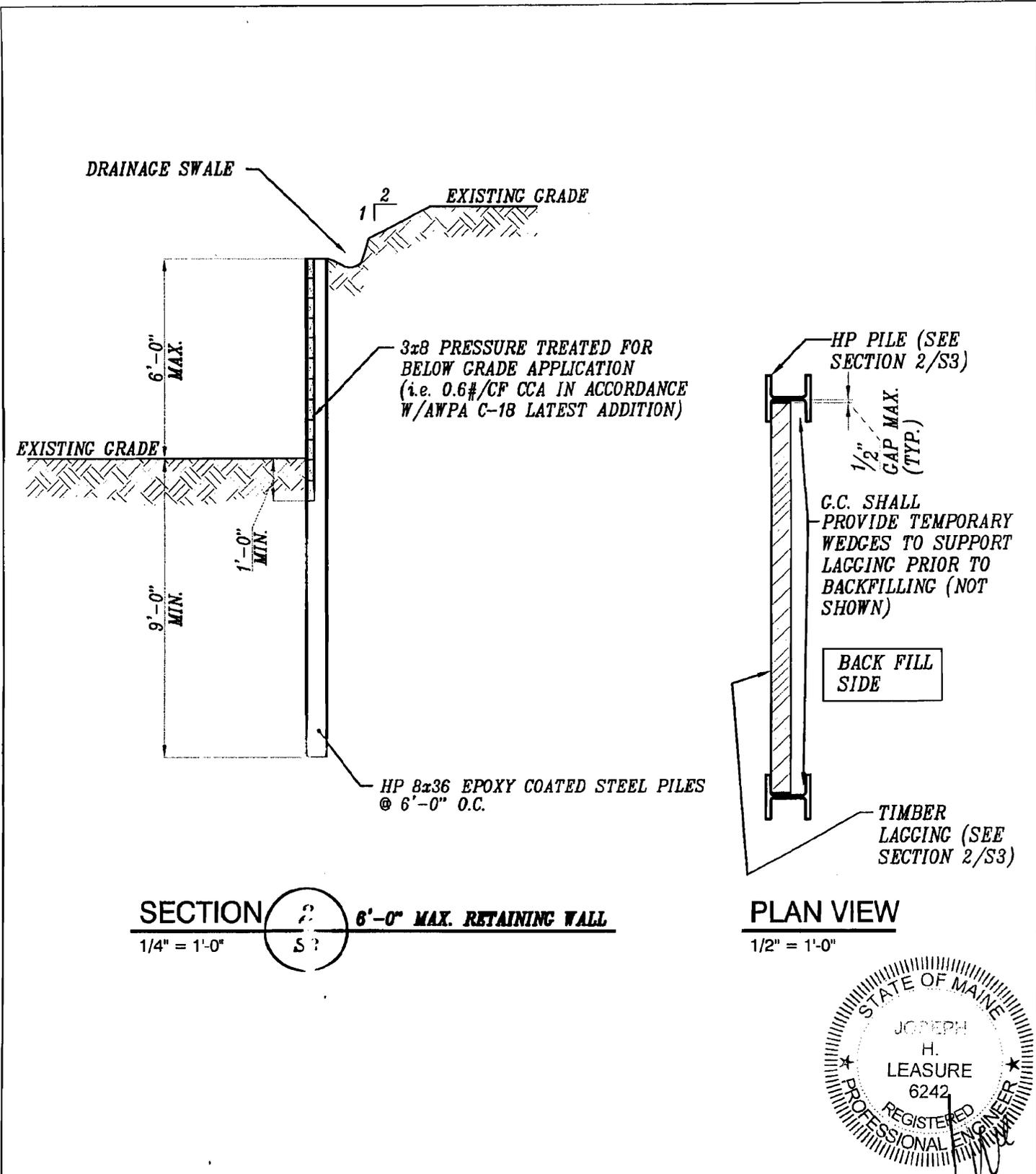
L & L STRUCTURAL
ENGINEERING SERVICES, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
 FAX: (207) 799-5432
 EMAIL: LLENG@AOL.COM

