

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

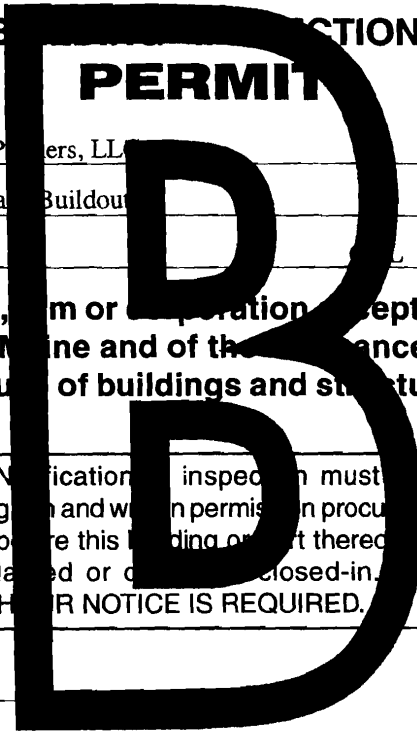
Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING DEPARTMENT PERMIT

Permit Number: 021224

This is to certify that A & M Partners Llc/A&M Partners, LLC  
has permission to Change of Use to Office Space Buildout  
AT 59 Washington Ave L 013 1043001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is opened or closed-in.  
**48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 59 Washington Ave

CBL 013 I043001

Issued to A & M Partners Llc/A&M Partners, LLC

Date of Issue 07/08/2003

**This is to certify** that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-1224 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

3rd floor only

APPROVED OCCUPANCY

Office Space

Use Group B

Type 2-C

BOCA '99

**Limiting Conditions:**

None

This certificate supersedes  
certificate issued

Approved:

*[Handwritten signature]*

(Date)

Inspector

*[Handwritten signature]*

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

*[Handwritten notes and stamps in the bottom left corner, including 'APPROVED' and 'CITY OF PORTLAND']*

450-6129

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1224	Issue Date:	CBL: 013 I0430
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Location of Construction: 59 Washington Ave	Owner Name: A & M Partners Llc	Owner Address: 120 Exchange St	Phone: 207-775-2100
Business Name: n/a	Contractor Name: A&M Partners, LLC	Contractor Address: 120 Exchange Street Portland	Phone: 2077752100
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B-4

Past Use: Commercial; Bakers / Distribution / Retail / Office.	Proposed Use: Change of Use; Office <u>25,203 sq.</u> Ft. Office Buildout	Permit Fee: \$2,373.00	Cost of Work: \$325,000.00	CEO District: 1
Proposed Project Description: Change of Use to Office Space Buildout		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2C Signature: <i>[Signature]</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 10/28/2002	<b>Zoning Approval</b>
------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2002-0230 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: <i>11/20/07</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<p><i>Separate permits here required for any new signage</i></p> <p><i>Part of site plan under review</i></p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>59 WASHINGTON AVE.</b>		
Total Square Footage of Proposed Structure <b>EXISTING = 152,635 SF</b>	Square Footage of Lot <b>131,978 SF</b>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>13            I 43            1</b>	Owner: <b>A+M PARTNERS, LLC.</b>	Telephone: <b>7752100</b>
Lessee/Buyer's Name (If Applicable) <b>N/A</b>	Applicant name, address & telephone: <b>120 EXCHANGE ST. PORTLAND, ME 04101</b>	Cost Of Work: \$ <b>325,000/-</b> Fee: \$ <b>2,298.00</b>
Current use: <b>BAKERY/DISTRIBUTION/RETAIL/OFFICE</b>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <b>OFFICE</b> walls, partitions, ceiling		
Project description: <b>25,203 SF OF OFFICE BUILDOUT / 16,850 EXISTING / CHANGE OF USE = 8353 SF</b>		
Contractor's name, address & telephone: <b>AS ABOVE</b>		
Who should we contact when the permit is ready: <b>LOU WOOD 874 6959</b>		
Mailing address: <b>120 EXCHANGE ST. PORTLAND, ME 04101</b>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE: <b>874 6959</b>		

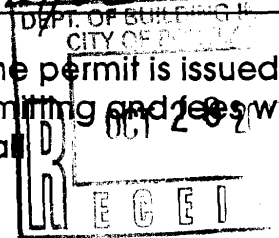
~~with these stamped plans~~  
MINOR SITE REVIEW PREVIOUSLY FILED

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <b>Michael Deuby, PRES.</b>	Date: <b>10/24/02</b>
-----------------------------------------------------	-----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall.**



# City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: <b>59 WASHINGTON AVE</b>			Zone: <b>B4</b>		
Total Square Footage of Proposed Structure <b>EXISTING - 152,635</b>			Square Footage of Lot <b>131,978</b>		
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>13      143      1</b>		Property owner, mailing address: <b>A+M PARTNERS, LLC      04101 (20 EXCHANGE ST, PORTLAND, ME)</b>		Telephone: <b>7752100</b>	
Consultant/Agent, mailing address, phone & contact person <b>SAME (MICHAEL SCARBS)</b>		Applicant name, mailing address, telephone #/Fax#/Pager#: <b>SAME FAX 8746988</b>		Project name: <b>NISSEN OFFICE COMPLEX</b>	
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input checked="" type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots _____ \$25.00 per lot \$ _____ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00  Major Development _____ \$500.00      Minor Development _____ \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00					
Who billing will be sent to: <b>SAME AS ABOVE</b>					
Mailing address:					
State and Zip:		Contact person:		Phone:	

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

### ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <b>7/22/02</b>
-------------------------------------------------------------------------------------------------------------	----------------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

**2002-0164**  
Application I. D. Number  
**7/23/02**  
Application Date  
**Nissen Office Complex**  
Project Name/Description

**A & M Partners Lic**  
Applicant  
**120 Exchange St, Portland, ME 04101**  
Applicant's Mailing Address  
**Mike Scarks or Lou Wood**  
Consultant/Agent  
**Applicant Ph: (207) 775-2100 Agent Fax: 874-6988**  
Applicant or Agent Daytime Telephone, Fax

**59 - 59 Washington Ave, Portland, Maine**  
Address of Proposed Site  
**013 1043001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify)

**82,00 sq. ft.** **131,978** **B4**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan **\$400.00** Subdivision Engineer Review **\$1,298.00** Date **9/24/02**

**Planning Approval Status:**

Reviewer **Jonathan Spence**

- Approved  Approved w/Conditions See Attached  Denied

Approval Date **9/12/02** Approval Expiration **9/12/03** Extension to  Additional Sheets Attached

OK to Issue Building Permit **Jonathan Spence** signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |                                                                    |                        |                              |                                   |
|--------------------------------------------------------------------|------------------------|------------------------------|-----------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <b>9/24/02</b><br>date | <b>\$73,900.00</b><br>amount | <b>4/16/03</b><br>expiration date |
| <input type="checkbox"/> Inspection Fee Paid                       | date                   | amount                       |                                   |
| <input type="checkbox"/> Building Permit Issue                     | date                   |                              |                                   |
| <input type="checkbox"/> Performance Guarantee Reduced             | date                   | remaining balance            | signature                         |
| <input type="checkbox"/> Temporary Certificate of Occupancy        | date                   | Conditions (See Attached)    | expiration date                   |
| <input type="checkbox"/> Final Inspection                          | date                   | signature                    |                                   |
| <input type="checkbox"/> Certificate Of Occupancy                  | date                   |                              |                                   |
| <input type="checkbox"/> Performance Guarantee Released            | date                   | signature                    |                                   |
| <input type="checkbox"/> Defect Guarantee Submitted                | submitted date         | amount                       | expiration date                   |
| <input type="checkbox"/> Defect Guarantee Released                 | date                   | signature                    |                                   |

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2002-0164**

Application I. D. Number

**7/23/02**

Application Date

**Nissen Office Complex**

Project Name/Description

**A & M Partners Llc**

Applicant

**120 Exchange St, Portland, ME 04101**

Applicant's Mailing Address

**Mike Scarks or Lou Wood**

Consultant/Agent

**Applicant Ph: (207) 775-2100      Agent Fax: 874-6988**

Applicant or Agent Daytime Telephone, Fax

**59 - 59 Washington Ave, Portland, Maine**

Address of Proposed Site

**013 1043001**

Assessor's Reference: Chart-Block-Lot

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**Approval Conditions of Planning**

- 1 i. The applicant will plant sufficient quantities of "Sea Green Juniper" in the area between the upper and lower parking lots in the vicinity of the three (3) Austrian Pines, per the City Arborists recommendation.
  
