

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

Permit Number: 2005-013-104300
PERMIT ISSUED
JAN 28 2005
CITY OF PORTLAND

This is to certify that A & M Partners Llc/Owner

has permission to Build new, lascrete block retaining wall edge of parking area

AT 59 Washington Ave

City of Portland 013 104300

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 1/27/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

189 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1799	Issue Date: JAN 28 2005	PERMIT ISSUED	018 1043001
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Location of Construction: 59 Washington Ave	Owner Name: A & M Partners Llc	Owner Address: 120 Exchange St	Phone: 775-2100
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone: 0000000000
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-1

Past Use: commercial space	Proposed Use: commercial space whew plascrete block retaining wall at edge of parking area	Permit Fee: \$183.00	Cost of Work: \$18,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group U Type NA RETAINING WALL Signature: [Signature]	

Proposed Project Description:
Build new plascrete block retaining wall at edge of parking area

Signature: _____ Date: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jharris	Date Applied For: 12/06/2004
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Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: [Signature] 12/10/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]

CERTIFICATION

I hereby certify that I am the owner of record of the named property. or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

39 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1799	Date Applied For: 12/06/2004	CBL: 013 I043001
Location of Construction: 19 Washington Ave	Owner Name: A & M Partners Llc	Owner Address: 120 Exchange St
Business Name:	Contractor Name: Owner	Contractor Address: Portland
Applicant/Buyer's Name	Phone:	Permit Type: Alterations - Commercial

Proposed Use:
commercial space where plascrete block retaining wall at edge of parking area

Proposed Project Description:
Build new plascrete block retaining wall at edge of parking area

Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 12/10/2004
Note: site plan exemption approved - retaining wall have no required setbacks **Ok to Issue:**

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 01/27/2005
Note: **Ok to Issue:**

12/29/2004-mjn: need additional information from structural engineer with regard to Section 1806.1 left message w/owner/engineer
 RECEIVED 1/24/05
 12/14/2004-gg: received granted site plan exemption. /gg



NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET PORTLAND, MAINE 04101

TO: MIKE NUGENT

FROM: MIKE SCARLS

RE: BLDG. PERMIT FOR RETAINING WALL (ROBINSON ST)

2 TOTAL
(874 8716)

MIKE: ACCORDING TO A MESSAGE JOE LEISURE LEFT ME,
HE DISCUSSED THE QUESTIONS WITH YOU OVER THE PHONE AND
FORWARDED THIS BACK-UP LETTER TO ME FOR YOUR FILES.
IF I HAVEN'T GOT THE STORY STRAIGHT OR YOU'RE
STILL WORKING SOMETHING ELSE PLEASE CALL AS SOON AS
POSSIBLE.

THANKS,
MIKE

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

January 14, 2005

Mr. Mike Skarks
Neptune Properties Inc.
120 Exchange Street
Portland, Maine 04101

Subject: Nissens Bakery (Old), 59 Washington Avenue, Portland, Maine
Concrete Retaining Wall

Dear Mr. Skarks,

We have designed the retaining wall considering an inclined grade on the backfilled side of the wall of approximately 34 degrees as indicated on the drawings. In addition, we assumed that the backfill will be a free draining coarse-grained granular material which we assumed an angle of internal friction of 32 degrees. Furthermore, we assumed a coefficient of friction beneath the footing of 0.55 to resist sliding for the free draining granular compacted fill material beneath the footing as indicated on the drawings. As per your request and the request of Mike Nugent the local code enforcement officer the factor of safety results of our analysis and design of the retaining wall as shown on drawing S1 dated 11/16/04 are as follows:

Factor of safety against overturning = 2.1
Factor of safety against sliding = 1.6

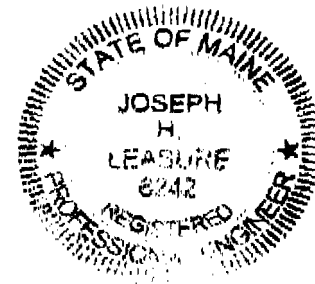
The factors of safety meet or exceed the required factor of safety of 1.5 for both overturning and sliding as specified in section 1806.1 of the 2003 International Building Code (International Code Council).

If you have any further questions or require any additional information and/or technical assistance, please do not hesitate to call.

Sincerely,

L& L Structural Engineering Services, Inc.

Principal



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>59-75 WASHINGTON AVE (NISSEN'S PROJ) BG</u>		
Total Square Footage of Proposed Structure <u>N/A (RETAINING WALL)</u>	Square Footage of Lot <u>1 ACRE +/-</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>I</u> Lot# <u>43</u>	Owner: <u>ATM PARTNERS, LLC</u> <u>1200 EXCHANGE ST. OHIO</u>	Telephone: <u>775 2100</u>
	telephone: <u>ABOVE</u>	Work: \$ <u>18,000</u> Fee: \$
Current use: <u>MIXED OFFICE, RETAIL, WAREHOUSE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____ DEC		
Proposed use: <u>AS ABOVE</u>		
Project description: <u>RETAINING WALL AT BACK EDGE OF EXISTING PARKING AREA</u>		
Contractor's name, address & telephone: <u>AS ABOVE</u>		
Who should we contact when the permit is ready: <u>LOU WOOD 450 6128</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michael Deane</u>	Date: <u>12/6/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207)767-4830
Fax: (207)799-5432