S1



JOB # 24213		NISSEN BAKERY (OLD BLDG.) 59 Washington Ave. Portland, Maine	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	S2
designed by:	JHL			
drawn by:	LEM			
checked by:	MFL			
scale:	AS NOTED			
date: NOV. 15, 2006		RETAINING WALL SECTIONS AND DETAILS		



JOB # 24213		NISSEN BAKERY (OLD BLDG.) 59 Washington Ave. Portland, Maine RETAINING WALL SECTIONS AND DETAILS	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENGO@AOL.COM	
designed by:	JHL			
drawn by:	LEM			
checked by:	MFL			
scale:	AS NOTED			
date:	NOV. 15, 2006	S3		

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1799	Date Applied For: 12/06/2004	CBL: 013 1043001
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Location of Construction: 59 Washington Ave	Owner Name: A & M Partners Llc	Owner Address: 120 Exchange St	Phone: () 775-2100
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone (000) 000-0000
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: commercial space w/new plascrete block retaining wall at edge of parking area	Proposed Project Description: Build new plascrete block retaining wall at edge of parking area
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 12/10/2004
Note: site plan exemption approved - retaining wall have no required setbacks **Ok to Issue:**

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 01/27/2005
Note: **Ok to Issue:**

Comments:

12/14/2004-gg: received granted site plan exemption. /gg

12/29/2004-mjn: need additional information from structural engineer with regard to Section 1806.1 left message w/owner/engineer
RECEIVED 1/24/05

previous Application
& Approvals

City of Portland, Maine - Building or Use Permit Application

189 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1799	Issue Date: JAN 28 2004	PERMIT ISSUED
		018 1043001

Location of Construction: 59 Washington Ave	Owner Name: A & M Partners Llc	Owner Address: 120 Exchange St	Phone: 775-2100
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone: 0000000000
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-f

Past Use: commercial space	Proposed Use: commercial space whew plascrete block retaining wall at edge of parking area	Permit Fee: \$183.00	Cost of Work: \$18,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group U Type NA RETAINING WALL	

Proposed Project Description:
Build new plascrete block retaining wall at edge of parking area

Signature: _____ Date: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: jharris	Date Applied For: 12/06/2004
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Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 12/06/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

LEGEND

- 1/4" = 1' - 0"
- 1/8" = 1' - 0"
- 1/16" = 1' - 0"
- 1/32" = 1' - 0"
- 1/64" = 1' - 0"
- 1/128" = 1' - 0"
- 1/256" = 1' - 0"
- 1/512" = 1' - 0"
- 1/1024" = 1' - 0"
- 1/2048" = 1' - 0"
- 1/4096" = 1' - 0"
- 1/8192" = 1' - 0"
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- 1/32768" = 1' - 0"
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APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

A+M PARTNERS LLC
Applicant

11/8/04
Application Date

120 EXCHANGE ST.
Applicant's Mailing Address

NISSENS
Project Name/Description

775.2100
Consultant/Agent/Phone Number

59-75 WASHINGTON AVE
Address of Proposed Site

CBL: 01311 05/04

Description of Proposed Development:

INSTALL GRAVITY BLOCK WALL ALONG BACK EDGE OF
ROMASCO ST. PARKING AREAS (SEE ATTACHED PLAN, SAMPLE
WALL INFO, AND PHOTOS)