  - ii. The applicant will provide catalog cuts for all proposed lighting.
-



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy**

**2002-0164**  
Application I. D. Number  
**07/23/2002**  
Application Date

**A & M Partners Llc**  
Applicant  
**120 Exchange St, Portland, ME 04101**  
Applicant's Mailing Address  
**Mike Scarks or Lou Wood**  
Consultant/Agent  
**Applicant Ph: (207) 775-2100 Agent Fax: 874-6988**  
Applicant or Agent Daytime Telephone, Fax

**59 - 59 Washington Ave, Portland, Maine**  
Address of Proposed Site  
**013 1043001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_  
**82,00 sq. ft.** **131,978** **B4**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan **\$400.00** Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date **07/23/2002**

**Insp Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |                                                             |                |                                                    |                 |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____                                              | _____           |
|                                                             | date           | amount                                             | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____                                              |                 |
|                                                             | date           | amount                                             |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____                                              | _____           |
|                                                             | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|                                                             | date           |                                                    | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____                                              | _____           |
|                                                             | submitted date | amount                                             | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

NT **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

N/A **Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

N/A **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

NT **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

N/A If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of applicant/designee

2-26-02  
Date

[Signature]  
Signature of Inspections Official

2/26/02  
Date

CBL: 013 I 043 Building Permit #: 020037

## NISSEN'S OFFICE COMPLEX – PROJECT SUMMARY

The site plan approval A & M Partners, LLC is seeking for is “change of use” to increase the amount of space used for office and to improve the existing parking lot at the north end of the building.

This parking lot will continue to be accessed from Washington Avenue, Romasco Street (Larch Street), and Marion Street. The existing grading will be changed to allow grade level access to the new main entry on the north face of the main building. This new entrance will serve a new elevator lobby. The approximate number of spaces in this parking lot will remain the same (70+/-) but will be re-configured to include better traffic flow, pedestrian access, and lighting.

The building uses will be repositioned away from bakery/manufacturing and toward office and/or retail space. The space devoted to warehouse/distribution will remain approximately the same at this time. No residential uses are planned.

The total land area of this parcel is 131,978 SF+/-, while the building footprint is about 82,00 SF. The easements that benefit/burden this site are listed on the survey and are primary utility related.

The solid waste will be handled by dumpsters, one for the office users and one for the distribution tenants. The building is currently served by all utilities and consumption of gas, water, and electricity will be greatly reduced from the former Bakery use. There are no changes to the current drainage of the parking lot which drains toward Washington Avenue, other than adding a basin at each relocated entrance on Washington Avenue to intercept surface waste before reaching Washington Avenue. The parking lot construction will start as soon as approvals are granted with final paving taking place before Thanksgiving. We would like to begin the improvement in early September. There are no State or federal permits anticipated for this work.



*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



Not  
 Reviewed  
 for Barrier  
 Free

# 12488

Sprinkled  
 Sprinkler Supervised

**FORMER NISSEN'S BAKERY**  
 Located at: 59 WASHINGTON AVE.  
**PORTLAND**  
 Occupancy/Use: BUSINESS

13-I-043

**Permission is hereby given to:**  
 AIM PARTNERS

120 EXCHANGE STREET  
 PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved.  
 no departure from application form/plans shall be madewithout prior approval in writing. This permit is issued under the provisions  
 of Title 25, Chapter 317, Section 2448 .

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or  
 other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 01 th of Decemb 2002*

Dated the 01 st day of June A.D. 2002

Commissioner

**Copy-3 Code Enforcement Officer**

Comments:

Code Enforcement Officer  
 PORTLAND, ME



State of Maine  
Department of Public Safety  
Construction Permit



Reviewed  
for Barrier  
Free

# 12638

Sprinkled  
Sprinkler Supervised

**CASEY FAMILY SERVICES**  
Located at: 59 WASHINGTON AVENUE  
**PORTLAND**  
Occupancy/Use: BUSINESS

Permission is hereby given to:  
A & M PARTNERS

120 EXCHANGE STREET  
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. no departure from application form/plans shall be madewithout prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 20th of February 2003*

Dated the 21 st day of August A.D. 2002

Commissioner

**Copy-3 Code Enforcement Officer**

Comments:

Code Enforcement Officer  
PORTLAND, ME

Application ID Number: 2-1224

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 59 Washington Ave

Approval Date: 11/20/2002

Given On Date:

OK to Issue Permit

Name: Marge Schmuckal

Date: 11/20/2220

Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for any new signage.

Create Date: 10/29/2002 By: gg

Update Date: 11/20/2002 By: mes

Dec 09 02 01:45p

Gawron Architect

(207) 883-0361

P. 2

Dec 06 02 01:55p

City of Portland

(207) 874-8716

P. 1



### CITY OF PORTLAND MAINE

389 Congress St., Rm 313

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Service

FROM DESIGNER: Gawron Architects

29 Black Point Road, Scarborough, ME

DATE: December 9, 2002

Job Name: Buildout for Carey Family Services, 3rd floor

Address of Construction: 59 Washington Avenue, Portland, ME

#### THE BOCA NATIONAL BUILDING CODE/1919 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 (Use Group Classification) B

Type of Construction 2C Bldg. Height 43'-9" +/- Bldg. Sq. Footage 152 k +/- total  
this project = 25,203

Seismic Zone 2 (AV=1, AM=.1) Group Class 1

Roof Snow Load Per Sq. Ft. 42 psf Dead Load Per Sq. Ft. 50 +/- psf

Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. Pu=18.5psf

Floor Live Load Per Sq. Ft. 50 psf office / 80 psf corridor

Structure has full sprinkler system? Yes X No \_\_\_\_\_ Alarm System? Yes X No \_\_\_\_\_  
Sprinkler & Alarm systems must be installed according to BOCA and NFPA standards with approval from the Portland Fire Department.

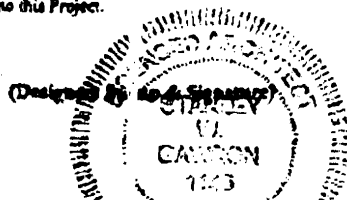
Is structure being considered unlimited area building: Yes No X

If mixed use, what subsection of 313 is being considered N/A

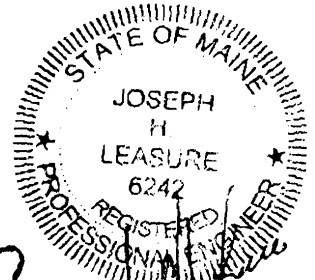
List Occupant loading for each room or space, designed into this Project.

gross occupant load =  
25,203 / 100 = 252

12/14/02/2002



*Stanley J. Gawron*



*Joseph H. Leasure*



# NEPTUNE PROPERTIES, INC.

120 EXCHANGE STREET

PORTLAND, MAINE 04101

12/9/02

TO: MIKE NUGENT

FROM: MIKE SCARRIS

RE: INVISIENS/CROSER BUILD-OUT, 57 WASHINGTON AVE.

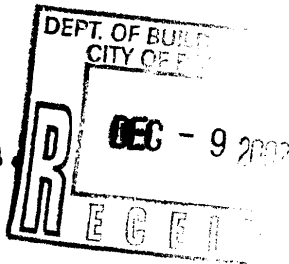
MIKE: PLEASE FIND ATTACHED:

- 1) UPDATED FLOOR PLAN W/ NOTE FOR EGRESS CLEAR SPACE  
+ LIGHTING FOR BACK CONFERENCE ROOM DOOR.
- 2) DOOR SCHEDULES W/ RETING.
- 3) DESIGNER'S CERTIFICATE
- 4) COPY OF STATE PERMIT (EPL)

PLEASE CALL WHEN READY OR CALL IF ANY QUESTIONS.

THANKS,

MIKE S.



RF: 59 Washington Ave.  
Permit #  
02 1224  
013 I643





*State of Maine*  
 Department of Public Safety  
**Construction Permit**



Reviewed  
 for Barrier  
 Free

*W. K. I. [unclear]*

# 12638

Sprinkled  
 Sprinkler Supervised

**CASEY FAMILY SERVICES**  
 Located at: 59 WASHINGTON AVENUE  
**PORTLAND**  
 Occupancy/Use: BUSINESS

Permission is hereby given to:

A & M PARTNERS

120 EXCHANGE STREET  
 PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved.

no departure from application form/plans shall be madewithout prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 20th of February 2003*

Dated the 21 st day of August A.D. 2002

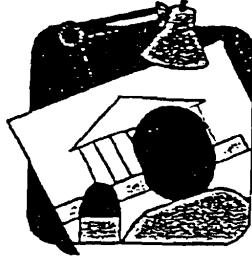
Commissioner

**Copy-1 Owner**

Comments:

A & M PARTNERS

120 EXCHANGE STREET  
 PORTLAND, ME 04101



# CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: Archetype, P.A.

48 Union Wharf Portland ME 04101

DATE: 7-16-02

Job Name: Renovations to former Nissen Bakery

Address of Construction: Washington Ave.

## THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 99 Use Group Classification(s) B

Type of Construction 2C Bldg. Height 43'-9" +/- Bldg. Sq. Footage 55K +/-

Seismic Zone 2 (AV=1, AA=1) Group Class 1

Roof Snow Load Per Sq. Ft. 40 PSF Dead Load Per Sq. Ft. 50 +/- PSF

Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. PU = 18.5 PSF

Floor Live Load Per Sq. Ft. 50 PSF office + 80 PSF corridor

Structure has full sprinkler system? Yes  No  Alarm System? Yes  No

Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

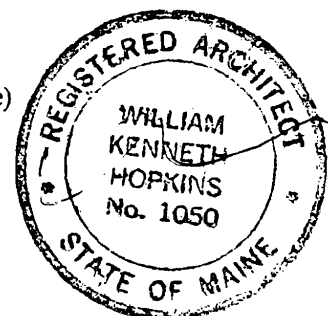
Is structure being considered unlimited area building: Yes  No

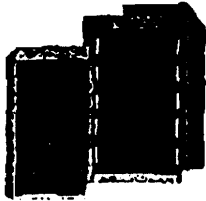
If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.