Post-It® Fax Note	7671	Date	11/11/04	# of pages	4
To	MIG SKOLY	From	JOE LEASURE		
Co./Dept.		Co.			
Phone #		Phone #			
Fax #	879-6988	Fax #			

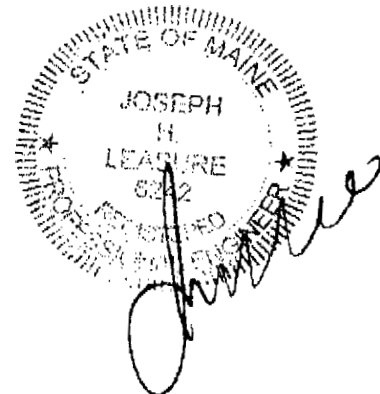
Call w/ any questions

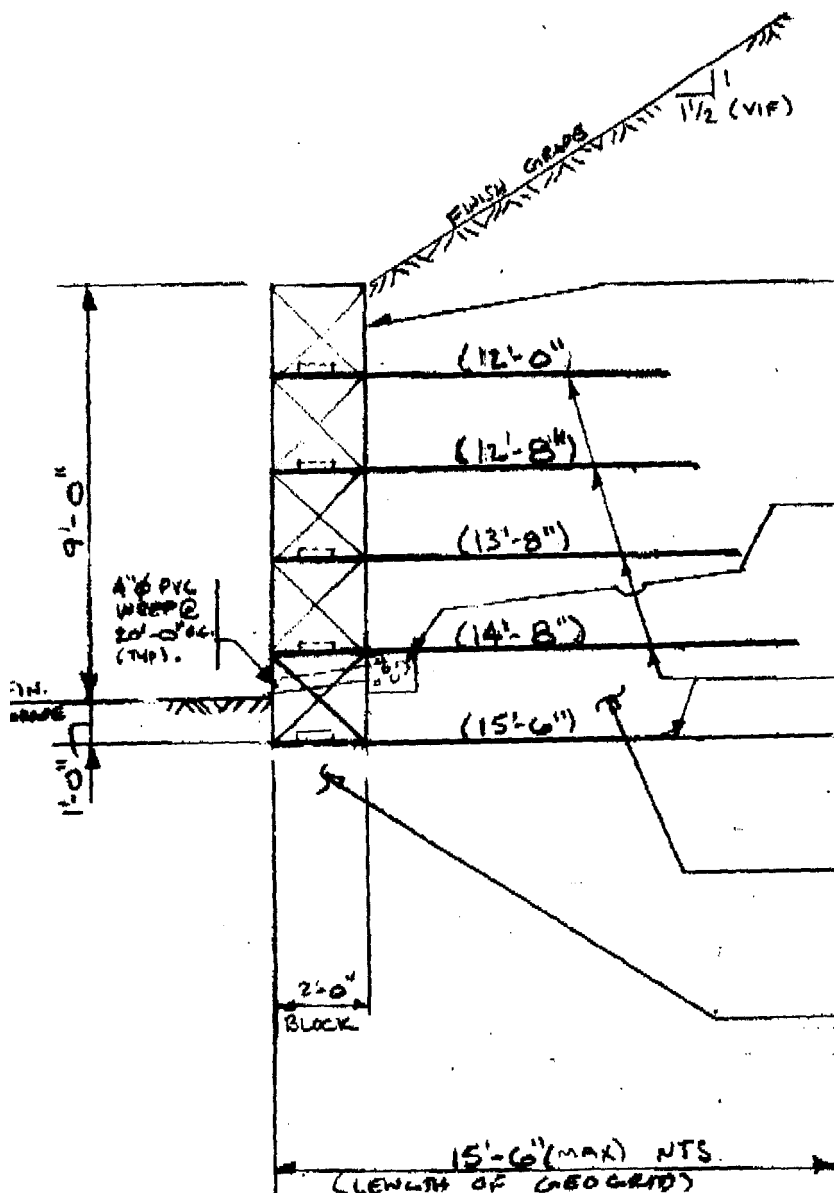
**NISSEN'S BAKERY
(OLD) BUILDING LOCATED
AT:
59 WASHINGTON AVENUE
PORTLAND, MAINE**

SITE RETAINING WALL

Prepared for: Neptue Properties, Inc.
120 Exchange Street
Portland, Maine 04101

Submission Date: November 11, 2004
Drawings Submitted: S1 thru S3





4'-0" x 2'-0" x 2'-0" INTERLOCKING PLAS-CRETE BLOCKS, MANUFACTURED BY CONIGLIARO INDUSTRIES, INSTALL PER MANUF. WRITTEN INSTRUCTIONS TO ENGAGE GEOGRID PROPERLY. (TYP.)

1'-0" x 1'-0" CONT. CRUSHED STONE WRAPPED IN FILTER FABRIC (TYP.)

8/3-20 LÜCKENHAUS RAUGRID™ GEOGRID (12.902/402) MANUF. BY CARTHAGE MILLS AT LENGTHS SHOWN CONTINUOUS, INSTALL BETWEEN EACH PLAS-CRETE BLOCKS TO MECHANICALLY FASTEN TO BLOCKS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AT LENGTHS INDICATED "()" TYP, UNROLL PERPENDICULAR TO WALL (TYP.)