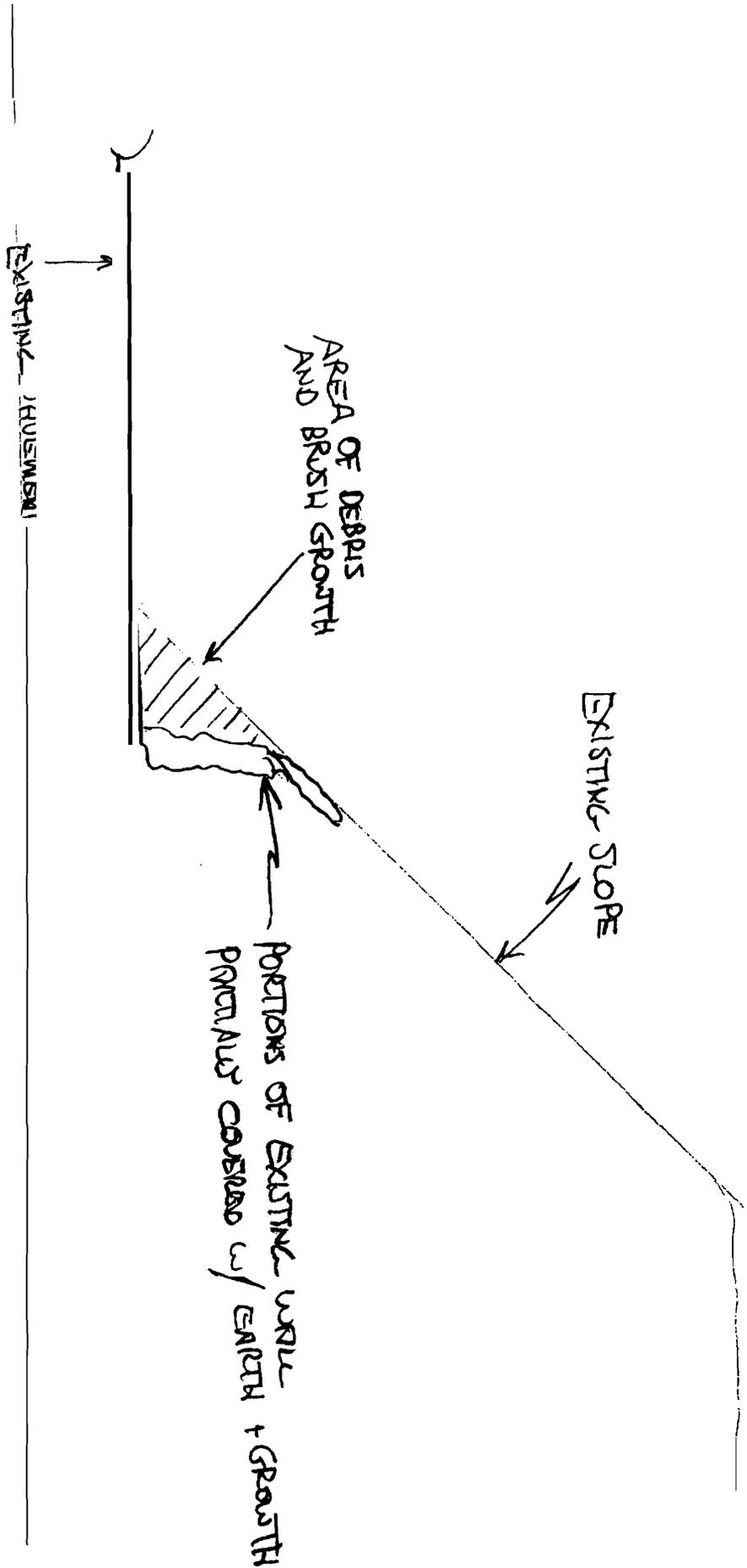
Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