PSH 6/07/2K

(Designers Stamp & Signature)





CITY OF PORTLAND  
 BUILDING CODE CERTIFICATE  
 389 Congress St., Rm 315  
 Portland, ME 04101

25203 #1-400  
 = 63 parking  
 SPACES  
 66 +  
 Show

TO: Inspector of Buildings City of Portland, Maine  
 Department of Planning & Urban Development  
 Division of Housing & Community Service

FROM: Gawron Architects

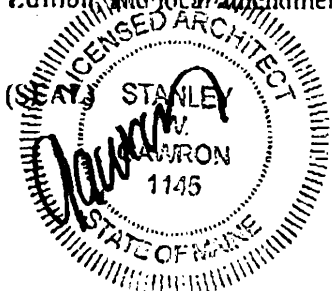
RE: Certificate of Design

DATE: 10.22.01

These plans and/or specifications covering construction work on:

Carey Family Services - Interior - Nurse  
Building - 3<sup>rd</sup> Floor

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and all amendments.



Signature: Stanley W. Gawron  
 Title: Architect  
 Firm: Gawron Architects  
 Address: Scarborough, ME

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

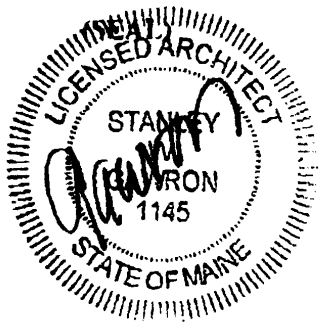
PSH 62021



CITY OF PORTLAND  
ACCESSIBILITY CERTIFICATE

Designer: Gawron Architects  
Address of Project: 59 Washington Ave.  
Nature of Project: Interior Renovation - 3<sup>rd</sup> Floor  
Business Use  
Date: 10-22-07

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: Stanley W Gawron  
Title: Architect  
Firm: Gawron Architects  
Address: 29 Blackpoint Rd.  
Scarborough ME  
Telephone: 207 883 6307

**From:** Marge Schmuckal  
**To:** Jonathan Spence  
**Date:** Wed, Nov 20, 2002 1:00 PM  
**Subject:** 59 Washington Ave - old Nissans bldg

Jonathan,

I have been given the 3rd floor change of use information for the Casey Family Group.

The entire office build out for this tenant is 25,203 sq. ft. 16,850 sq. ft is existing office and 8,353 sq. ft. is the change of use. The amount of parking required for this area is:

25,203 divided by 400 = 63 required parking spaces.

I believe that the new revised parking lot show 66 spaces. I understand that there are some other parking lots that are also part of this complex.

Any future change of uses and tenant fit-up will need to show us their entire parking plan.

Marge  
11/20/02

**CC:** Sarah Hopkins

59 WASHINGTON AVE.

12/4/02

MIKE:

I TALKED WITH MARY TURGEON AT GAWRON RESTURDAN P.M. AND SHE INDICATED THAT THE EGRESS ISSUES FROM THE CONFERENCE ROOM HAD BEEN RESOLVED, AND THAT SHE PROVIDED THE OCCUPANCY LOAD INFO THAT WAS REQUESTED. THE ONLY MISSING PART WAS THE REFLECTIVE CEILING PLAN WHICH CLARIFIES EXIT SIGNS, HORN/STROBES, ETC. WHICH IS ATTACHED HERE. I WILL ALSO FAX OVER A COPY OF THE STATE FIRE MARSHAL'S PERMIT ON THE SAME SUBMITTAL FOR YOUR FILE.

I BEEN TOLD THESE ARE THE ONLY QUESTIONS LEFT FROM YOUR OFFICE, IF THAT IS NOT CORRECT PLEASE LET ME KNOW ASAP; IF THIS COMPLETES THE MISSING PARTS OF YOUR REVIEW I'D APPRECIATE ISSUING THE PERMIT AS SOON AS POSSIBLE.

THANKS,  
MIKE SPARKS 7752100

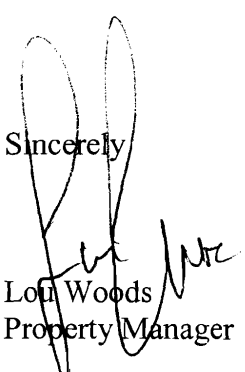
**A&M PARTNERS**  
120 EXCHANGE STREET  
PORTLAND, ME 04101  
207 874-6949

January 10, 2002

To Whom It May Concern:

Please be advised that I have approved the 48" x 29" sign for Pack Edge to display at 55 Washington Ave. Portland, ME 04101.

Sincerely



Lou Woods  
Property Manager

Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

013-I043

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

September 12, 2002

Mr. Louis C. Wood  
A&M Partners LLC.  
120 Exchange Street  
Portland, ME 04101

RE: Parking Lot Renovations, Vicinity of 59 Washington Street

CBL: 13-I-43

Dear Mr. Wood:

On September 12, 2002, the Portland Planning Authority granted minor site plan approval to reconfigure and renovate the parking lot at the former Nissen Bakery in the vicinity of 59 Washington Street. The approval is NOT for any change of use in any structure on the property. Additional review and approval may be required for the conversion of the former bakery for other uses.

The approval is subject to the following condition(s):

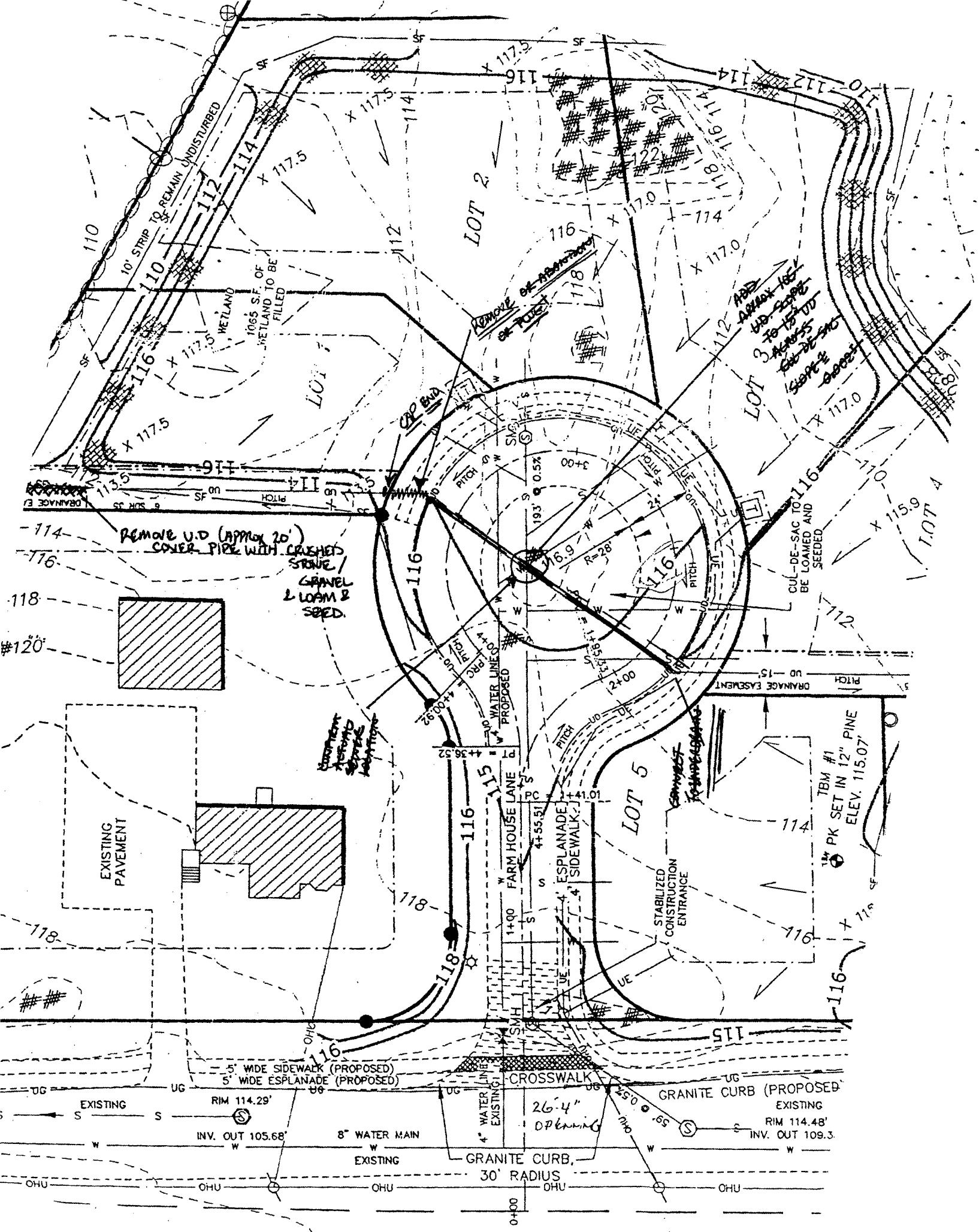
- i. The applicant will plant sufficient quantities of "Sea Green Juniper" in the area between the upper and lower parking lots in the vicinity of the three (3) Austrian Pines, per the City Arborists recommendation.
- ii. The applicant will provide catalog cuts for all proposed lighting.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.