EXCAVATE AS REQ'D TO INSTALL GEOGRID AND BACKFILL W/ COMPACTED GRANULAR FILL PER MANUF. REQUIREMENTS (TYP)

2'-0" MIN OF FREE-DRAINING FILL BENEATH WALL, INSTALL DRAINAGE PIPE TO DAYLIGHT (4" PERF. PVC) AS PER SITE DWGS. (TYP.)

SECTION - RETAINING WALL

1/4" = 1'-0"

(NORTHEAST SIDE OF ROMASCO STREET AT BACK OF EXISTING PAVED PARKING LOT AT NISSENS BUILDING.)

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	11/11/04

NISSENS BAKERY BUILDING (OLD)
 PORTLAND, MAINE
 RETAINING WALL SECTION

L & L STRUCTURAL ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106
 PHONE: (207) 787-4030
 FAX: (207) 789-8432
 EMAIL: LLL@LORACK.COM

51

GENERAL NOTES:

1. The notes on the drawings are not intended to **replace** specifications. See specifications for requirements in addition to general notes.
2. **Structural drawings shall be** used *in* conjunction with job specifications and architectural, mechanical, electrical, plumbing, and **site** drawings. Consult **these drawings** for **locations** and dimensions of openings, **chases**, inserts, **reglets**, **sleeves**, **depressions**, and other **details not shown on structural drawings**.
3. **All dimensions and** conditions must **be** verified **in** the field. **Any** discrepancies **shall be brought** to the attention **of the engineer** before proceeding with **the affected** part of the work.
4. Do not **scale plans**,
5. Sections and details shown on **any** structural **drawings shall be** considered typical for **similar** conditions.
6. **All proprietary products shall be installed** in accordance with the manufacturers written instructions.
7. The structure **is** designed to be **self supporting** and stable after the Building **is** complete. It **is** the contractor's **sole** responsibility to determine **erection procedures and sequencing** to **ensure the safety** of the **building** and its components **during** erection. This **includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs**. Such material shall **remain** the property **of the contractor after completion** of the **project**.
8. All **applicable federal, state, and** municipal regulations **shall be** followed, **including** the federal department of **labor occupational safety** and health act.

DESIGN LOADS:

1. Building **code:** **BOCA Basic Building Code (1999)**
IBC International Building Code (2003)
2. **Design Live Loads:**
 Equivalent Fluid Pressure (soil pressure).....40 pcf

designed by: JHL	BUILDING LOCATED AT: 59 WASHINGTON AVENUE PORTLAND, MAINE SITE RETAINING WALL GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 762-4830 FAX: (207) 762-6432 EMAIL: LLENCO@AOL.COM
drown by JHL		
checked by: MFL		
scale: NOTED		
date: NOV. 11, 2004		
		\$2

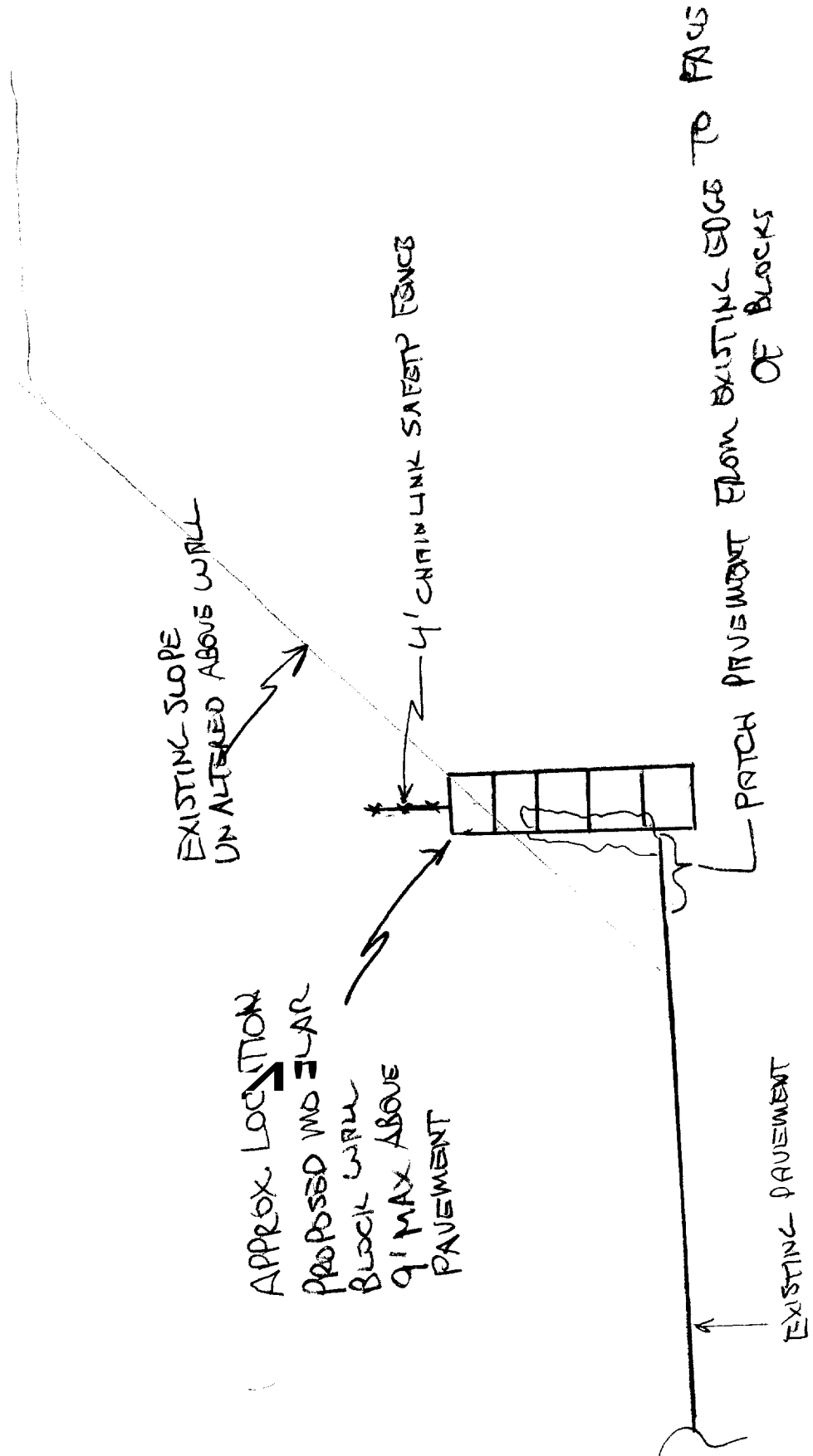
FOUNDATION NOTES:

1. Foundations have been designed with a presumptive soil bearing capacity of 2000 PSF to be verified in the field.
2. Structural fill shall be used at all locations below retaining wall and adjacent to the walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90-100
NO.4	35-70
40	5-35
200	0-5

3. Structural fill beneath and adjacent to the wall shall be placed in layers not exceeding 6" in loose measure and compacted by selfpropelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM 6-1557).
4. Underdrains shall be placed as shown on the site drawings. Underdrains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
5. Open excavations shall be adequately braced or properly benched.
6. Backfill both sides of foundation walls and grade walls simultaneously.

designed by:	JHL	BUILDING LOCATED AT: 59 WASHINGTON AVENUE PORTLAND, MAINE SITE RETAINING WALL GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 787-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM
drown by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	NOV. 11, 2004		
			s3



EXISTING SLOPE UNALTERED ABOVE WALL

APPROX. LOCATION PROPOSED 10' TALL BLOCK WALL 9' MAX ABOVE PAVEMENT

4' CHAIN LINK SAFETY FENCE

PATCH PAVEMENT FROM EXISTING EDGE TO FACE OF BLOCKS

EXISTING PAVEMENT

SECTION A-A
PROPOSED WALL



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

A+M PARTNERS LLC
Applicant

11/8/04
Application Date

120 EXCHANGE ST.
Applicant's Mailing Address

NISSEN'S
Project Name/Description

775.2100
Consultant/Agent/Phone Number

59-75 WASHINGTON AVE
Address of Proposed Site

CBL: 013-1 04/3

Description of Proposed Development:

INSTALL GRAVITY BLOCK WALL ALONG BACK EDGE OF
ROMANCO ST. PARKING AREAS (SEE ATTACHED PLAN, SAMPLE
WALL INFO, AND PHOTOS)

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
Y	
Y	
Y	
Y	
Y	
Y	
Y	
Y	
Y	



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

A+M PARTNERS LL
Applicant

11/8/04
Application Date

120 EXCHANGE ST
Applicant's Mailing Address

ISSUES
Project Name/Description

775 2100
Consultant/Agent/Phone Number

59-75 WASHINGTON AVE
Address of Proposed Site

CBL: 013-11-04

Description of Proposed Development:

INSTALL GRAVITY BLOCK WALL ALONG BACK EDGE OF
ROMASCO ST PARKING AREAS (SEE ATTACHED PLAN, SAMPLE
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- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment
(Yes, No, N/A)

Planning Office
Use Only

Y

Y

Y

Y

Y

Y

Y

Y

DEC 9



NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET

PORTLAND, MAINE 04101

11/5/04

TO: SARAH HOPKINS
FROM: MIKE SCARLS
RE: NISSEBLO BLOCK WALL

SARAH:

ATTACHED IS A LOCATION PLAN FOR THIS "PLASTCRETE BLOCK WALL" WE INTEND TO INSTALL ALONG THE REAR EDGE OF THE ROMASCO ST. PARKING AREAS. THE WALL WILL BE 5 BLOCKS (10') HIGH AT THE HIGH POINT TAPERING AS REQ'D TO FOLLOW THE GRADE. WE ARE USING THE SLOTT-FACE VERSION OF THE BLOCK (THE ATTACHED MANUFACTURERS CUT SHEET SHOWS THE STANDARD FLAT FACE). I ALSO INCLUDED A COUPLE OF PHOTOS SHOWING THE AREA IN QUESTION. AS PART OF THE WORK WE'LL ALSO REMOVE THE COOLING TOWERS SHOWN IN THE PHOTO.