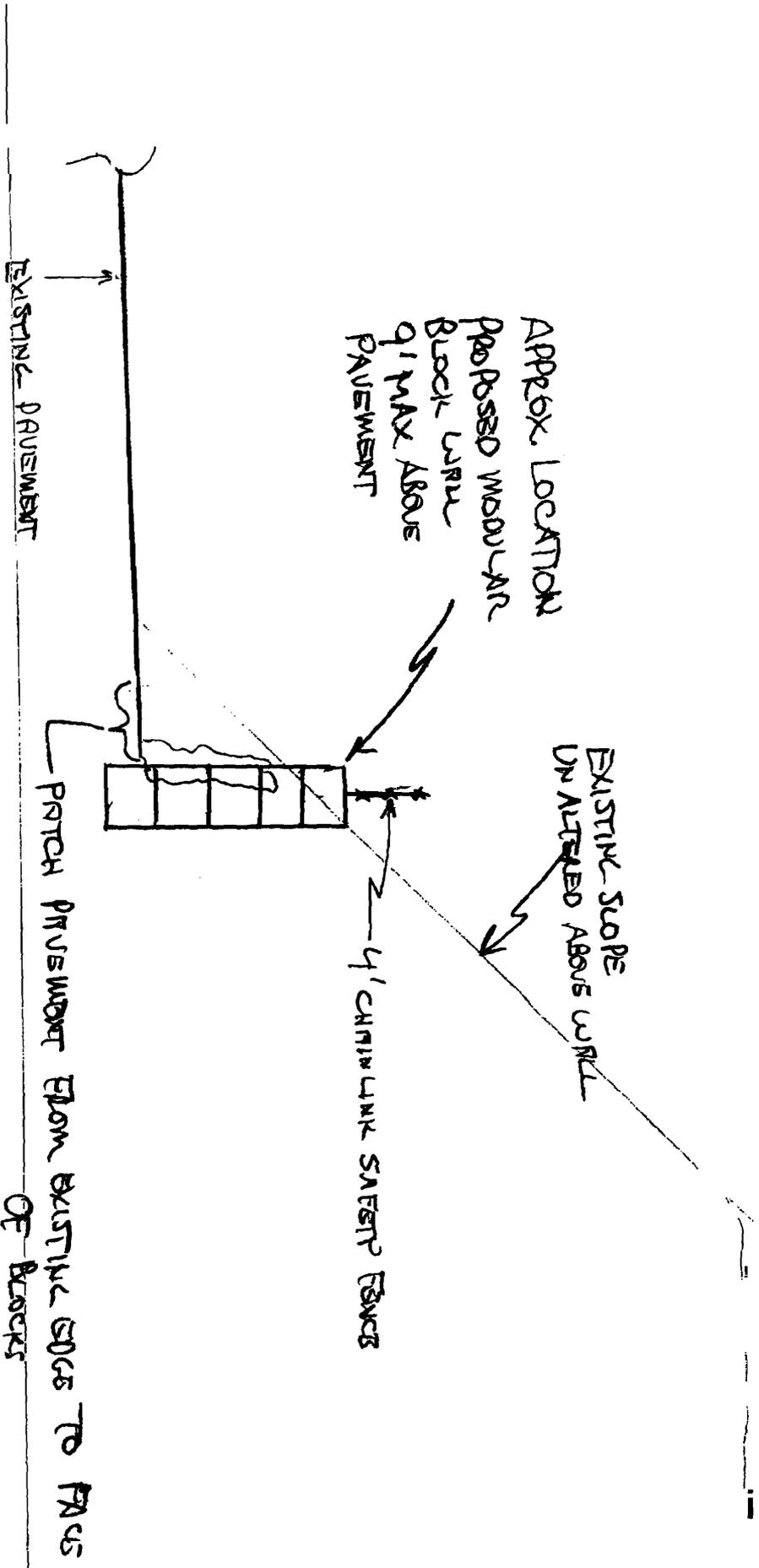
- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
Y	
Y	
Y	
Y	
Y	
Y	
Y	
Y	
Y	
Y	



SECTION A-A

EXISTING CONDITIONS
NTS.



APPROX. LOCATION

PROPOSED MODULAR

BLOCK WALL

9' MAX ABOVE

PAVEMENT

EXISTING SCOPE
UNALTERED ABOVE WALL

4' CHAIN LINK SAFETY FENCE

EXISTING PAVEMENT

PATCH PAVEMENT FROM EXISTING EDGE TO FACE
OF BLOCKS

SECTION A-A

PROPOSED WALL



NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET

PORTLAND, MAINE 04101

u/w/ou

TO: PAUL

2 TOTAL

FROM: MRS JARK-

(508) 653 6672

RE: PORTLAND PROJ

EXISTING CONDOTTY

SARAH/ETHAN
HEADS IS A SMALLER SEALED
X SECTION THAT GIVES A OVERVIEW
OF THIS AREA WHILE THIS
LARGER SCALE VERSION SHOWS
THE WALL BETTER.

SECTION A-A