Remove U.D (Approx 20')  
COVER PIPE WITH CRUSHED  
STONE /  
GRAVEL  
& LOAM &  
SEED.

Remove of Abandoned  
or Poles

ADD APPROX 100'  
TO 1/2 UP  
TO CROSS  
CUT OF SAC  
Slope &  
Seeded

CUL-DE-SAC TO 116  
BE LOAMED AND  
SEED

STABILIZED  
CONSTRUCTION  
ENTRANCE

TBM #1  
PK SET IN 12" PINE  
ELEV. 115.07'

5' WIDE SIDEWALK (PROPOSED)  
5' WIDE ESPLANADE (PROPOSED)

26.4"  
Opening

GRANITE CURB (PROPOSED)  
EXISTING  
RIM 114.48'  
INV. OUT 109.3

SITE DISTANCE 525'

EXISTING CURB  
SCALE 1" = 40'

# PLUMBING APPLICATION

Department of Human Sciences  
Division of Health Engineering

## PROPERTY ADDRESS

Town or Plantation	
Street Subdivision Lot #	

## PROPERTY OWNERS NAME

Last:	First:
Applicant Name:	
Mailing Address of Owner/Applicant (If Different)	

**Caution: Permit Required**

Date Permit Issued: 10/01/07 \$ 24  If Double Fee Charged

Local Plumbing Inspector Signature: [Signature] L.P.I. # 0640

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant \_\_\_\_\_ Date \_\_\_\_\_

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature \_\_\_\_\_ Date Approved \_\_\_\_\_

## PERMIT INFORMATION

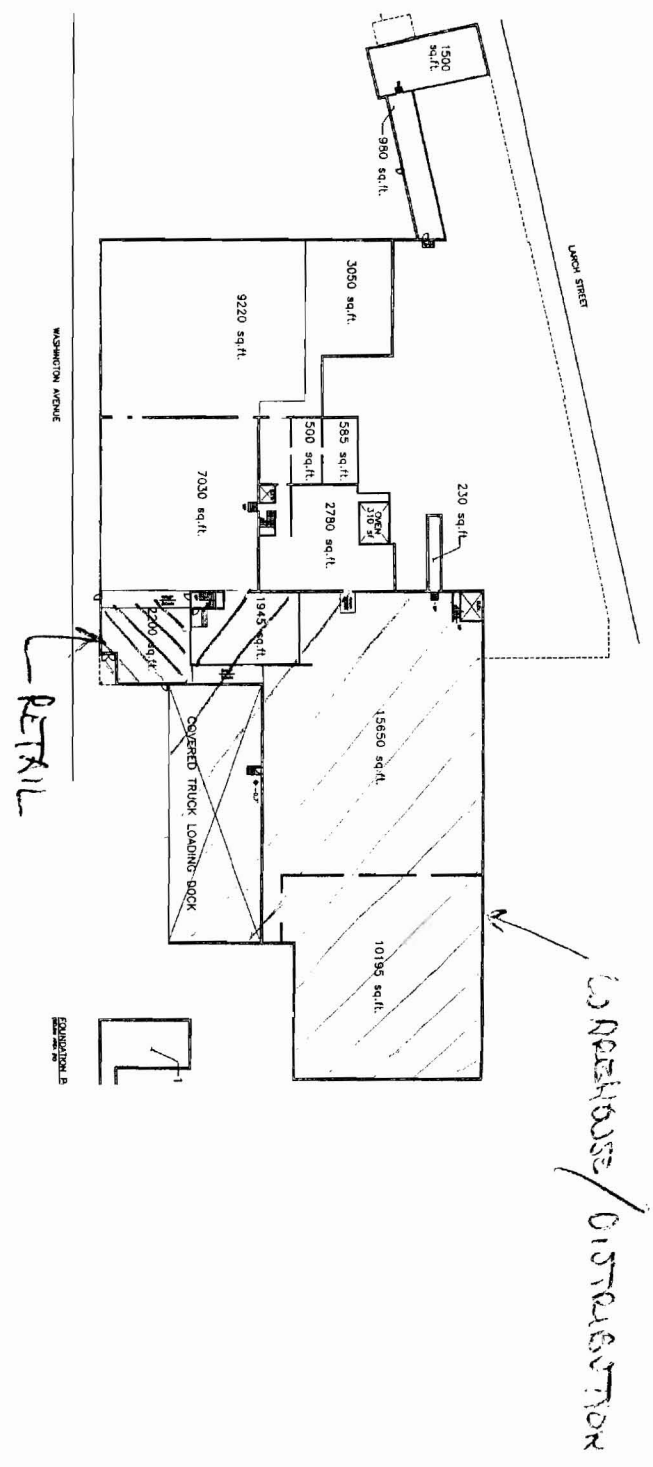
<b>This Application is for</b> 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	<b>Type of Structure To Be Served:</b> 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	<b>Plumbing To Be Installed By:</b> 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>8678</u>
-----------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
<b>OR</b>  HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  HOOK-UP: to an existing subsurface wastewater disposal system.  PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.  <b>OR</b>  TRANSFER FEE [\$6.00]		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				
				Fixtures (Subtotal) Column 2
				<b>Total Fixtures</b>
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				<b>Permit Fee (Total)</b>

GIVEN TO INTERSE 9/11/60

13-T-43

AD Nissan's Bldg



FLOOR PLAN - LEVEL 1  
55,885 sqft

Scale: 1"=30'-0"

TOTAL AREA = 167,800 sq.ft.

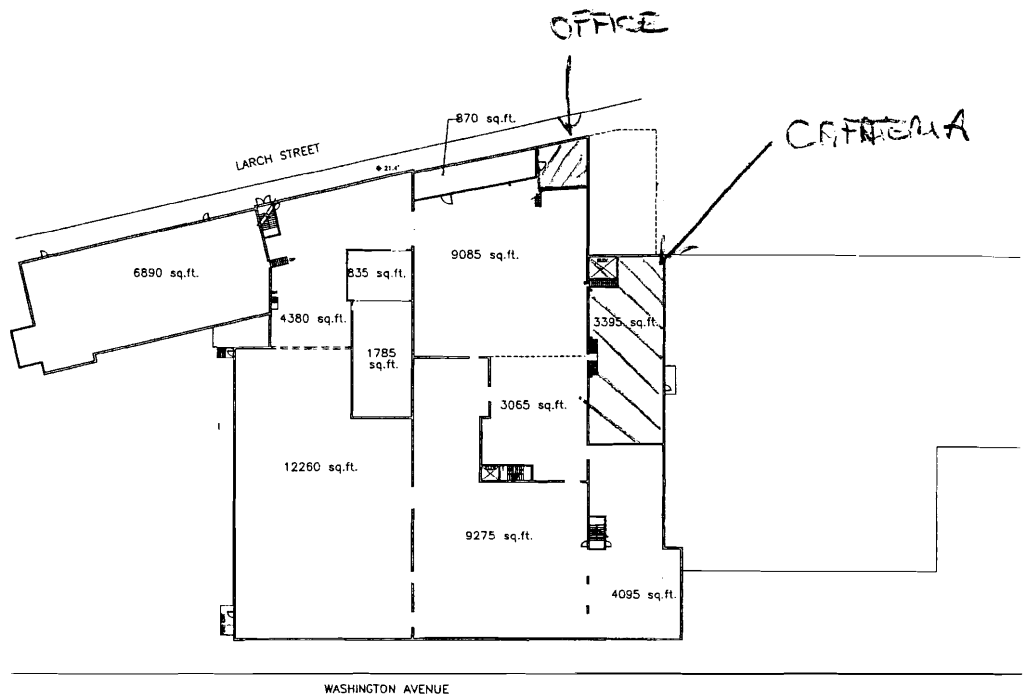
INDUSTRIAL/WAREHOUSE = 114,150

OFFICE = 11,750 sq.ft.

RETAIL = 2,500 sq.ft.