WE'LL HAVE A ENGINEERED CROSS SECTION AVAILABLE FOR OUR BUILDING PERMIT.

THANKS FOR YOUR HELP.

MIKE

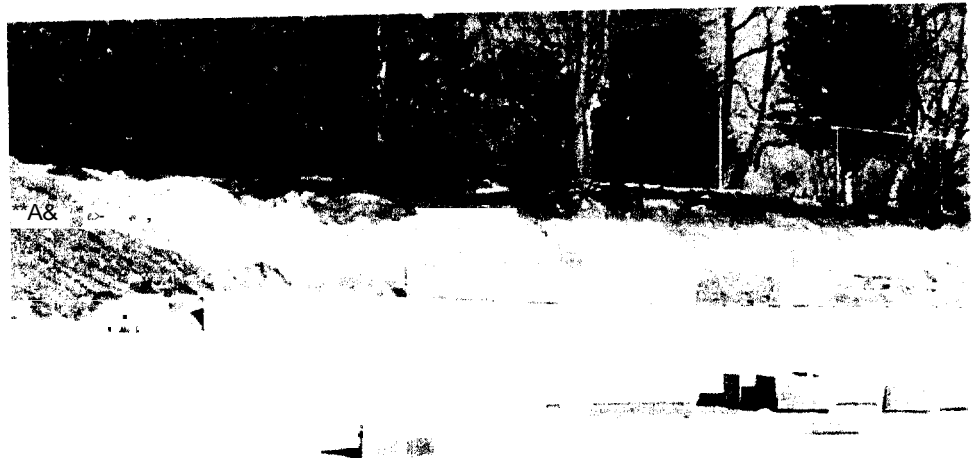
Plas-Crete Blocks in Action!

Large Retaining Wall Project - 400' long x 8' high
Constructed in just 2 days!

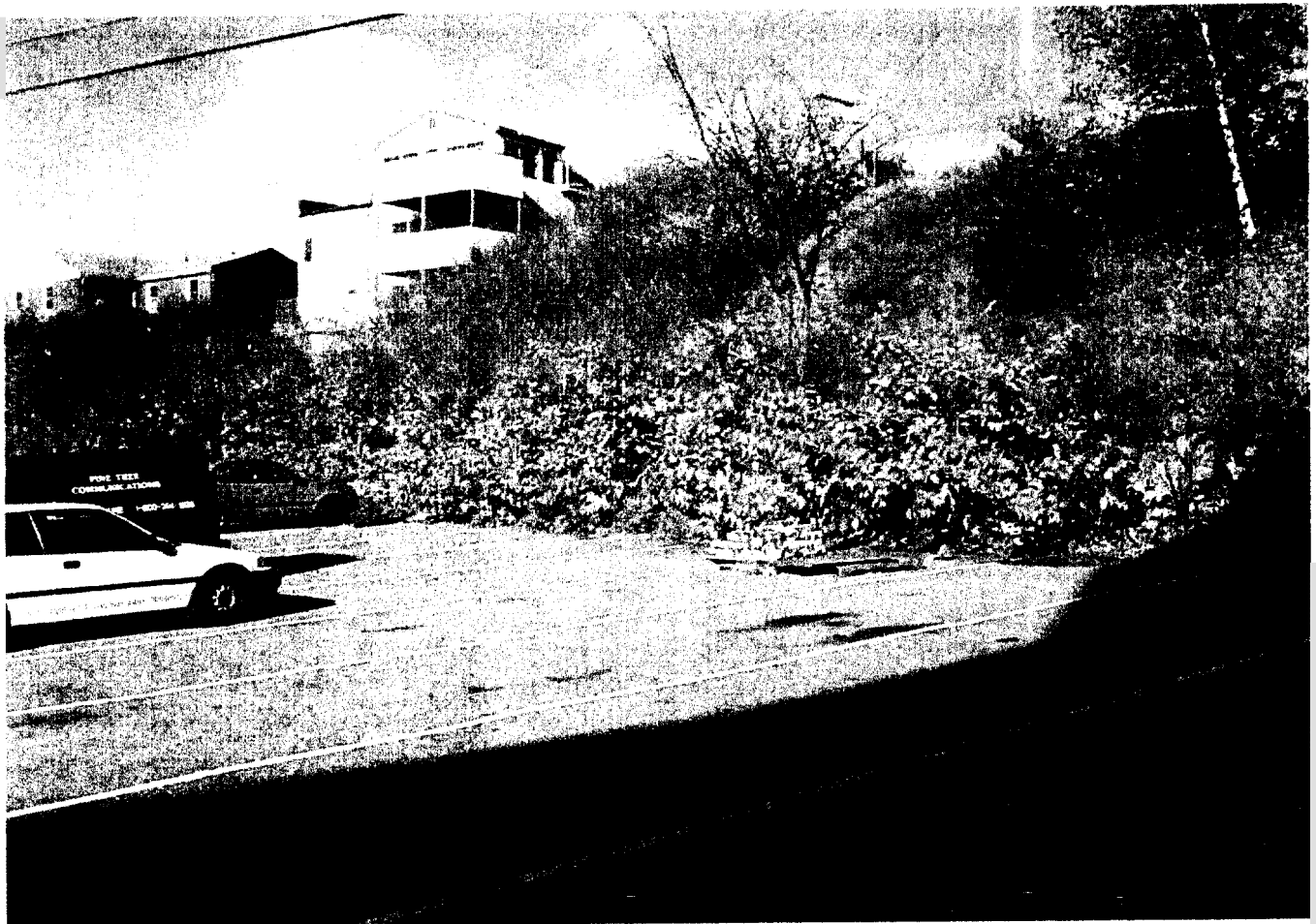
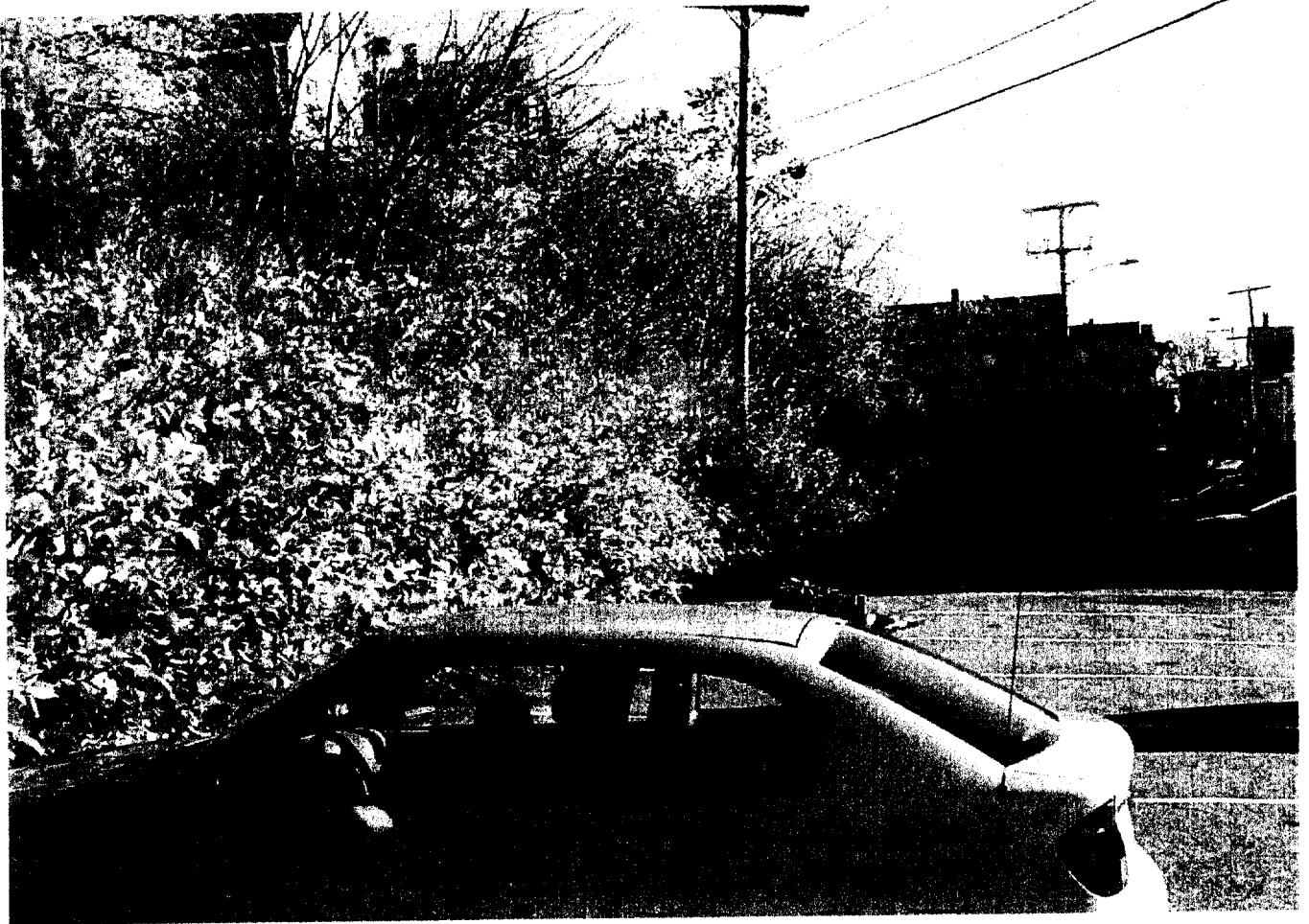


Geogrid and interlocking knob system works great for taller walls!

Plas-Crete blocks are designed to accommodate corners and curves without a problem!



701 Waverly Street
Framingham, MA 01702
(888) CONIG - 25
fax (508) 653-6672
sales@conigliaro.com
www.conigliaro.com





NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET

PORTLAND, MAINE 04101

TO: SARAH/ETHAN
FROM: MIKE SCARFS
RE: NISSEW'S BLOCK WALL

11/28/04

PAGE 1 OF 2

AS PER OUR MEETING OF FRIDAY (11/12) I HAVE ATTACHED A MORE DETAILED CROSS-SECTION OF THE MODULAR BLOCK WALL WE WANT TO INSTALL BEFORE BAD WEATHER.