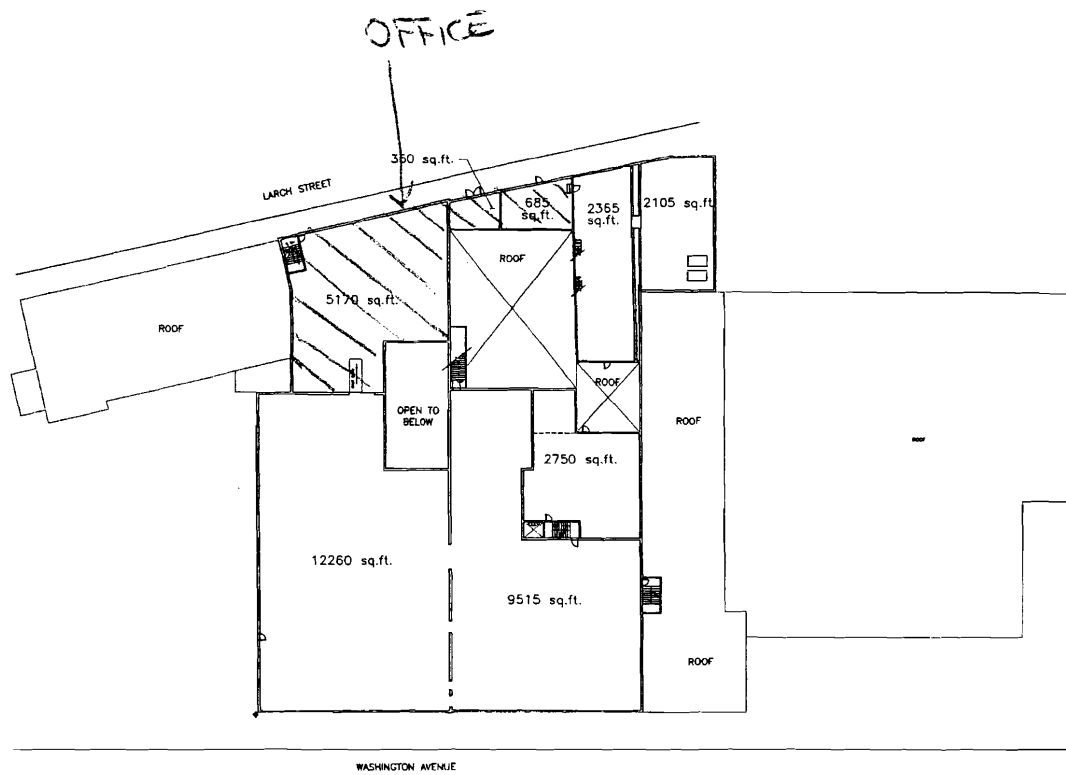
WAREHOUSE/DOCK = 35,900 sq.ft.

CATERING = 37,000 sq.ft.

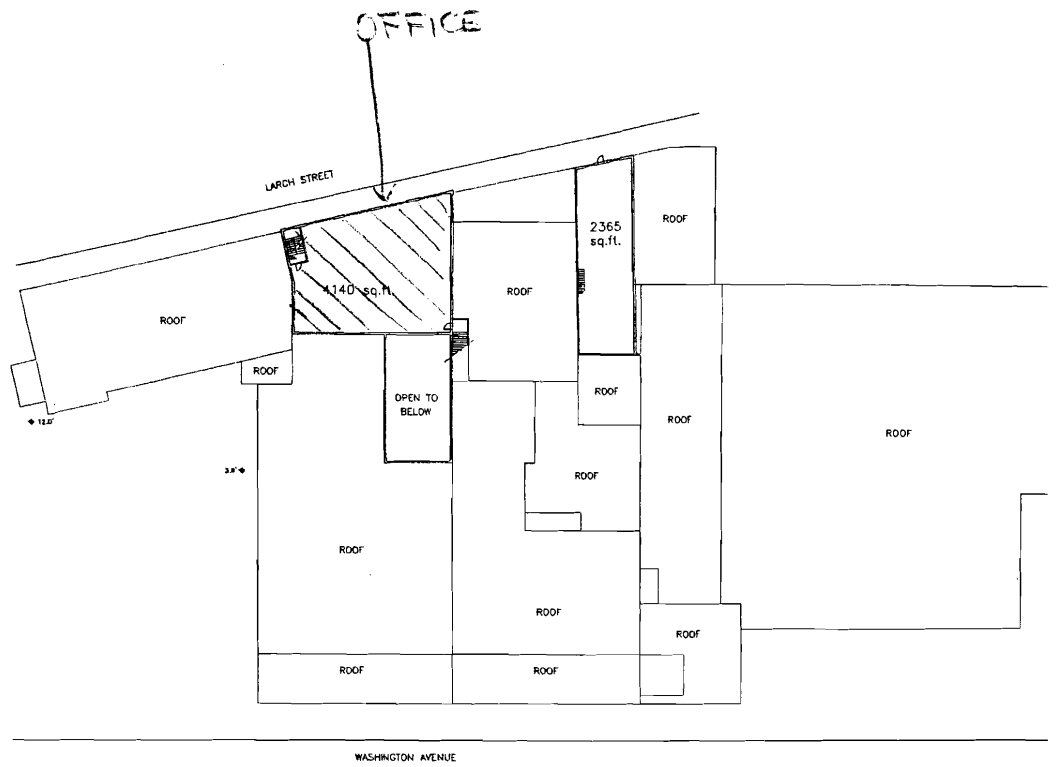


FLOOR PLAN - LEVEL 2  
55,935 SqFt

Scale: 1"=30'-0"



FLOOR PLAN - LEVEL 3  
35,200 SqFt



FLOOR PLAN - LEVEL 4  
6,505 sq. ft.

Department of Planning & Development  
Lee D. Urban, Director



**CITY OF PORTLAND**

**Division Directors**  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

November 20, 2002

Mr. Louis C. Wood  
A&M Partners LLC.  
120 Exchange Street  
Portland, ME 04101

RE: Change of Use, Vicinity of 59 Washington Street

CBL: 13-I-43

Dear Mr. Wood:

On November 20, 2002, the Portland Planning Authority granted minor site plan approval for the change of 8,353 square feet to office use at the former Nissen Bakery in the vicinity of 59 Washington Street.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.

If there are any questions, please contact Jonathan Spence at 756-8083.

Sincerely,

Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Sarah Hopkins, Development Review Program Manager  
Jonathan Spence, Planner  
Jay Reynolds, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator

**A & M PARTNERS, INC.**  
REAL ESTATE DEVELOPMENT/MANAGEMENT

120 EXCHANGE STREET PORTLAND, MAINE 04101

13I-041-

10/18/2002

Mr. Mike Nugent  
Inspection Services Manager  
Room 315 – Inspections  
City of Portland, Maine  
City Hall  
389 Congress Street  
Portland, Maine 04101

Dear Mike:

As a follow-up to our phone conversation of this Wednesday afternoon, I am writing to address the recent noise/vibration complaints received in the vicinity of the Nissen's project.

As part of the site work we had to demolish one concrete pad and remove the top three feet of an existing retaining wall. The slab was removed last week and the retaining wall this Wednesday morning. These were removed with a drop wrecking ball. That phase of site demolition is now completed and any remaining work will be done with hand-held jackhammers to decrease noise and vibration.

If you have any recurring neighbor complaints I would be happy to personally visit or call these persons to understand any construction related problems and minimize their impact.

Please don't hesitate to call as we want to maintain a good working relationship with the neighbors. With the isolated heavy demolition behind us, I hope the balance of the project should proceed without extraordinary disturbance.

Sincerely,



Michael Scarks

cc: Joseph Gray  
Lee Urban





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 59 Washington Ave

CBL 013 I043001

Issued to A & M Partners Llc/A&M Partners, LLC

Date of Issue 07/08/2003

**This is to certify** that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-1224 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

3rd floor only

APPROVED OCCUPANCY

Office Space

Use Group B  
Type 2-C  
BOCA '99

**Limiting Conditions:**

None

This certificate supersedes  
certificate issued

Approved:

7/8/03

(Date)

*[Handwritten Signature]*

Inspector

*[Handwritten Signature]*

Inspector of Buildings

*3rd fl  
Elec CK  
POR M.C.  
FILE CK  
POR LT/MAC*

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

**A & M PARTNERS, INC.**  
REAL ESTATE DEVELOPMENT/MANAGEMENT

120 EXCHANGE STREET PORTLAND, MAINE 04101

13I-04-

10/18/2002

Mr. Mike Nugent  
Inspection Services Manager  
Room 315 – Inspections  
City of Portland, Maine  
City Hall  
389 Congress Street  
Portland, Maine 04101

Dear Mike:

As a follow-up to our phone conversation of this Wednesday afternoon, I am writing to address the recent noise/vibration complaints received in the vicinity of the Nissen's project.

As part of the site work we had to demolish one concrete pad and remove the top three feet of an existing retaining wall. The slab was removed last week and the retaining wall this Wednesday morning. These were removed with a drop wrecking ball. That phase of site demolition is now completed and any remaining work will be done with hand-held jackhammers to decrease noise and vibration.

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Sincerely,



Michael Scarks

cc: Joseph Gray  
Lee Urban

**L & L STRUCTURAL  
ENGINEERING SERVICES, INC.**

Six Q Street  
South Portland, ME 04106  
Phone: (207) 767-4830  
Fax: (207) 799-5432

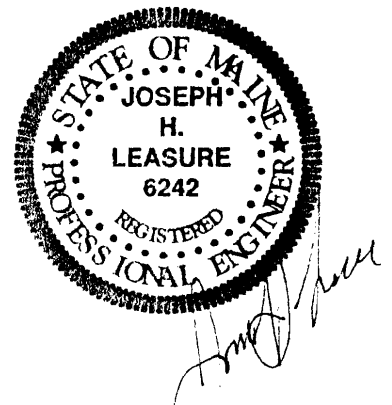
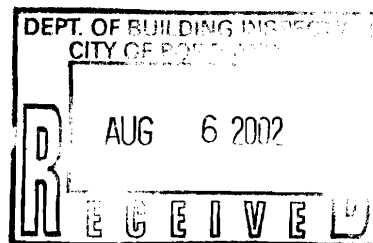
# NISSENS BAKERY RETROFIT SECOND FLOOR DESIGN (ATRUIM FLOOR)

WASHINGTON AVENUE  
PORTLAND, MAINE

STRUCTURAL DRAWINGS  
GENERAL NOTES

Prepared for: Neptune Properties Inc.  
120 Exchange Street  
Portland, Me. 04101

Submission Date: July 1, 2002  
Drawings: S1 thru S8



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads:  
Common areas.....150 PSF
3. Seismic design per 1999 BOCA

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318—Latest Edition.
2. Concrete strength at 28 days shall be 4000 PSI.
3. All concrete shall be air entrained per the specifications.
4. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315—Latest edition.
5. Welded wire fabric shall be provided in flat sheets.
6. Splices of WWF shall be 6" minimum.
7. Concrete finishes: Per Owner.

designed by: JHL	NISSENS BAKERY RETROFIT PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: 7/1/02	SECOND (ATRUIM) FLOOR GENERAL NOTES	PHONE: (207) 767-4830 FAX: (207) 798-5432 EMAIL: LLENG@AOL.COM
		S1

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"--Ninth edition.
2. Structural steel:
  - a. Structural steel shall conform to ASTM A-36.
  - b. Structural tubing shall conform to ASTM A-500 GR.B.
  - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4"Ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1--Latest edition. Welding electrodes shall be E70XX.