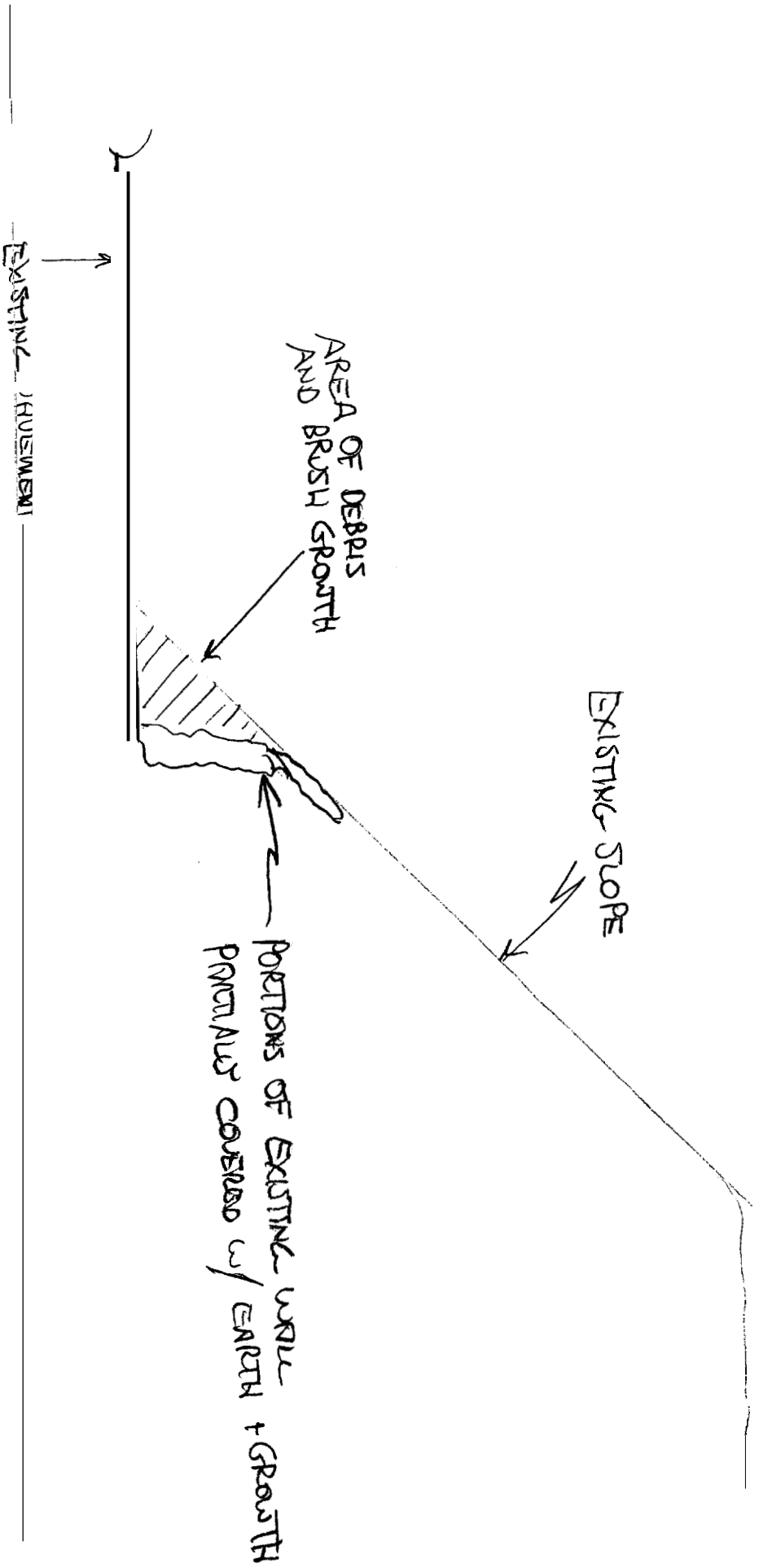
THE REASON FOR THIS WALL IS TO MAKE THIS AREA SUITABLE FOR THE OFFICE TOWARDS US HAVE ATTACHED TO THIS FORMER INDUSTRIAL BUILDING, AS YOU CAN SEE FROM THE EXISTING SITE PHOTOS THAT THIS AREA IS IN A DILAPIDATED STATE LIKE MUCH OF THE BUILDING AND SITE WAS BEFORE OUR RESTORATION/RE-POSITIONING.

WE ARE NOT ADDING PARKING SPACES AND ONLY PAVING THE NARROW STRIP BETWEEN OUR EXCAVATION (2' DEEP MAX) AND THE EXISTING PAVEMENT. ALL AREAS ABOVE THE WALL WILL REMAIN UNALTERED AND UNUSED EXCEPT FOR RE-PLANTING IMMEDIATELY ADJACENT TO THE UPPER PART OF THE WALL. I CAN BE AVAILABLE FOR YOUR WEDNESDAY MORNING MEETING IF YOU WANT.

I SEE NO IMPACT THAT WOULD REQUIRE JITS REVIEW AT ANY LEVEL. AND HOPE THE CITY WOULD CONTINUE TO PARTNER WITH US IN IMPROVING THIS AREA. I ANTICIPATED STARTING THIS ON 11/15th AND BE COMPLETED BY NOW; I HOPE THIS INFORMATION WILL ALLOW YOU TO COMPLETE THIS PROCESS SO I CAN START NEXT WEEK AND HOPE FOR 2 WEEKS OF GOOD WEATHER.