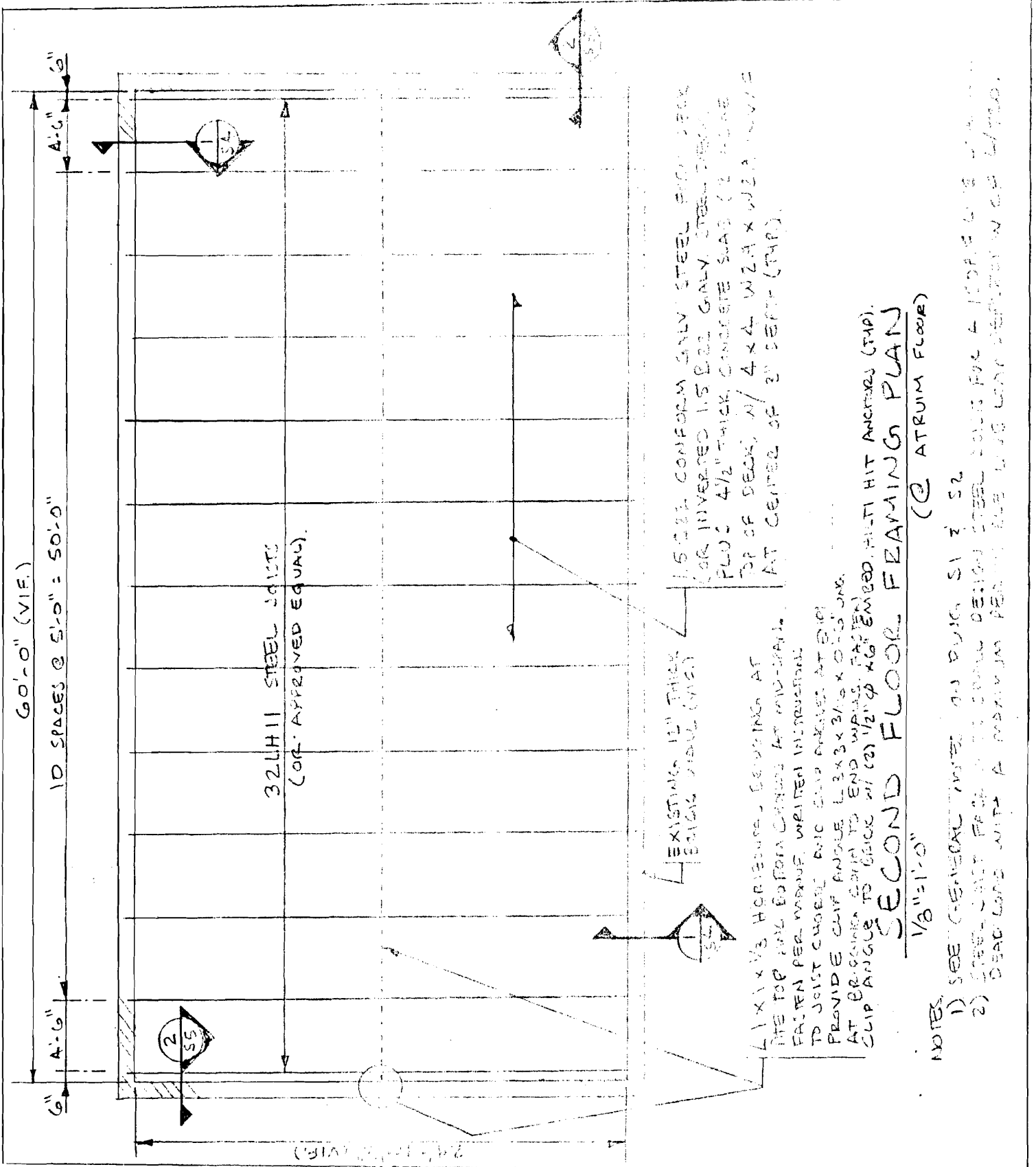
METAL DECK NOTES:

1. Steel floor deck shall be as indicated on plan by Vulcraft or approved alternate. Steel deck units shall conform with the latest edition of the "Design Manual for floor and roof decks" by the steel deck institute. Steel floor deck shall be galvanized in accordance with ASTM A525 G60 coating.
2. Fasten metal deck to all steel supports with 5/8"Ø puddle welds at 12" o.c. unless otherwise indicated on plan. Provide welding washers on all deck units 24 gage and lighter.
3. All welding shall conform to AWS D1.1--Latest edition. Welding electrodes shall be E70XX.

OPEN WEB STEEL JOIST NOTES:

1. Open web steel joists shall conform to steel joist institute "Standard Specification for steel joist and joist girders".
2. All bridging and bridging anchors shall be completely installed before construction loads are placed on the joists. Bridging shall support the top chord against lateral movement during the construction period and shall hold the joist in approximate location as shown on the plans. Bridging shall be as called out on the plans.
3. Items attached to steel joists shall be attached to panel points of joists only, or an additional web member shall be added to the joist at the location of the concentrated load. The joist manufacturer shall be responsible for supplying the proper additional web member size.
4. Loads shall not be placed on the joists unless the joist has been designed to support the load.
5. Steel joists shall be shop primed per specifications.
6. All welding shall conform to AWS D1.1--Latest edition. Welding electrodes shall be E70XX.

designed by: JHL	NISSENS BAKERY RETROFIT PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: 7/1/02	SECOND (ATRUIM) FLOOR GENERAL NOTES	PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM
		S2



1.5 S22 CONFORM SPLY STEEL DECK  
 (OR INVERTED I/S DECK GALLY STEEL DECK)  
 FLOOR 4 1/2" THICK CONCRETE SLAB (2" MORE  
 TOP OF DECK) W/ 4 X 4 W2A X W2A CURVE  
 AT CENTER OF 2" DEPTH (THP).

EXISTING 1 1/2" THICK  
 METAL DECK (MCA)

L1 X 1/8 HORISONS - BEARING AT  
 THE TOP AND BOTTOM CORNERS AT MIDSPAN.  
 FASTEN PER MANUF. WRITER INSTRUCTIONS.  
 TO JOIST CHANNEL AND CURVE ANKLES AT END  
 PROVIDE CLIP ANGLE L3 X 3/8 X 0'-6" LONG.  
 AT BRACING CORN TO END WALLS. FASTEN  
 CLIP ANGLE TO DECK W/ (2) 1/2" X 4" X 6" EMBED. MULTI HIT ANCHORS (THP).

**SECOND FLOOR FRAMING PLAN**  
 1/8"=1'-0"  
 (@ ATRIUM FLOOR)

NOTES:  
 1) SEE GENERAL NOTES TO DWG S1 2 S2  
 2) STEEL JOIST FRAMING TO BE EXACTLY DESIGN STEEL JOIST FOR A 100% LIVE LOAD PER  
 DEAD LOAD WITH A MAXIMUM PERMISSIBLE LIVE LOAD PER FOOTING OF 60 PSF.

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/1/02

NISSEN DANNY RETROFIT  
 PORTLAND, MAINE  
 208 5th Avenue Portland, Maine

**I. & L. STRUCTURAL  
 ENGINEERING SERVICES, INC.**  
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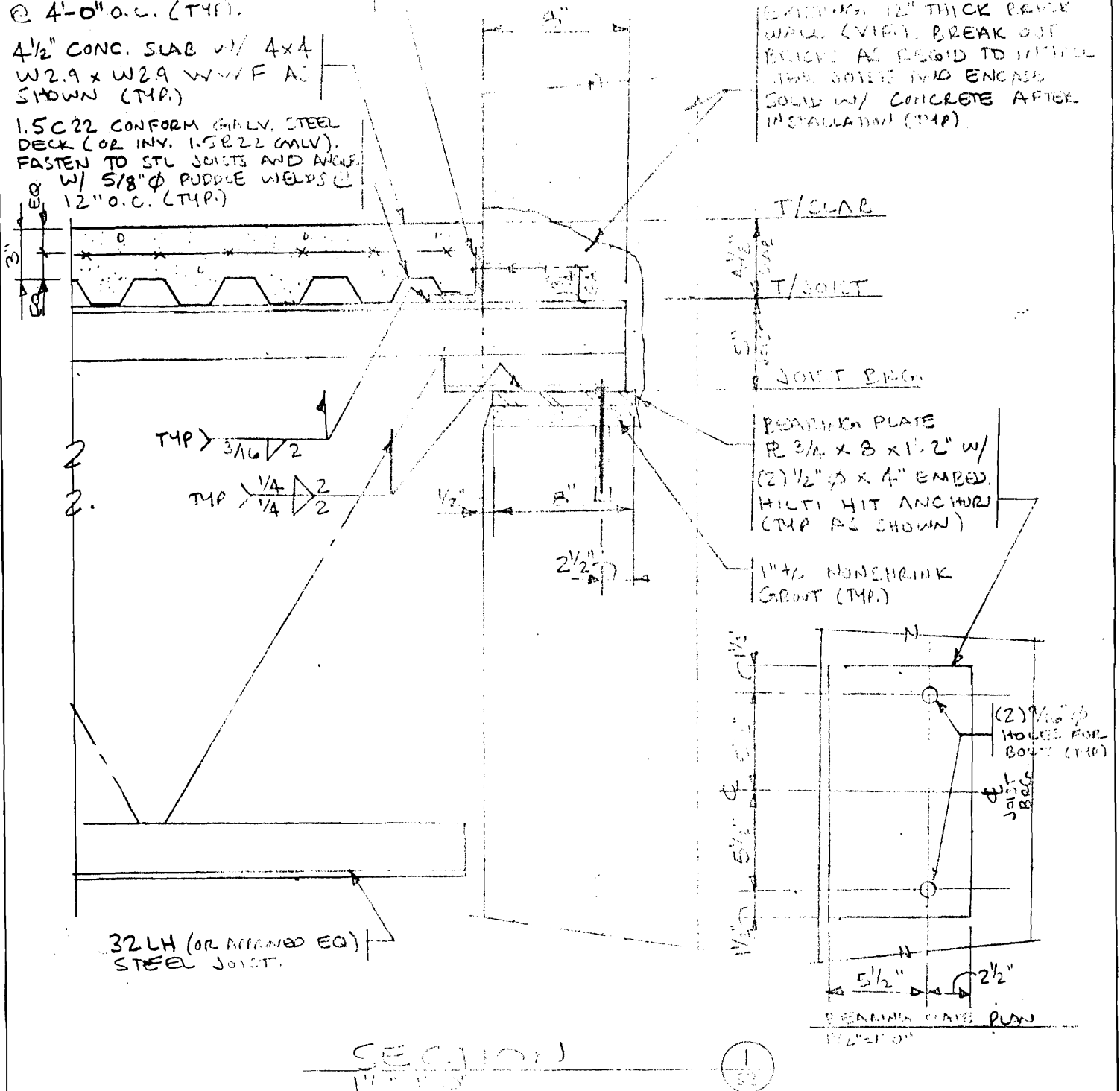
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L 3x3x 3/16 CONJ. STEEL ANGLE. FASTEN TO EXIST. BRICK WALL W/ 1/2" φ x 6" EMBEDMENT HILTI HIT ANCHORS @ 4'-0" O.C. (TYP.)

4 1/2" CONC. SLAB W/ 4x4 W29 x W29 W/W F AS SHOWN (TYP.)

1.5C22 CONFORM GALV. STEEL DECK (OR INV. 1.5R22 GALV), FASTEN TO STL JOISTS AND ANGLE W/ 5/8" φ PUDDLE WELDS @ 12" O.C. (TYP.)

EXISTING 12" THICK BRICK WALL (VIRT. BREAK OUT BRICKS AS REQ'D TO INITIAL JOIST BOULETS AND ENCASE SOLID W/ CONCRETE AFTER INSTALLATION) (TYP.)



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NISSEN BARNETT RETROFIT  
PORTLAND, MAINE  
SECTION 1.01

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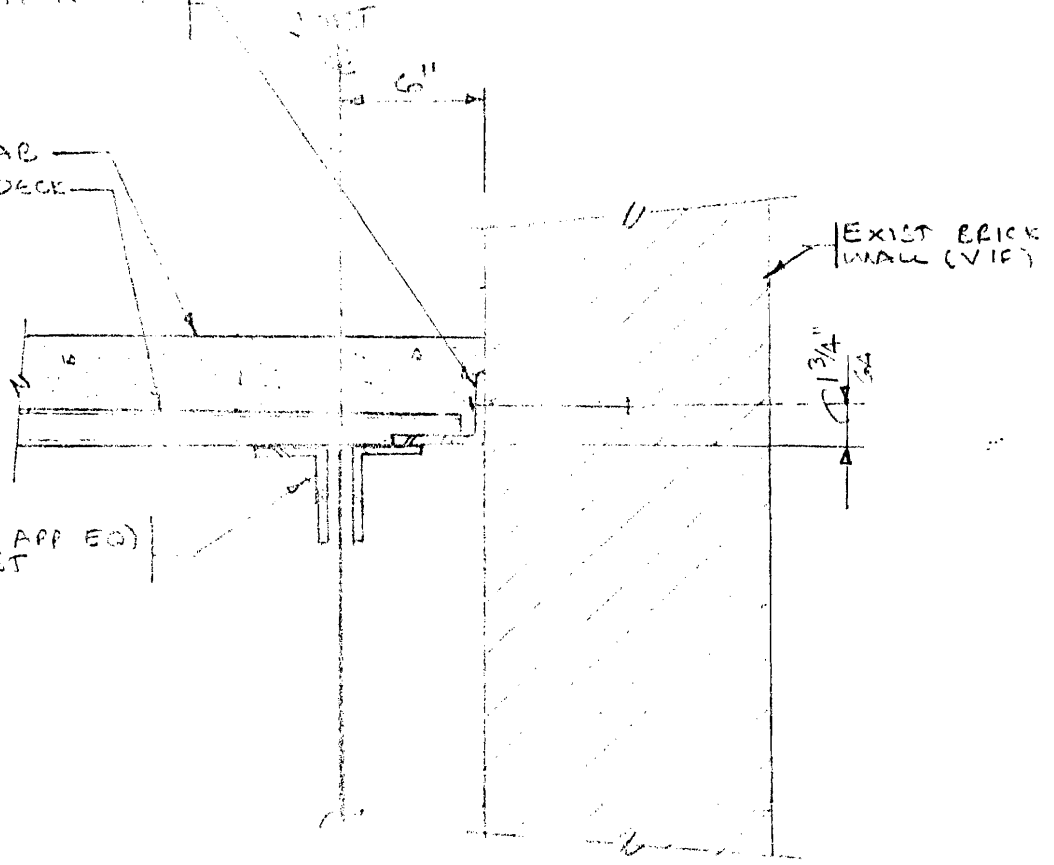
PHONE: (207) 767-4810  
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SA

L4 x 3 x 1/4 CONT STEEL ANGLE  
 (LLH). FASTEN TO EXIST  
 BRICK WALL W/ 1/2" Ø x 6"  
 EMBEDMENT HILT HIT ANCHOR  
 @ 3'-0" O.C. (TYP).

4 1/2" CONC. SLAB  
 1 1/2" GALV. LTR. DECK

32 LH (OR APP EQ)  
 STEEL JOIST



SECTION  
 1/2" = 1'-0"

2  
 53

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NISSENE BAYBET RETROFIT  
 PORTLAND, MAINE