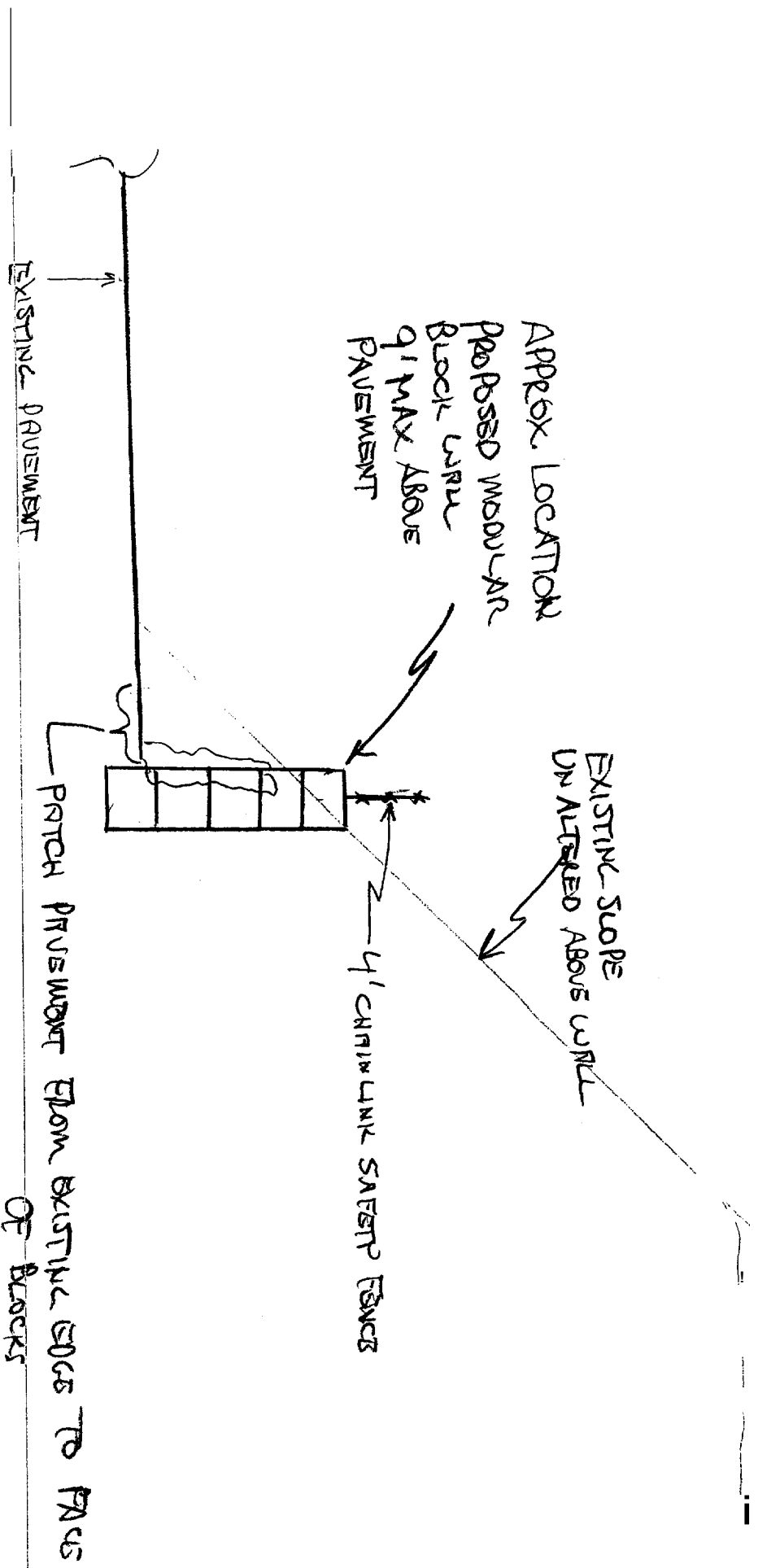
SINCERELY,

MIKE SPARKS



SECTION A-A

EXISTING CONDITIONS
NTS.



APPROX. LOCATION

PROPOSED MODULAR

BLOCK WALL

9" MAX ABOVE

PAVEMENT

EXISTING SCOPE
UNALTERED ABOVE WALL

4' CHAIN LINK SAFETY FENCE

PATCH PAVEMENT FROM EXISTING EDGE TO FACE
OF BLOCKS

EXISTING PAVEMENT

SECTION A-A

PROPOSED WALL



NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET

PORTLAND, MAINE 04101

11/16/04

TO: PAUL
FROM: MRS JCRK-
RE: PORTLAND PROJ
EXISTING CONDOTTY

2 TOTAL
(508) 653 6672

SARAH/ETHAN
NEEDS IS A SMALLER SEALED
X SECTION THAT GIVES A OVERVIEW
OF THIS AREA WHILE THE
LARGER SCALE VERSION SHOWS
THIS WALL BETTER.

SECTION A-A