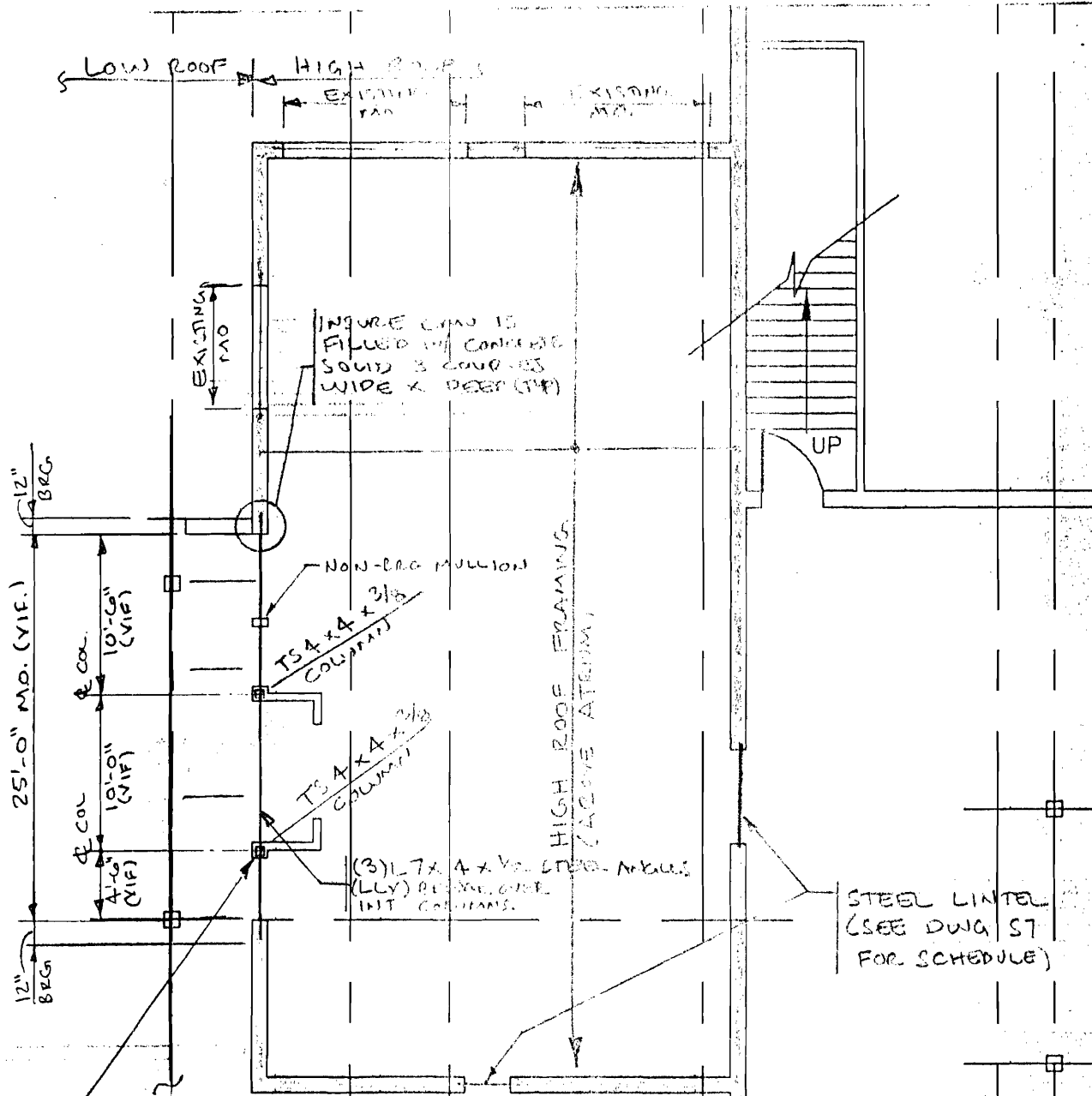
SECTION 2 OF 2

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PROVIDE BASE PLATE # 3/4 x 10 x 1/2" ON 1" THICK NON SHRINK  
 GROUT ARNE EXIST BRCK/CMU WALL BELOW INSIDE CMU BELOW IS FILLED W/  
 CONCRETE SOLID 2 COURSES WIDE X DEEP BELOW BASE PLATE. BOTTOM OF  
 BASE PLATE SHALL BE LOW ENOUGH TO CONCEAL IN FLOOR/WALL (SEE ARCH).  
 ANCHOR BASE PLATE IN WALL W/ (2) 5/8" x 3" EMBEDD HULT HIT ANCHORS (TYP)  
 PROVIDE CAP PLATE # 3/4 x 10 x 0'-10" WELDED TO STEEL ANGLES ABOVE W/  
 1/4" FILLET WELDS ALL AROUND WELD COLUMN TO CAP AND BASE PLATES W/ 1/4" FILLET  
 WELDS ALL AROUND (TYP TWO PLACES).

**PARTIAL ROOF FRAMING PLAN**

3/22" = 1'-0"

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MISSISSIPPI BAYVIEW RESTAURANT  
 PORTLAND, MAINE  
 ROOF FRAMING PLAN (ATRIUM)

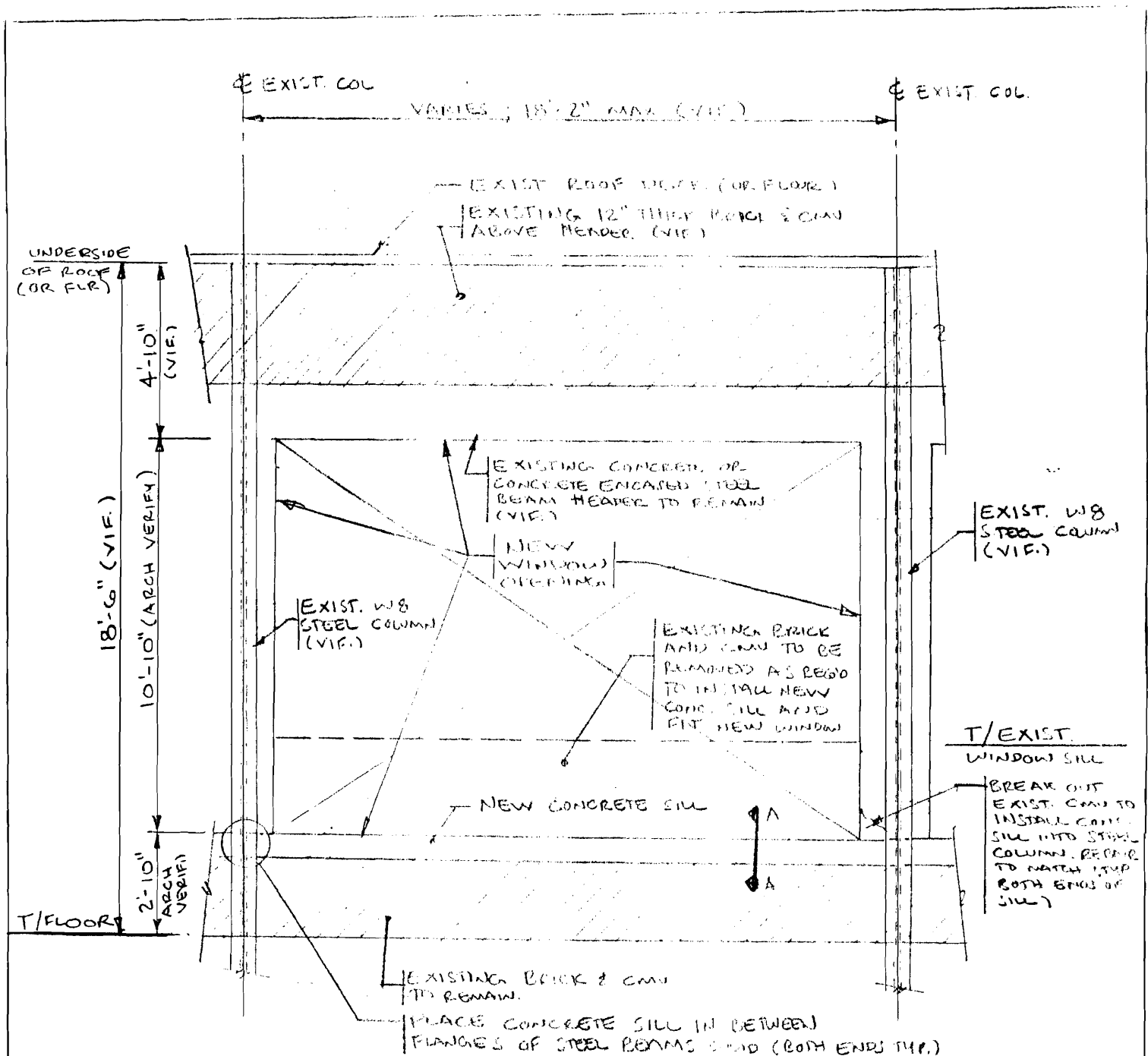
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LINTEL SCHEDULE	
MASONRY OPENING	LINTEL SIZE
UP TO 4'-8"	L4x4x3/8 (4" LEG VERT.)
4'-0"-8'-0"	L6x4x3/8" (6" LEG VERT.)
8'-1"-8'-0"	L6x4x1/2" (6" LEG VERT.)
8'-1"-10'-0"	L7x4x1/2" (7" LEG VERT.)
10'-1"-11'-4"	L8x4x3/4" (8" LEG VERT.)

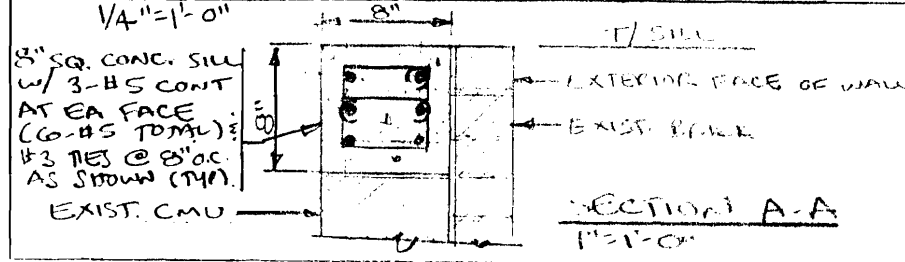
NOTES:

1. PROVIDE LINTELS OVER ALL OPENINGS
2. PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS.
3. PROVIDE 8" OF BEARING @ EACH END OF ALL LINTELS.
4. ALL EXTERIOR LINTELS SHALL BE HOT-DIPPED GALVANIZED.

designed by: JHL	NISSENS BAKERY RETROFIT PORTLAND, MAINE  SECOND (ATRUIM) FLOOR GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106  PHONE: (207) 787-4830 FAX: (207) 798-5432 EMAIL: LLENG@AOL.COM	S7
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ELEVATION OF TYPICAL LARGE WINDOW OPENING - RETROFIT



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 checked by: MFL  
 scale: NOTED  
 date: 7/5/02

NISSENS' BAKERY RETROFIT  
 PORTLAND, MAINE  
 INTERIOR ELEVATION  
 LARGE WINDOW OPENING - RETROFIT

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